

APPENDIX I. HISTORIC RESOURCES SURVEY REPORT AND ELIGIBILITY AND EFFECTS ASSESSMENT

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America's River Crossing on I-55 over the Mississippi River Bridge Replacement

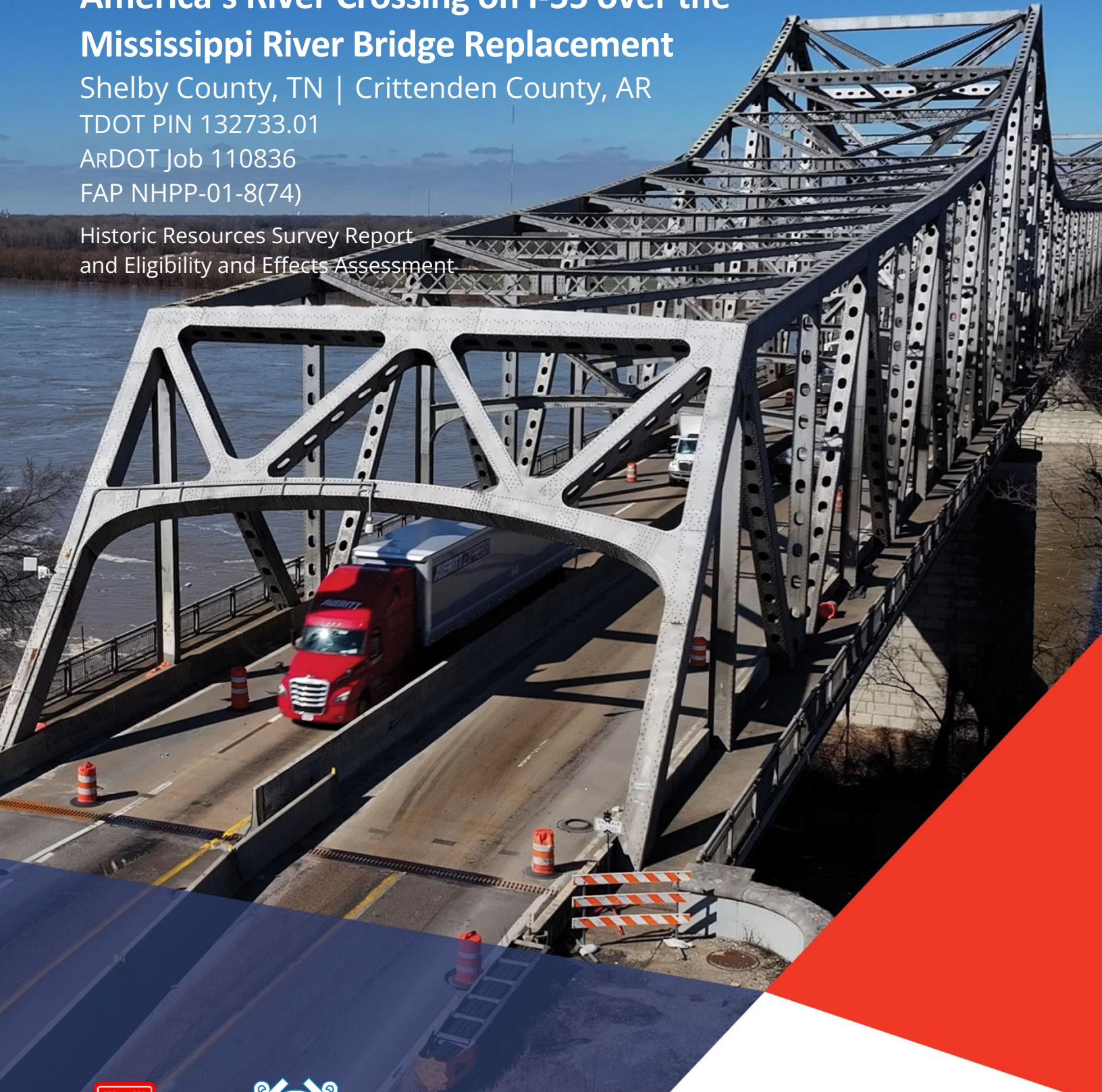
Shelby County, TN | Crittenden County, AR

TDOT PIN 132733.01

ARDOT Job 110836

FAP NHPP-01-8(74)

Historic Resources Survey Report
and Eligibility and Effects Assessment



US Army Corps
of Engineers®



Last Updated: July 2024

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1. MANAGEMENT SUMMARY

In February of 2024, an architectural and historic resources survey was conducted for the America's River Crossing Bridge Replacement along Interstate 55 (I-55) across the Mississippi River between Memphis, Tennessee, and West Memphis, Arkansas. This Tennessee Department of Transportation (TDOT) project is funded by the Federal Highway Administration (FHWA). Therefore, a Historic Resources Survey Report has been prepared in compliance with Section 106 of the National Historic Preservation Act of 1966 (as amended) for review and comment by the Tennessee State Historic Preservation Officer (TN-SHPO). The purpose of this report is to identify historic resources in the project's Area of Potential Effects (APE); evaluate the surveyed resources' eligibility for listing in the National Register of Historic Places (NRHP); and assess the effects of the project on NRHP-listed or eligible properties. A separate report will document and assess archaeological resources.

The America's River Crossing project would demolish and replace the NRHP-listed Memphis and Arkansas Bridge. The replacement bridge would be a cable-stay design located immediately south of the existing bridge.

This study began with a records review and a reconnaissance-level field survey. The records review identified eight previously documented properties in the APE, including one that has been demolished. There are four NRHP-listed resources in the project area: the Memphis and Arkansas Bridge, Chickasaw Heritage Park, the U.S. Marine Hospital Executive Building and Laundry-Kitchen, and the U.S. Marine Hospital Marine Apartments. The Frisco Bridge and Harahan Bridge have also been determined eligible previously. Two additional resources were previously surveyed but had no formal determination of eligibility; one of these resources has been demolished.

Following the records review, a field survey of the APE was completed, the current condition of previously surveyed resources was documented, and newly identified properties were surveyed. Based on the results of the field survey and archival research, it is recommended that there are eight resources in the APE that are listed on the NRHP, previously determined eligible, or recommended eligible for listing; these include the First Unitarian Church of Memphis, the Memphis Marine Hospital Campus Historic District (boundary expansion), the KWAM Radio Tower, and the French Fort Historic District. The Marine Hospital Campus Historic District incorporates the two previous NRHP listings that include individual buildings associated with the Marine Hospital. There are five resources that have been recommended not eligible for the NRHP.

It is recommended that the project would have No Adverse Effect to the Chickasaw Heritage Park, the Harahan Bridge, the Frisco Bridge, the First Unitarian Church of Memphis, the Memphis Marine Hospital Campus Historic District, and the KWAM Radio



Tower. The project is recommended to have an Adverse Effect to the French Fort Historic District and the Memphis and Arkansas Bridge.

Section 4(f) of the U.S. Department of Transportation Act gives special consideration to the use of park and recreational lands, wildlife and waterfowl refuges, and historic sites by federally assisted transportation projects. To be considered "historic," a property must be either listed in the NRHP or be determined eligible for such listing. This project would incorporate land from the Memphis and Arkansas Bridge, which constitutes a Section 4(f) use of the property. It is recommended that this project would fall under the Programmatic Section 4(f) Evaluation and Approval for FHWA Projects that Necessitate the Use of Historic Bridges, and it is recommended that the project would have no Section 4(f) use of the French Fort Historic District.

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ISSUE AND REVISION RECORD

Revision	DATE	Preparer(s)	PMC Reviewer(s) ¹	PMC Approver ²	Description/ NOTES
			TDOT REVIEWER(S)	TDOT APPROVER	
0	03/29/2024	Ellen Hurd, Kelsey Lamkin, Melissa Mortimer, Sarah Owen, Elliott Simon	Kerri Ross, April English, HNTB		Working DRAFT submittal
		---	Tammy Sellers, Haley Seeger, TDOT		Working DRAFT submittal review
1	04/27/2024	Ellen Hurd, Kelsey Lamkin	April English, HNTB		DRAFT submittal
		---	Haley Seeger, TDOT		DRAFT submittal review
2	05/06/2024	Ellen Hurd, Kelsey Lamkin	April English, HNTB		DRAFT submittal
		---	Haley Seeger, TDOT		DRAFT submittal review
3	05/17/2024	Ellen Hurd, Kelsey Lamkin	April English, HNTB		DRAFT submittal
		---		Haley Seeger, TDOT	DRAFT submittal review and submission to SHPO and FHWA

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4		Ellen Hurd, Karen Daniels	April English, HNTB		DRAFT submittal with revisions based on TDOT Comments
		---	Haley Seger, TDOT		
	07/10/2024	---			DRAFT FINAL submittal review
		---			<i>No review requirement</i>

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ACRONYMS AND ABBREVIATIONS

ACRONYM/ABBREVIATION	DEFINITION
AASHTO	American Association of State Highway and Transportation Officials
ACHP	Advisory Council on Historic Preservations
APE	Area of Potential Effect
ARDOT	Arkansas Department of Transportation
AR-SHPO	Arkansas State Historic Preservation Officer
CFR	Code of Federal Regulations
DOT	Department of Transportation
ETSA	Environmental Technical Study Area
FCC	Federal Communications Commission
FHWA	Federal Highway Administration
MVMT	Million Vehicle Miles Traveled
NHPA	National Historic Preservation Act
NRHP	National Register of Historic Places
PWA	Public Works Administration
ROW	Right of Way
TDOT	Tennessee Department of Transportation
TN-SHPO	Tennessee State Historic Preservation Officer
USGS	United States Geological Survey

ACRONYM/ABBREVIATION	DEFINITION
WPA	Works Projects Administration

TDOT PROGRAM TEAM NAMES

TEAM NAME	TEAM MEMBERS
PMC	The HNTB Team
PMT	
Consultants	Consultants supporting program identification/project selection
TDOT Team	PMT + Consultants

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2. PROJECT SUMMARY

This Historic Resources Survey Report has been prepared for the Tennessee Department of Transportation (TDOT) for the America's River Crossing Bridge Replacement (I-55) project. This project would consist of the replacement of the existing Interstate 55 (I-55) bridge across the Mississippi River between Memphis, Tennessee, and West Memphis, Arkansas (Refer to Figure 1: Project Location Map).

TDOT Project America's River Crossing Bridge Replacement is federally funded through the Federal Highway Administration (FHWA). Therefore, it must comply with Section 106 of the National Historic Preservation Act (NHPA) of 1966 and subsequent amendments, Section 4(f) of the U.S. Department of Transportation Act of 1966, and the 2020 *Programmatic Agreement Among the FHWA, TDOT, the Tennessee State Historic Preservation Officer (TN-SHPO), and the Advisory Council on Historic Preservation (ACHP) Regarding Implementation of Transportation Projects*.

This report identifies historic resources within the project area and assesses project impacts to these resources in compliance with regulations detailing the implementation of the NHPA, which are codified in 36 CFR 800. This legislation requires federal agencies to identify any resources of historic significance in the project area, including buildings, districts, structures, objects, historic sites, and archaeological sites. For the purposes of this legislation, historic significance is defined as listing in the National Register of Historic Places (NRHP) or eligibility for inclusion in the NRHP according to the criteria codified at 36 CFR 60.4. Once eligible historic resources are identified, legislation requires these agencies to determine if the proposed project would affect them and if these effects would be considered adverse according to the Criteria of Effect as defined in 36 CFR 800.5. If the proposed project would have an adverse effect to a historic property, the legislation requires the federal agency to provide the ACHP an opportunity to comment on the effect.

This report also evaluates the use of historic sites as required under Section 4(f) of the U.S. Department of Transportation Act. This section gives special consideration to the use of park and recreational lands, wildlife and waterfowl refuges, and historic sites by federally assisted transportation projects. To be considered "historic," a property must be either listed in the NRHP or be determined eligible for such listing. Prior to approving a project with a Section 4(f) property, the FHWA must determine a finding of a *de minimis* impact or no prudent and feasible alternative to the use of the resource. Should no prudent and feasible alternative exist, the DOT is required to develop measures to minimize harm to a resource.

The area of potential effects (APE) is defined in 36 CFR 800.16(d) as "the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties if any such properties exist." Based on the nature and the

scope of the undertaking, the APE for this project consists of areas within the proposed right-of-way (ROW) and the viewshed of the proposed project.

The APE was field surveyed during February 2024. As a result of these efforts, 13 resources that are fifty years old or older were identified, including eight listed in or recommended eligible for the NRHP and five resources recommended not eligible for the NHRP. It is recommended that the project would have No Adverse Effect and no Section 4(f) use for the Chickasaw Heritage Park, the Harahan Bridge, the Frisco Bridge, the First Unitarian Church of Memphis, the Memphis Marine Hospital Campus Historic District, and the KWAM Radio Tower. The project is recommended to have an Adverse Effect, but no Section 4(f) use, to the French Fort Historic District. It is recommended that the project would have an Adverse Effect to the Memphis and Arkansas Bridge and that this project would fall under *the Programmatic Section 4(f) Evaluation and Approval for FHWA Projects that Necessitate the Use of Historic Bridges*.

This Historic Resources Survey Report and Eligibility and Effects Assessment will be circulated to the TN-SHPO and other participating consulting parties for review and comment. Archaeological resources will be documented and evaluated in a separate report.

2.1. Early Coordination

In addition to the TN-SHPO, other potential consulting parties were identified based on the nature of the undertaking. The other potential consulting parties invited to participate in the Section 106 process were the Mayor of Shelby County, the Mayor of Memphis, Shelby County Historian, Memphis Area Association of Governments, Association for the Preservation of Tennessee Antiquities, the Memphis Landmarks Commission, Memphis and Shelby County Division of Planning and Development, the Center for Southern Folklore, Shelby County Historical Society, West Tennessee Historical Society, and Memphis Heritage, Inc. The consulting parties were informed of our efforts to identify historic properties and asked to provide information on any unidentified NRHP listed or eligible properties within the project's APE by a Notification dated May 23, 2024 (see Notification in Appendix B). To date, TDOT has not received any responses. However, after a Public Meeting, the Friends of Our Riverfront requested to participate as a consulting party in the Section 106 process (see correspondence in Appendix B).

2.2. Project Description

TDOT proposes to remove and replace the existing Memphis and Arkansas Bridge, which carries I-55 across the Mississippi River between Memphis, Tennessee, and West Memphis, Arkansas. The new bridge would improve geometric and structural deficiencies of the existing bridge, meet current interstate design standards, provide a resilient route that can

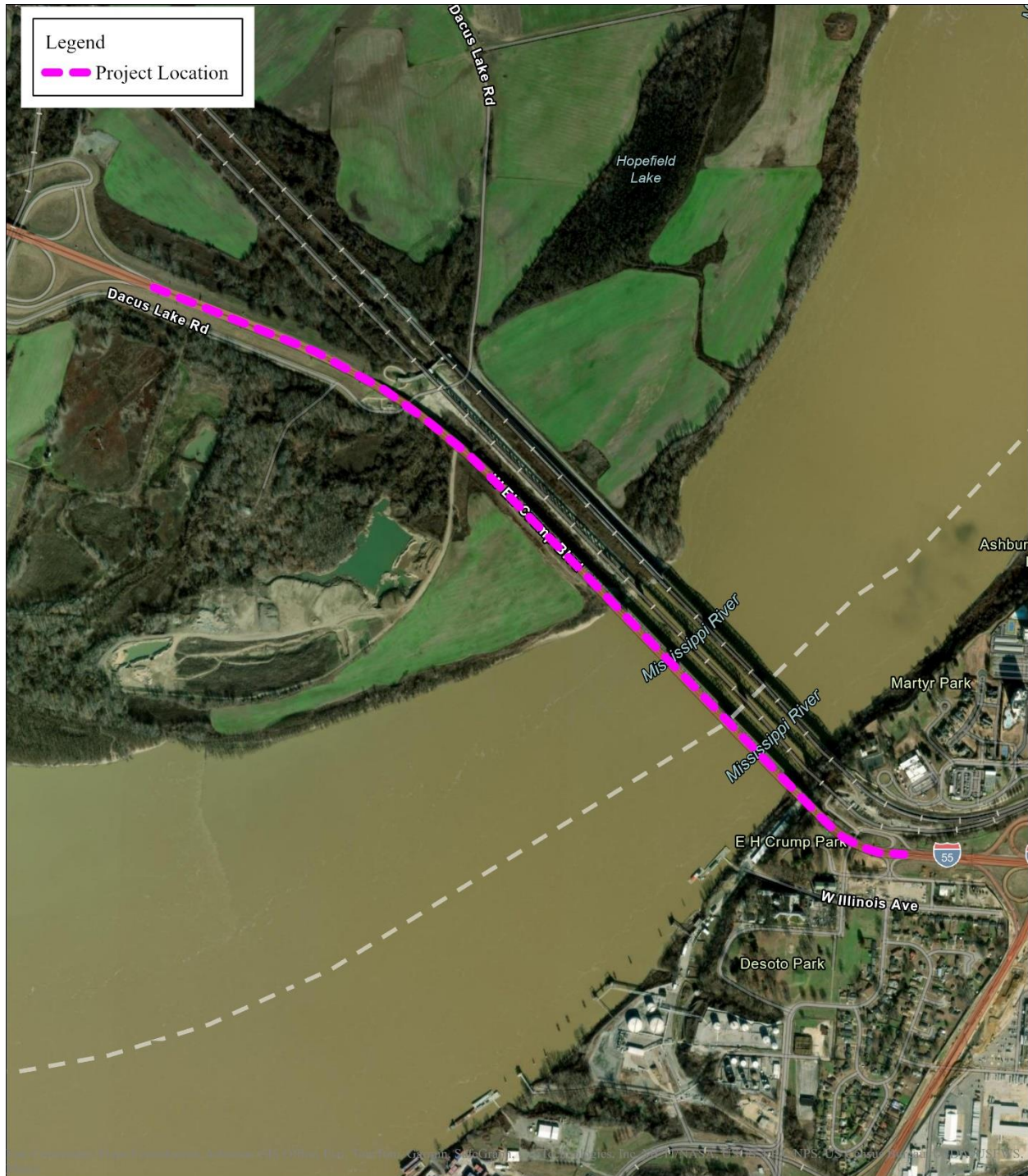


withstand a strong earthquake. The proposed new bridge typical section would include two, 12-foot travel lanes in each direction, and one 12-foot auxiliary lane in each direction with 12-foot wide inside and outside shoulders. The proposed new bridge would be constructed with a cable-stay design pending additional coordination with the U.S. Coast Guard and would be located immediately south of the existing bridge. The existing Memphis and Arkansas Bridge would be demolished and removed. The existing bridge has a clearance below of 112 feet; the proposed bridge would have approximately the same clearance. The existing bridge measures approximately 92 feet above the bridge deck, and the proposed bridge would have a tower height of 280 feet above the bridge deck.

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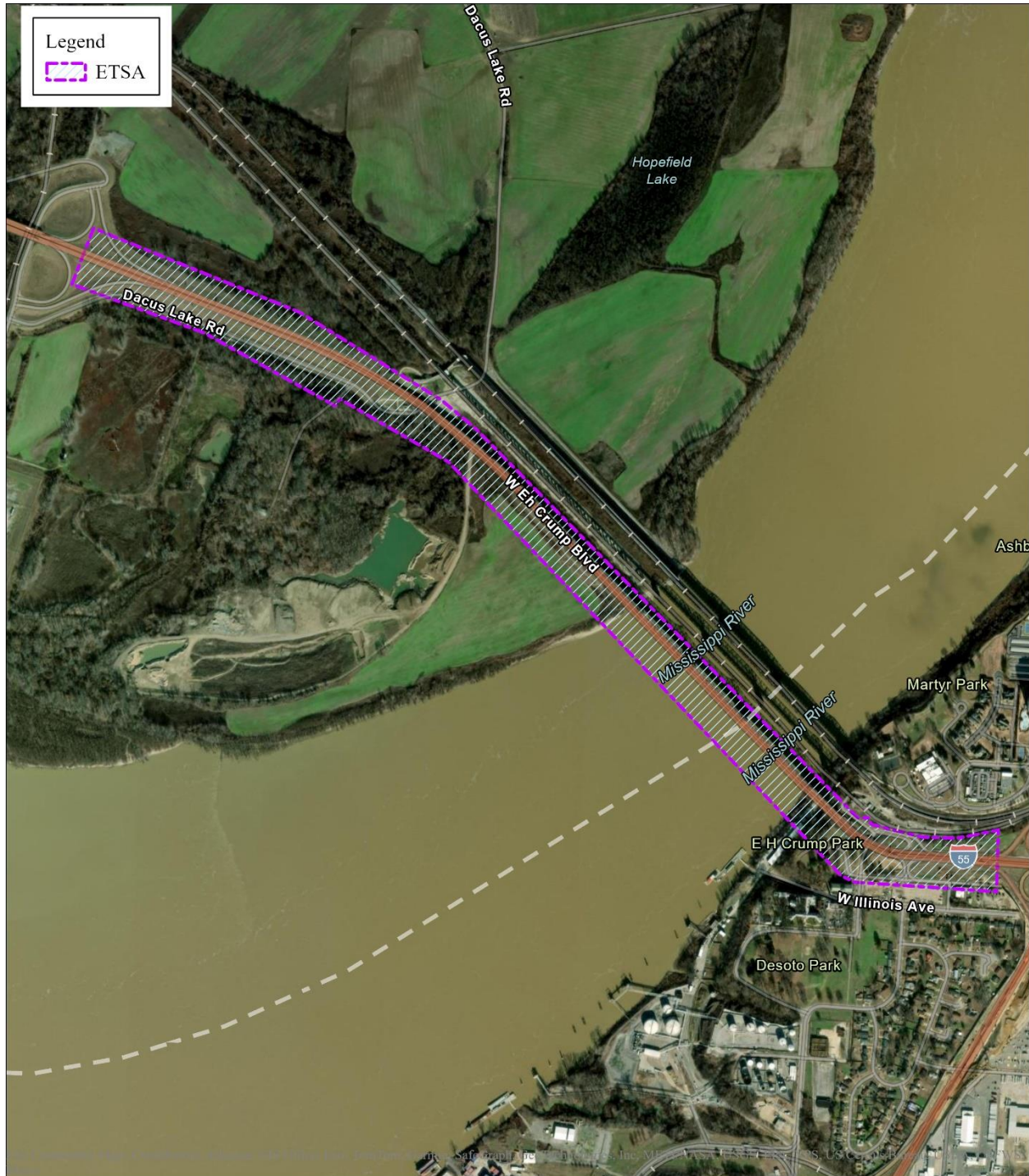


Map 2: Project Location Map, Aerial View
America's River Crossing Bridge Replacement (I-55)
Pin: 132733.01
Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 0.2 0.4 Miles

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Map 3: Project Environmental Technical Study Area
America's River Crossing Bridge Replacement (I-55)
Pin: 132733.01
Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 0.2 0.4 Miles

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3. SURVEY METHODOLOGY

3.1. Background Research

A records review was completed to determine if any previously identified historic resources are located within the APE. This review included NRHP-listed properties, proposed NRHP nominations, National Historic Landmarks, local historic landmarks or zoning districts, the survey files of the Tennessee Historical Commission, which serves as the TN-SHPO, and the survey files of the Arkansas Historic Preservation Program, which serves as the AR-SHPO. This research identified eight previously surveyed properties, including four listed in the NRHP. The NRHP-listed properties include the Memphis and Arkansas Bridge, the U.S. Marine Hospital Executive Building and Laundry-Kitchen, the U.S. Marine Hospital Marine Apartments, and Chickasaw Heritage Park. Additionally, the Frisco Bridge and the Harahan Bridge have been determined eligible for the NRHP. NRHP nominations for listed properties and inventories for NRHP-eligible properties are located in Appendix D. Previously surveyed resources also include SY-35240 and SY-35242, which are listed in the TN-SHPO's survey files.

Historic contexts of Shelby County, Tennessee, and Crittenden County, Arkansas, were compiled using available primary and secondary resources. Online research and fieldwork were conducted to determine settlement and development of the area and the types of architectural resources found in the project APE. Online property records, topographic maps, historic maps, local property assessor's files, and architectural styles were used to determine construction dates of the surveyed buildings discussed in this report.

3.2. Field Survey

The field survey of the APE was conducted in February 2024. The survey was completed in accordance with *The Tennessee Historical and Architectural Survey Manual* (published by the Tennessee Historical Commission, updated 2023) and the National Register Bulletin 24, *Guidelines for Local Surveys: A Basis for Preservation Planning* (National Park Service, 1985). The survey was conducted from the public ROW, unless property owners gave permission for surveyors to enter their property. Photos and field notes were taken of all newly identified resources aged 45 years or older, previously documented resources, and NRHP-listed properties located in the APE. All resources were plotted on United States Geological Survey (USGS) quadrangle maps and photographed with a high-resolution digital camera. Information recorded during the field work included a brief architectural description, outbuilding and landscape feature identification, dates of construction, integrity, sketches of the property layout, photos of the setting, and a photolog.

Each resource was assigned a survey ID. If the Tennessee Historical Commission's survey files assigned a survey number to previously identified resources, this was used. Otherwise, each building or structure was assigned a temporary survey ID; this includes individual buildings and structures within historic districts. Temporary survey IDs begin with HS-1 and continue sequentially. Inventory forms for each resource were completed using the Tennessee Historical Commission's Survey123 application and submitted on March 14, 2024, through March 22, 2024.

3.3. Evaluation of Eligibility for the National Register of Historic Places

The NRHP eligibility of newly identified historic resources was evaluated and previously surveyed properties were reevaluated according to the guidelines found in 36 CFR 60.4. This report includes evaluations of above-ground resources; archaeological resources will be assessed separately. To be eligible for listing on the NRHP, buildings, sites, structures, objects, and districts must meet one of these four criteria:

Criterion A: Association with one or more events that have made a significant contribution to the broad patterns of national, state, or local history.

Criterion B: Association with lives or persons significant in the past.

Criterion C: Embodiment of distinctive characteristics of a type, period, or method of construction; or representation of the work of a master; or possession of high artistic values; or representation of a significant and distinguishable entity whose components may lack individual distinction.

Criterion D: Properties that yield, or are likely to yield, information important in prehistory or history. Criterion D is most often (but not exclusively) associated with archaeological resources.

For a property to be eligible for listing in the NRHP it must also possess integrity. This rule also applies to historic districts. The aspects of integrity are as follows:

Location: the place where the historic property (or properties) was/were constructed or where the historic event(s) occurred;

Design: the combination of elements that create the form, plan, space, structure, and style of a property (or properties);

Setting: the physical environment of the historic property (or properties);

Materials: the physical elements that were combined to create the property (or properties) during the associated period of significance;

Workmanship: the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;

Feeling: the property's (or properties') expression of the aesthetic or historic sense of the period of significance; and

Association: the direct link between the important historic event(s) or person(s) and the historic property (or properties).

3.4. Assessment of Effects

Pursuant to the Section 106 Regulations at 36 CFR § 800.5 (Assessment of Adverse Effects), the criteria of adverse effect were used to assess the project's impact on the resources located in the APE that are listed or eligible for listing in the NRHP. The regulations followed are below.

§ 800.5 Assessment of adverse effects.

In consultation with the SHPO/Tribal Historic Preservation Office and any Indian tribe or Native Hawaiian organization that attaches religious and cultural significance to identified historic properties, the agency official shall apply the criteria of adverse effect to historic properties within the area of potential effects. The agency official shall consider any views concerning such effects which have been provided by consulting parties and the public.

1. Criteria of adverse effect.

An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the NRHP in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the NRHP. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative.

2. Examples of adverse effects.

Adverse effects on historic properties include, but are not limited to:

Physical destruction of or damage to all or part of the property;

Alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines;

Removal of the property from its historic location;

Change of the character of the property's use or of physical features within the property's setting that contribute to its historic significance;

Introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features;

Neglect of a property which causes its deterioration, except where such neglect and deterioration are recognized qualities of a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization; and

Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforceable restrictions or conditions to ensure long-term preservation of the property's historic significance.

3.5. Section 4(f) Evaluation

Section 4(f) of the U.S. Department of Transportation Act (1966, as amended) gives special consideration to the use of park and recreational lands, wildlife and waterfowl refuges, and historic sites by federally assisted transportation projects. To be considered "historic," a property must be either listed in the NRHP or is determined eligible for such listing by the Keeper of the Register or the State Historic Preservation Officer, Section 4(f) applies only to those projects using federal funds from the U.S. Department of Transportation. The FHWA's final rule on Section 4(f) findings is codified in Title 23 Code of Federal Regulations (CFR) 774.3.

Prior to approving a project with a Section 4(f) property, the FHWA must determine a finding of a *de minimis* impact or no prudent and feasible alternative to the use of the resource. Should no prudent and feasible alternative exist, the DOT is required to develop measures to minimize harm to a resource.

The three main types of use of a Section 4(f) property are: permanent incorporation or permanent easement, temporary occupancy, and constructive use. The three methods available to the FHWA to approve the "use" of a Section 4(f) property are: preparation of a *de minimis* impact determination; application of a programmatic Section 4(f) evaluation, or preparation of an individual Section 4(f) evaluation. Using these guidelines, the project was evaluated for Section 4(f) uses of historic properties.

4. HISTORICAL OVERVIEW

4.1. History of Shelby County, Tennessee

Shelby County sits high above the Mississippi Alluvial Floodplain on the Fourth Chickasaw Bluff. The largest county in Tennessee by both area and population, Shelby County consists of 763 square miles situated in the southwestern corner of Tennessee. Shelby County is bounded by Tipton County to the north, Fayette County to the east, the Mississippi state line to the south, and the Mississippi River to the west.¹

The site has many natural geographic advantages for human settlement such as its position on the bluff that provides natural flood resilience and aquifers beneath the Mississippi River that provide natural water filtration. Rivers extend through the county including Wolf River, Loosahatchie River, Nonconnah Creek, and Bayou Gayoso. These rivers provide the county with an extensive network of waterways that make Shelby County a favorable trade center.²

Archeological evidence suggests that the Fourth Chickasaw Bluff has been the site of human occupation for thousands of years. Most prominently, during the Mississippian period, the local Chickasaw created trails from the bluff to present-day Mississippi and Alabama that later Euro-American settlers and railroads would use to make Memphis a center for trade.³ The Chickasaw also constructed a fortification on the Mississippi River near the present-day Frisco, Harahan, and Memphis and Arkansas Bridges. Two mounds survive and are now known as Chickasaw Heritage Park or the Jackson Mounds.⁴

The region's advantageous position on the Mississippi River quickly attracted the interest of European settlers. The Chickasaw Heritage Park Mounds became the site of several forts: France established Fort Assumption by 1734; Spain established Fort San Fernando by 1792; and the United States established Fort Pickering by 1801, although it was abandoned by 1812.⁵ Despite European military presence, the region was claimed by the Chickasaw and had no substantial Euro-American occupation outside of soldiers, traders, and others

¹ "The Goodspeed Publishing Co., Nashville TN, 1886-1887," Goodspeed History of Shelby Co., TN, accessed February 22, 2024, <https://www.tngenweb.org/records/shelby/history/goodspeed/history1.html>.

² "Memphis, TN." Data USA. Accessed February 23, 2024. <https://datausa.io/profile/geo/memphis-tn/>.

³ Edward F. Williams, III, "Shelby County," Tennessee Encyclopedia, October 8, 2017, <https://tennesseeencyclopedia.net/entries/shelby-county/>.

⁴ Susan J. Haun, "Chickasaw Heritage Park," National Register of Historic Places Registration Form. On file with the Tennessee Historical Commission, Nashville, Tennessee.

⁵ "Historic Fort Pickering," Historic Memphis, accessed February 23, 2024, <https://historic-memphis.com/memphis-historic/pickering/pickering.html>.

associated with the post. The Chickasaw claimed the region until the Jackson Purchase of 1818, which opened the area to settlement.⁶

Just over a year after the Jackson Purchase, Shelby County was established by the Tennessee General Assembly in 1819 and named for Revolutionary War colonel and Kentucky Governor Isaac Shelby who was involved in Jackson Purchase negotiations.⁷ The same year, John Overton, Andrew Jackson, and James Winchester founded Memphis, which was named after Egypt's historic riverside capital.⁸ According to Goodspeed, two towns developed south of Memphis called Fort Pickering and South Memphis; however, they merged with Memphis by the mid-eighteenth century.⁹

Subsequent changes in Indian policy led to the Indian Removal Act of 1830. This act initiated the forced migration of thousands of Native Americans including the local Chickasaw. They were removed to the Indian Territory on what is now called the Trail of Tears. Many detachments crossed Shelby County on the Mississippi River via both land and water routes.¹⁰

Despite slow initial growth, Memphis boomed in the mid-eighteenth century. Between 1850 and 1860, the city grew from approximately 9,000 to nearly 23,000 residents, making it one of the fastest-growing cities in the country.¹¹ This population growth can be largely attributed to Memphis' burgeoning importance as a transportation center. The city became a major port and a coach and stagecoach terminus, but it was also included on major railroad lines such as the Memphis and Charleston Railroad and military roads such as the Memphis to Little Rock Road. A thriving economy developed around cotton and lumber transportation.¹²

Memphis' status as a major transportation center gave it vital strategic significance during the Civil War. In 1861, the Confederate Army constructed a fort at the mound site also named Fort Pickering. The Union Army quickly captured Memphis after the Battle of

⁶ Blythe Semmer, "Jackson Purchase," Tennessee Encyclopedia, March 1, 2018, <https://tennesseeencyclopedia.net/entries/jackson-purchase/>.

⁷ "The Goodspeed Publishing Co., Nashville TN, 1886-1887," Goodspeed History of Shelby Co., TN, accessed February 22, 2024, <https://www.tngenweb.org/records/shelby/history/goodspeed/history1.html>.

⁸ Ibid.

⁹ Ibid.

¹⁰ "Explore National Historic Trails," National Historic Trails Viewer, accessed February 23, 2024, <https://nps.maps.arcgis.com/apps/webappviewer/index.html?id=24fc463363f54929833580280cc1a751>.

¹¹ "Memphis, Tennessee," Encyclopedia of Southern Jewish Communities, accessed February 23, 2024, <https://www.isjl.org/tennessee-memphis-encyclopedia.html>.

¹² Harkins, "Memphis," Tennessee Encyclopedia, March 1, 2018, <https://tennesseeencyclopedia.net/entries/memphis/>.

Memphis in 1862 and retained its hold of the city despite a successful Confederate raid in 1864.¹³

Because Memphis was held by the Union, the city attracted an estimated 15,000 African American refugees. Settlements known as “contraband camps” developed in Southern Memphis, near Fort Pickering.¹⁴ Other African American refugees served in the Union Army in the newly established U.S. Colored Troops at Fort Pickering. Racial tensions escalated between Black Union soldiers and white Memphians, resulting in the Memphis Race Riot of 1866, which contributed to the national shift to Radical Reconstruction.¹⁵

Soon after the Memphis Race Riot of 1866, the fort was decommissioned.¹⁶ Subsequent epidemics of Yellow Fever devastated the city, inciting mass evacuations and stalling the economy. By 1879, Memphis lost its charter.¹⁷ Despite these challenges, development continued on the bluff. In 1883, Congress ordered the construction of the U.S. Marine Hospital, the city's government-funded hospital, which was constructed at the site of Fort Pickering and operated until the 1970s.¹⁸

Transportation also continued to improve in the late nineteenth and early twentieth century. By the time Memphis' charter was restored in 1892, construction was underway on a railroad bridge called the Memphis Bridge, which is now known as the Frisco Bridge. At the time of its completion in 1893, it was the southernmost Mississippi bridge crossing. Subsequently, the Harahan Bridge opened in 1916 for rail traffic. It was later retrofitted in 1917 to allow for pedestrian and vehicular traffic, reflecting the growing importance of the automobile in land transportation.¹⁹ These improvements helped spur additional commercial and industrial development on the bluff.²⁰

¹³ “Historic Fort Pickering,” Historic Memphis, accessed February 23, 2024, <https://historic-memphis.com/memphis-historic/pickering/pickering.html>.

¹⁴ “Contraband Camps,” Tennessee Civil War Trails, accessed February 23, 2024, <https://www.tnvacation.com/civil-war/place/2327/contraband-camps/>.

¹⁵ Bobby L. Lovett, “Memphis Race Riot of 1866,” Tennessee Encyclopedia, March 1, 2018, <https://tennesseeencyclopedia.net/entries/memphis-race-riot-of-1866/>.

¹⁶ “Historic Fort Pickering,” Historic Memphis, accessed February 23, 2024, <https://historic-memphis.com/memphis-historic/pickering/pickering.html>.

¹⁷ Harkins, “Memphis,” Tennessee Encyclopedia, March 1, 2018, <https://tennesseeencyclopedia.net/entries/memphis/>.

¹⁸ Susan J. Haun, “Chickasaw Heritage Park,” National Register of Historic Places Registration Form. On file with the Tennessee Historical Commission, Nashville, Tennessee.

¹⁹ Gina Cordell, “Mississippi River Bridges,” Tennessee Encyclopedia, March 1, 2018, <https://tennesseeencyclopedia.net/entries/mississippi-river-bridges/#:~:text=When%20it%20opened%20in%201892,of%20the%20Deep%20Water%20Convention.>

²⁰ Tammy Allison Sellers, “Tennessee Department of Transportation Historical/Architectural Assessment and Document of Effect Report Pursuant to 36 CFR 800 for Proposed Interchange Improvements Interstate 55 at Crump Boulevard (U.S. 64), Shelby County,” (Nashville, TN: Tennessee Department of Transportation – Environmental Division, September 2005).

Amidst the commercial and industrial development, a residential neighborhood called the Fort Pickering neighborhood developed at the site of the fort and near the site of the present-day Memphis and Arkansas, Harahan, and Frisco Bridges. Soon the Harahan Bridge proved inefficient to support the increased vehicular traffic. In the late 1930s, the Memphis and Arkansas Bridge Commission was formed under the leadership of Memphis' Democratic political machine leader, Edward H. Crump. With the support of federal funds, work commenced on the bridge in 1945. Upon its completion in 1949, the bridge was the first trans-Mississippi bridge solely for vehicular and pedestrian traffic. Subsequent highway projects included the Crump Blvd. and the highway that would become I-55.²¹

Mid-twentieth century urban renewal projects drastically affected the development of the surrounding area. Most notably, the Fort Pickering neighborhood was razed in the late 1950s and early 1960s for the construction of I-55 and Crump Blvd. The new bridge aided industry and attracted mass automobile tourism, making the area a prime location for commercial development.²² Following the completion of the interstate, the Memphis Housing Authority commenced the construction of the French Fort Neighborhood. Developed with federal funds, it prohibited racially restrictive housing and, thus, attracted primarily middle-class African American buyers.²³

Today, Shelby County continues to serve as a major land, air, and water transportation center, and the greater Memphis region has become an artistic and cultural hub.²⁴ Between 2010 and 2022, the county population has declined slightly from 928,475 to 916,371, marking a 1.3% decrease. However, Shelby County remains the most populous county in Tennessee.²⁵

4.2. History of Crittenden County, Arkansas

Crittenden County was established by the Arkansas Territorial Legislature in 1825. It was named for Robert Crittenden, the first secretary of the Arkansas Territory. The county is located in the Mississippi Alluvial Floodplain and is bounded by Poinsett and Mississippi Counties to the north, Cross and St. Francis Counties to the west, and the Mississippi River to the south and east.²⁶

²¹ Kara Mills, "Memphis and Arkansas Bridge," National Register of Historic Places Inventory/Nomination Form, Arkansas Historic Preservation Program, Little Rock, AR, February 16, 2001.

²² Sellers, "Tennessee Department of Transportation Historical/ Architectural Assessment," 14.

²³ Shelby County Register of Deeds, pg. 385.

²⁴ "Economic Development," Shelby County, TN, accessed February 23, 2024, <https://www.shelbycountyttn.gov/291/Economic-Development>.

²⁵ "Memphis, TN." Data USA. Accessed February 23, 2024. <https://datausa.io/profile/geo/memphis-tn/>.

²⁶ M. James, "Crittenden County," Encyclopedia of Arkansas, October 17, 2023, <https://encyclopediaofarkansas.net/entries/crittenden-county-762/>.

Crittenden County was the site of human occupation for thousands of years by various Native American settlements including the Quapaw and Osage Tribes.²⁷ The region's position on the Mississippi River attracted one of the earliest Euro-American settlements in present-day Arkansas. In the late 1790s, Spanish settlers established an encampment approximately two miles from the site of the present-day Memphis and Arkansas, Harahan, and Frisco Bridges. A settlement developed, which became known as Hopefield after the United States acquired the land through the Louisiana Purchase in 1803. Hopefield was submerged by the river in 1912, and little above-ground evidence remains.²⁸

Throughout the nineteenth century, Crittenden County acquired prominence as a gateway to the West. In 1824, Congress initiated the construction of the Memphis to Little Rock Military Road, which connected the region to what would become the Indian Territory.²⁹ The Indian Removal Act of 1830 initiated the forced migration of thousands of Native Americans who were removed to the Indian Territory on what is now called the Trail of Tears. Many detachments crossed Crittenden County via both land routes and water routes.³⁰

Entirely bottomland, Crittenden County has extremely fertile soil, which attracted Euro-American agriculturists, many of whom brought the enslaved people of African descent. The county's economy relied on agriculture, especially cotton production, into the twentieth century.³¹

In the mid-nineteenth century, Crittenden County's location attracted major railroad lines. The Memphis and Little Rock Railroad commenced construction in 1854, and the Kansas City, Fort Scott, and Memphis Railway, which later became known as the Frisco, commenced construction in 1883.³²

²⁷ Ralph Hardin, "Marion (Crittenden County)," Encyclopedia of Arkansas, September 18, 2023, <https://encyclopediaofarkansas.net/entries/marion-crittenden-county-870/>.

²⁸ Adam Miller, "Hopefield (Crittenden County)," Encyclopedia of Arkansas, December 9, 2023, <https://encyclopediaofarkansas.net/entries/hopefield-crittenden-county-5602/#:~:text=As%20a%20railroad%20terminal%20and,ultimately%20destroyed%20Hopefield%20in%20the.>

²⁹ Ibid.

³⁰ "Explore National Historic Trails," National Historic Trails Viewer, accessed February 23, 2024, <https://www.arcgis.com/apps/webappviewer/index.html?id=d89951079a374f28ab4a3b9fc41025dd¢er=-13049019.241%2C5674733.3836%2C102100&level=16>

³¹ *Biographical and Historical Memoirs of Eastern Arkansas: Comprising a Condensed History of the State, a Number of Biographies of Distinguished Citizens of the Same, a Brief Descriptive History of Each of the Counties* (Nashville, TN: Goodspeed Publishing Company, 1890), 444.

³² M. James, "Crittenden County," Encyclopedia of Arkansas, October 17, 2023, <https://encyclopediaofarkansas.net/entries/crittenden-county-762/>.

The rail lines spurred some land speculation and settlement near the site of present-day West Memphis as early as 1884.³³ However, challenges including a series of epidemics and flooding hindered development. Annual flooding made roads and rail lines impassable for part of the year, despite public and private attempts at flood diversion.³⁴ To mitigate this flooding, the Arkansas Legislature initiated the construction of a levee district in 1897.³⁵

By the early twentieth century, the area was still nearly undeveloped and covered in virgin timber. Access to virgin timber and rail lines attracted logging companies, who created logging camps and cleared the land that would become present-day West Memphis for permanent settlement.³⁶

Land speculators laid the plan for present-day West Memphis in 1912. However, growth did not start in earnest until after the rise of the automobile.³⁷ Despite a series of devastating floods, West Memphis was officially incorporated in 1927.³⁸

The city flourished in the twentieth century as a center of transportation. By 1938, West Memphis had access to the Mississippi River, five railroads, and five major highways, which attracted mass automobile tourism and supported the development of industry and commerce.³⁹ Between 1930 and 1950, the population grew from less than 900 to approximately 9,000 in 1950.⁴⁰ During this period, a music scene developed in West

³³ *Biographical and Historical Memoirs of Eastern Arkansas: Comprising a Condensed History of the State, a Number of Biographies of Distinguished Citizens of the Same, a Brief Descriptive History of Each of the Counties* (Nashville, TN: Goodspeed Publishing Company, 1890), 393; M. James, "Crittenden County," Encyclopedia of Arkansas, October 17, 2023, <https://encyclopediaofarkansas.net/entries/crittenden-county-762/>; Margaret Elizabeth Woolfolk, *A History of Crittenden County, Arkansas* (Greenville, SC: Southern Historical Press, 1993), 271-273.

³⁴ M. James, "Crittenden County," Encyclopedia of Arkansas, October 17, 2023, <https://encyclopediaofarkansas.net/entries/crittenden-county-762/>.

³⁵ Donna Brewer Jackson, "Levees and Drainage Districts," Encyclopedia of Arkansas, July 20, 2023, <https://encyclopediaofarkansas.net/entries/levees-and-drainage-districts-1165/>.

³⁶ La Coterie, comps., *West Memphis, 1927-1976* (West Memphis, AR: Printing Crafts, 1976).

³⁷ Rachel Silva, "Walks Through History: Downtown West Memphis," (Little Rock, AR: Arkansas Heritage, 2015), 2. https://www.arkansasheritage.com/docs/default-source/ahpp-documents/sandwiching-tour-scripts/walks-through-history---04-11-15---west-memphis-commercial-historic-district6ca4624e-29f8-4e2e-867b-83434439ae54.pdf?sfvrsn=ed7c9b18_5

³⁸ Charlotte C. Wicks, "West Memphis (Crittenden County)," Encyclopedia of Arkansas, June 16, 2023, <https://encyclopediaofarkansas.net/entries/west-memphis-crittenden-county-871>.

³⁹ "West Memphis Arkansas," *The Commercial Appeal* (December 31, 1938), accessed on February 27, 2024, <https://www.newspapers.com/article/the-commercial-appeal/141943472/>

⁴⁰ Silva, "Walks Through History: Downtown West Memphis," (Little Rock, AR: Arkansas Heritage, 2015), 2. https://www.arkansasheritage.com/docs/default-source/ahpp-documents/sandwiching-tour-scripts/walks-through-history---04-11-15---west-memphis-commercial-historic-district6ca4624e-29f8-4e2e-867b-83434439ae54.pdf?sfvrsn=ed7c9b18_5.

Memphis called “Beale Street West,” which became nationally influential, in part, due to the influence of local radio stations.⁴¹

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⁴¹ Adam Miller, “KWEM,” Encyclopedia of Arkansas, June 16, 2023,
<https://encyclopediaofarkansas.net/entries/kwem-radio-station-8240/>.

5. SURVEY RESULTS

Background research identified eight previously surveyed resources within the APE (refer to Table 4-1). Fieldwork found that Resource SY-35242 has been demolished. The TN-SHPO online viewer provides no information on the demolished resource; historic aerials indicate that the property included structures associated with an oil refinery that were demolished in 2012.

Figure 1: Former location of now-demolished Resource SY-35242 (February 2024).



Fieldwork documented the current condition of the remaining seven previously surveyed resources. Of the extant previously surveyed resources, four are listed in the NRHP. These include the Memphis and Arkansas Bridge, the U.S. Marine Hospital Executive Building and Laundry-Kitchen, the U.S. Marine Hospital Marine Apartments, and Chickasaw Heritage Park. In addition, the Frisco Bridge and the Harahan Bridge have been determined eligible for the NRHP. Fieldwork verified that these properties remain extant and in possession of the character-defining features that qualify them for the NRHP. Updated descriptions, full evaluations, and Survey123 forms were completed for each resource.

Fieldwork documented a total of eight additional resources 45 years of age or older within the proposed Project's APE (refer to Table 4-2). These resources include two districts that have been recommended eligible for the NRHP, the Memphis Marine Hospital Campus Historic District (boundary expansion) and the French Fort Historic District. The Memphis Marine Hospital Campus Historic District includes eight individual buildings, of which six are recommended as contributing resources, including four that are listed in the NRHP

under the U.S. Marine Hospital Executive Building and Laundry-Kitchen and the U.S. Marine Hospital Marine Apartments nomination forms. Summaries of these listings are included under the U.S. Marine Hospital Campus Historic District evaluation. All buildings in the Memphis Marine Hospital Campus Historic District fall within the APE. The French Fort Historic District includes 145 individual buildings, of which 125 are recommended as contributing resources. 20 buildings within the district fall within the APE.

Surveyed resource locations are illustrated in Maps 4-5. Previously surveyed resources are summarized in Table 4-1, while newly surveyed resources are summarized in Table 4-2.

Table 4-3 summarizes the resources that are listed on the NRHP, those that were previously determined eligible, and the resources that have been recommended eligible. This table includes the results of the assessment of effects and the Section 4(f) assessment for each resource.

TABLE 5-1. PREVIOUSLY IDENTIFIED HISTORIC RESOURCES WITHIN APE

Survey ID	Name	Date	Style/Type	Location/Address	Eligibility Determination
NRHP # 01000139	Memphis and Arkansas Bridge	1945-1949	Cantilevered through truss bridge	Interstate 55 over Mississippi River	Listed February 16, 2001 (#0100139)
NRHP # 80003872	U.S. Marine Hospital Executive Building and Laundry-Kitchen	1883-1884	Italianate medical buildings	360 Metal Museum Dr.	Listed July 2, 1980 (#80003872)
NRHP #SG 10003905	U.S. Marine Hospital Marine Apartments	1934, 1937, 1939	Colonial Revival and Streamlined Moderne medical buildings	360 Metal Museum Dr.	Listed May 3, 2019 (#100003905)
NRHP # 97001441	Chickasaw Heritage Park	400 AD-1500 AD	Prehistoric Native American village/ archaeological site	305-315 Metal Museum Dr.	Listed November 25, 1997 (#97001441)

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Survey ID	Name	Date	Style/Type	Location/Address	Eligibility Determination
HS-1	Harahan Bridge	1916	Cantilevered through truss bridge	Union Pacific Railroad over Mississippi River	Eligible
HS-2	Frisco Bridge	1892	Cantilevered through truss bridge	BNSF Railway over Mississippi River	Eligible
SY-35240	SY-35240	1937	Warehouse	328 Wisconsin Ave.	No determination; recommended not eligible
SY-3542	SY-35242	Unknown	Unknown	0 Metal Museum	No determination; demolished

Table 5-2. Newly Surveyed Historic Resources

Survey ID	Name	Date	Style/Type	Location/Address	Eligibility Recommendation
HS-3	First Unitarian Church of Memphis	1965	Modern/Shed Style Church	292 W Virginia Ave.	Eligible
HS-4	WREG News Channel Three Memphis	1975	Twentieth-Century Commercial	803 Channel Three Dr.	Not Eligible
HS-5	Memphis Police Department Organized Crime Unit	1967	Twentieth-Century Commercial	225 Channel Three	Not Eligible
HS-6	Southern Cotton Ginners Association	1968	Twentieth-Century Commercial	874 Cotton Gin Pl.	Not Eligible
HS-7	Holiday Inn	1962	Mid-Century Modern Hotel	340 W Illinois Ave.	Not Eligible



Survey ID	Name	Date	Style/Type	Location/Address	Eligibility Recommendation
HS-8 through HS-13	Memphis Marine Hospital Campus Historic District (boundary expansion)	1884-1939	Italianate, Colonial Revival, and Streamlined Moderne Medical Buildings	360, 374, and 338 Metal Museum Dr.	Eligible
HS-14	KWAM Radio Tower	1946	Radio Tower	West Memphis	Eligible
HS-15 through HS-159	French Fort Historic District	1963-1972	Mid-Twentieth Century Ranch and Split-Foyer Residential Neighborhood	Bounded by I-55, railroads, Chickasaw Heritage Park, and E Illinois Ave.	Eligible

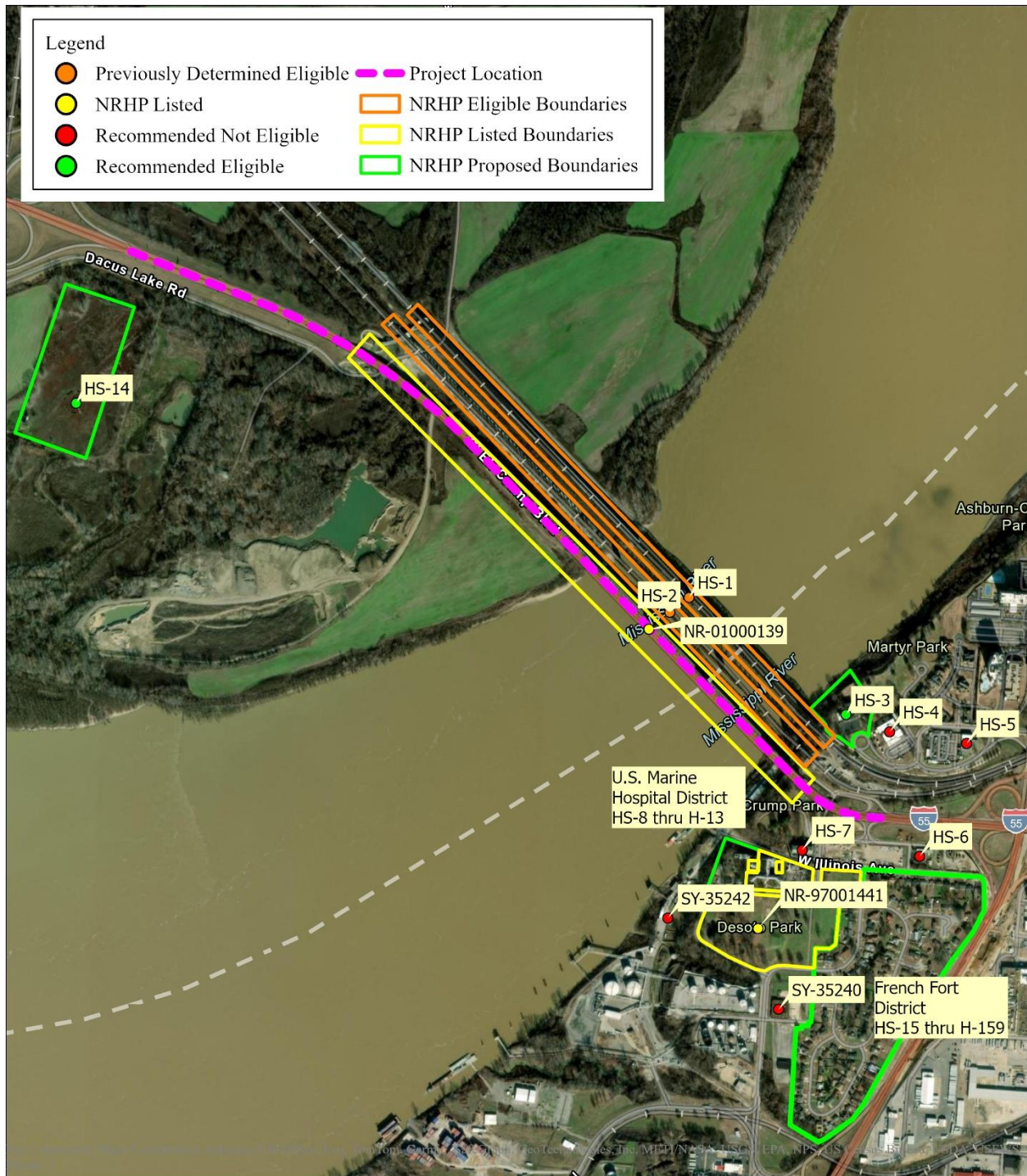
Table 5-3. Effects and Section 4(f) Recommendations

Survey ID	Name	Eligible Criteria	Effects Recommendation	Section 4(f) Recommendation
NRHP# 01000139	Memphis and Arkansas Bridge	Criterion C	Adverse Effect	Programmatic Evaluation
NRHP # 97001441	Chickasaw Heritage Park	Criterion D	No Adverse Effect	N/A
HS-1	Harahan Bridge	Criteria A, C	No Adverse Effect	N/A
HS-2	Frisco Bridge	Criteria A, B, C	No Adverse Effect	N/A
HS-3	First Unitarian Church of Memphis	Criterion C	No Adverse Effect	N/A

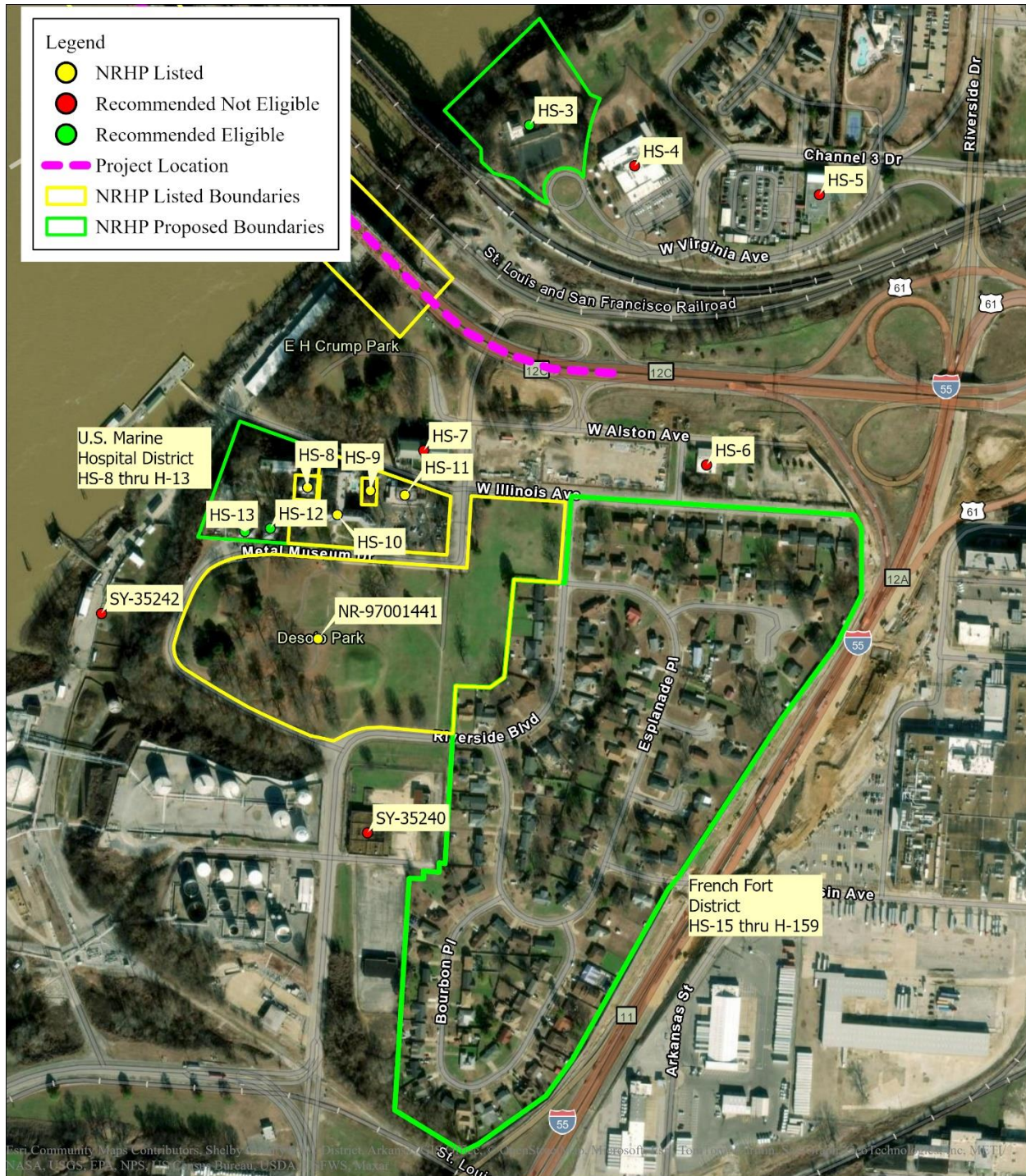
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Survey ID	Name	Eligible Criteria	Effects Recommendation	Section 4(f) Recommendation
HS-8 through HS-13; NRHP #80003872; NRHP #SG 10003905	Memphis Marine Hospital Campus Historic District (boundary expansion), including Executive Building and Laundry Kitchen and Marine Apartments	Criterion A, C	No Adverse Effect	N/A
HS-14	KWAM Radio Tower	Criterion A	No Adverse Effect	N/A
HS-15 through HS-159	French Fort Historic District	Criteria A, C	Adverse Effect	No Section 4(f) Use

In total, there are eight resources in the APE that are listed on the NRHP, previously determined eligible, or recommended eligible for listing. There are five resources that have been recommended not eligible for the NRHP. It is recommended that the project would have No Adverse Effect and no Section 4(f) use for the Chickasaw Heritage Park, the Harahan Bridge, the Frisco Bridge, the First Unitarian Church of Memphis, the Memphis Marine Hospital Campus Historic District, and the KWAM Radio Tower. The project is recommended to have an Adverse Effect, but no Section 4(f) use, to the French Fort Historic District. It is recommended that the project would have an Adverse Effect to the Memphis and Arkansas Bridge and that this project would fall under the *Programmatic Section 4(f) Evaluation and Approval for FHWA Projects that Necessitate the Use of Historic Bridges*.



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Map 5: Resource Location, Detail View of Resources in Tennessee
America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 400 800 Feet

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6. NRHP LISTED PROPERTY: MEMPHIS AND ARKANSAS BRIDGE

NRHP #: 01000139

ARDOT Bridge # 02271

AR-SHPO # CT0108

Summary: Constructed in 1949, the Memphis and Arkansas Bridge is listed in the NRHP under Criterion C for its local significance in the area of engineering. The bridge carries I-55 across the Mississippi River between Memphis, Tennessee, and West Memphis, Arkansas. The Warren truss bridge is constructed of steels with verticals comprised of five spans. The bridge spans a total of 5,222 feet. It is listed for its distinctive type and method of construction, and it is the only bridge spanning the Mississippi River that was designed exclusively for vehicular travel before 1950. The bridge's listed period of significance is 1949-1950. The bridge was listed on the NRHP in 2001.

NRHP Boundary: The listed NRHP boundary includes the bridge, abutments, and piers. The NRHP boundary is illustrated in the nomination map shown below (refer to Figure 5).

Figure 2: Memphis and Arkansas Bridge, looking west from Tennessee.



Project team photo taken January 31, 2024

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Figure 3: Memphis and Arkansas Bridge, looking northwest from Tennessee.

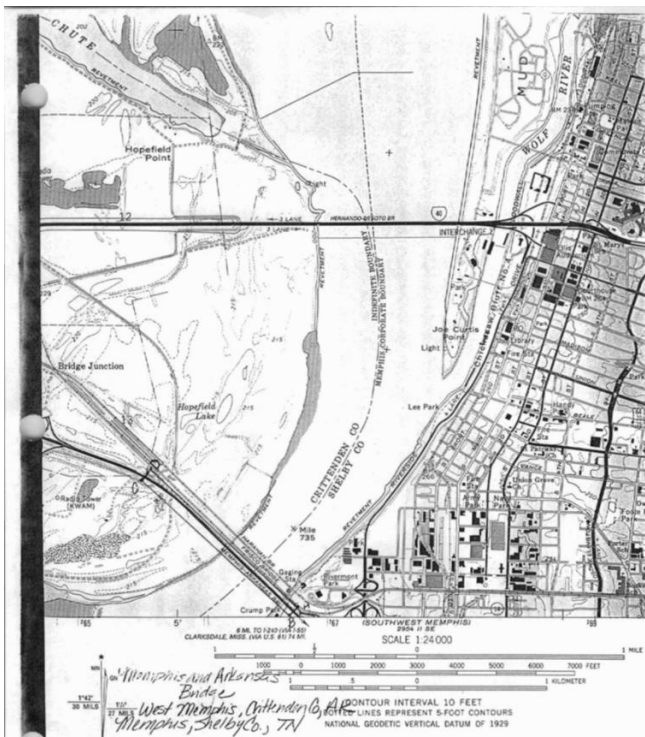


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Figure 4: Memphis and Arkansas Bridge, looking east at approach from Arkansas side.



Figure 5: Boundary map for Memphis and Arkansas Bridge



Source: Memphis-Arkansas Bridge NRHP Nomination Form

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6.1.1. Assessment of Effects

Pursuant to 36 CFR 800.5, the Criteria of Effects were applied for the proposed Project to the NRHP-listed Memphis and Arkansas Bridge. A finding of Adverse Effect is anticipated for the Memphis and Arkansas Bridge.

In the area of the resource, project activities would include the demolition and removal of the NRHP-listed Memphis and Arkansas Bridge and the construction of a new bridge along a new alignment immediately to the south.

Example of Adverse Effect	Assessment
Physical destruction of or damage to all or part of the property	The Memphis and Arkansas Bridge would be demolished and removed as a result of project implementation. This would result in an adverse effect to the resource.
Alterations of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines	Because the bridge would be demolished and removed, the project would not be consistent with the <i>Secretary's Standards for the Treatment of Historic Properties</i> . This would constitute an adverse effect.
Removal of the property from its historic location	The bridge would be removed from its historic location and destroyed, causing an adverse effect.
Change of the character of the property's use or physical features within the property's setting that contribute to its historic significance	Because the bridge would no longer exist following project implementation, it would not be used for its historic purpose, and it would not be in its historic setting. This would be an adverse effect.
Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features	Because the bridge would no longer exist, this effect does not apply.



Example of Adverse Effect	Assessment
Neglect of a property which causes its deterioration, except where such neglect or deterioration are recognized qualities or a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization	Because the bridge would no longer exist, this effect does not apply.
Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforcement restrictions or conditions to ensure long-term preservation of the property's historic significance	Because the bridge would no longer exist, this effect does not apply.

6.1.2. Applicability of Section 4(f)

Section 4(f) of the U.S. Department of Transportation Act (1966, as amended) gives special consideration to the use of park and recreational lands, wildlife and waterfowl refuges, and historic sites by federally assisted transportation projects. To be considered "historic," a property must be either listed in the NRHP or determined eligible for such listing by the Keeper of the Register or the SHPO, Section 4(f) applies only to those projects using federal funds from the U.S. Department of Transportation. The FHWA has devised a programmatic Section 4(f) documentation procedure to more readily address the concerns of repairing or replacing historic bridges. According to 23 CFR 774.3(d),

Programmatic Section 4(f) evaluations are developed by the Administration based on experience with a specific set of conditions that includes project type, degree of use and impact, and the evaluation of avoidance alternatives. An approved programmatic Section 4(f) evaluation may be relied upon to cover a particular project only if the specific conditions in the programmatic evaluation are met.

A programmatic Section 4(f) evaluation may be applied by the FHWA to projects that meet the following conditions.

Programmatic Section 4(f) Applicability

1. *The bridge is to be replaced or rehabilitated with Federal funds.*

TDOT, in conjunction with the FHWA, is proposing to use federal funding to replace the Memphis and Arkansas Bridge.

2. *The project will require the use of a historic structure which is on or is eligible for listing in the NRHP.*

The Memphis and Arkansas Bridge is listed on the NRHP. The proposed project is considered a “use” of the historic structure.

3. *The bridge is not a National Historic Landmark.*

Although the bridge is NRHP-listed, the Memphis and Arkansas Bridge does not meet the qualifications of national significance required for National Historic Landmark Status.

4. *The FHWA Division Administrator determines that the facts of the project match those set forth in the sections of this document labeled Alternatives, Findings, and Mitigation.*

With the approval of this documentation report, the FHWA Division Administrator will agree that the facts of the project match those set forth in the sections of this document labeled Alternatives, Findings, and Mitigation.

5. *Agreement among the FHWA, the State Historic Preservation Officer (SHPO), and the Advisory Council on Historic Preservation (ACHP) has been reached pursuant to Section 106 of the NHPA.*

With the approval of this documentation, an agreement will be reached among the FHWA, TN-SHPO, and the ACHP through procedures pursuant to Section 106 of the NHPA.

The Memphis and Arkansas Bridge replacement meets all the criteria listed above. The project is therefore applicable for Programmatic Section 4(f) documentation.

Alternatives Considered

The removal and replacement of the NRHP-listed Memphis and Arkansas Bridge constitutes a Section 4(f) “use” of the bridge. TDOT examined alternatives during the planning phase of the environmental study. Alternatives examined in this report include Do Nothing, Rehabilitation, and Abandonment, all of which were discarded as not prudent and feasible. The Do Nothing alternative is evaluated in the NEPA assessment, but the Rehabilitation and Abandonment alternatives are not. Rehabilitation will not meet project Purpose and Need and Abandonment will not satisfy other project partners. They are included here to satisfy the requirements of the programmatic Section 4(f) evaluation. The



Do Nothing alternative would leave a substandard, potentially dangerous bridge that does not meet current design standards for modern vehicle weight and dimensions in use as an interstate bridge. The Rehabilitation alternative would require extensive repairs that are both cost-prohibitive and would change characteristics of the historic bridge structure. The Abandonment alternative (construction of a standard bridge on new location leaving the old one in place) would require TDOT or another party to take responsibility for liability and maintenance of the historic bridge in its current location; this is not feasible due to the prohibitive maintenance costs and the unsafe conditions of the current bridge.

Building the new bridge on a new location also has a preservation option of moving the bridge in order to preserve it. However, based on the size and condition of the trusses, and the current truss location, relocation by trucks, waterways, or helicopter would not be a viable option. The only option would be preservation in-place, which would be accomplished through the Do Nothing, Rehabilitation, and Abandonment alternatives described above. As previously described, these alternatives were discarded as not prudent and feasible.

If, after the NEPA document is complete, the preferred alternative replaces the historic bridge with a new standard bridge on a new location, this would necessitate the demolition or relocation of the historic bridge. Because the demolition of the bridge would adversely affect this National Register eligible structure, Federal law mandates that alternatives to the action be considered. The avoidance alternatives mentioned above were studied during the preliminary planning phase of the project. These alternatives, which would avoid an Adverse Effect and Section 4(f) use of the bridge, included Do Nothing, Rehabilitation, and Abandonment (construction of a standard bridge on new location leaving the historic bridge in place). After careful consideration, the only prudent and feasible alternative would result in the construction of a new bridge on a new location. The bridge type makes relocation infeasible, and river navigational requirements make reuse at its current location imprudent. Therefore, the historic bridge cannot be reused at its current location or relocated, even if a qualified recipient is found, and neither of these alternatives can be considered.

The Historic Bridge Assessment can be found in Appendix E. TDOT's Structures Office prepared the assessment, and it contains detailed information about the costs, possible rehabilitation, and abandonment issues for the bridge.

Avoidance Alternatives

Do Nothing Alternative

The first alternative, Do Nothing, would retain the Memphis and Arkansas Bridge as the I-55 bridge across the Mississippi River. Under this alternative, the bridge would receive normal maintenance, but other work would be avoided.

The historic Memphis and Arkansas Bridge does not meet the current design level for interstate bridges. The existing bridge roadway, with 11-foot-wide lanes and no shoulders, is narrower than the approach roadway widths on both the Tennessee and Arkansas sides and does not meet current design criteria for freeways with median barriers. Current design criteria requires 12-foot lanes with 10-foot outside shoulders and eight-foot minimum inside shoulders. The steel truss superstructure is also corroded and has element section loss as a result. The existing deck structural system needs to be replaced. Contracted maintenance are primary repair costs that have a projected ten-year recurring cost of \$12.0 million. Annual bridge maintenance expenses are approximately \$50,000. American Association of State Highway and Transportation Officials (AASHTO) Load and Resistance Factor Design Section 3.10 requires that all bridges be designed to withstand a prevailing earthquake with a seven percent probability in 75 years. The existing bridge has not been designed for this requirement.

The existing Memphis and Arkansas Bridge experienced significantly higher crash rates per million vehicle miles traveled (MVMT) than the TDOT average statewide crash rate by facility type (four or more lanes divided urban interstate) during the most recently studied period between January 1, 2019, and December 31, 2021, as part of crash data reporting to the FHWA Highway Safety Improvement Program (HSIP). Compared to the statewide average crash rate of 2.027 crashes per MVMT, the bridge crash rate of 3.78 crashes per MVMT is 86 percent higher.⁴² The high number of crashes can be attributed to the narrow lanes and inadequate shoulders for existing and future traffic volume on the bridge. Additionally, the existing Memphis and Arkansas Bridge ranks in the top 10 percent and 12 percent bottlenecks (in the southbound and northbound direction of travel, respectively) of Tennessee interstate segments.

The existing Memphis and Arkansas Bridge is built with four piers in the Mississippi River. These pose a challenge to river navigation and commerce, and barge pilots have mentioned many near allisions with the piers at this location.

Rehabilitation Alternative

The bridge could be rehabilitated for automobile, pedestrian, or bike use. The bridge would require significant retrofitting to meet modern seismic codes, as well as removal of the original lead-paint coating. The estimated cost for lead-paint removal and repainting is \$50 million. In addition, recurring maintenance costs would include contracted maintenance costs with a projected ten-year recurring cost of \$12.0 million and annual bridge

⁴² Since the project area falls in both states of Arkansas and Tennessee, the data was collected from ARDOT Portal Arkansas Crash Analytics Tool (ACAT) and E-TRIMS respectively for crashes within each state. Statewide average crash rate (2019-2021) was used since that was the latest average crash rate found for the data available from both TDOT and ARDOT. Crashes from 2023 are available from TDOT, but 2022 is the latest available data from ARDOT.

maintenance expenses of approximately \$50,000. The bridge has been classified as a non-candidate for seismic retrofitting due to high cost, estimated between \$250 - \$500 million.

The bridge would also require significant modification for automobile, pedestrian, or bike use to meet current design levels for interstate bridges or for pedestrian and bicycle usage. Pedestrian live load recommendations in the current bridge design code often result in higher loading demands than vehicular live loads. Therefore, converting the existing Memphis bridge to pedestrian and bicycle traffic would require significant rehabilitation of the existing structure. Because the existing bridge is a Warren through truss, it cannot be widened to improve deck geometry and meet current design criteria for vehicular bridges. These geometric constraints also inhibit conversion to pedestrian and bicycle use.

Abandonment (construction of a standard bridge on a new location) Alternative

The third alternative, abandonment of the historic bridge, would leave the bridge in place as is and allow for a new standard bridge to be built on a new location. This alternative calls for a new structure to be built on a new alignment.

The bridge has not been seismically retrofitted, possesses its original lead-paint coating, and sits on four piers in the Mississippi River that pose navigational challenges to barges traversing the river at this location. The steel truss superstructure is also corroded and has element section loss as a result.

Findings

Do Nothing Alternative

Under this proposal, the structure would continue to deteriorate and become increasingly hazardous to users of I-55. For the following reasons, this alternative is not feasible and prudent.

- a. Maintenance – Normal maintenance is not adequate to cope with the situation because geometric deficiencies and deterioration will not be corrected under the Do Nothing Alternative.
- b. Safety – The Do Nothing Alternative does not address the problems that cause the bridge to be considered to be deficient. The bridge does not meet the current design level for interstate bridges and is functionally obsolete. The Do Nothing Alternative would not address safety concerns, including seismic vulnerabilities, the high number of crashes, the narrow lane width, lack of shoulders, and the hazardous narrowing of the bridge roadway from the approach roadway on both sides. Furthermore, if the bridge remained in place, its piers would pose a navigational challenge and safety risk to river navigation due to potential allusions.

Failure to replace or rehabilitate this bridge would leave an insufficient structure carrying I-55 across the Mississippi River. Because of these deficiencies, the bridge poses unacceptable safety hazards to the traveling public on I-55.

Rehabilitation

Under this alternative, TDOT would substantially rehabilitate the existing bridge to current standards. For the following reasons, this alternative is not feasible and prudent.

- a. Structural deficiencies – It is not feasible to rehabilitate the bridge for continued automobile use due to its design. Because the existing bridge is a through truss, it cannot be widened to improve deck geometry and meet current design criteria for interstate bridges. The bridge cannot be rehabilitated for vehicular use without affecting the bridge's historic integrity. These spatial constraints also make rehabilitation for pedestrian and bicycle use infeasible due to the high loading demands required by current design criteria.
- b. Safety – The bridge would require lead paint removal and seismic retrofitting to current standards; this work is not feasible due to prohibitive maintenance costs. Furthermore, keeping the bridge in place poses a navigational challenge and safety risk to river navigation due to potential allusions.

The bridge is structurally obsolete and cannot be rehabilitated without affecting the historic integrity of the bridge. The costs of mandatory and immediate rehabilitation of the historic bridge, along with additional costs for ongoing repairs, would be financially infeasible compared to the cost of constructing a new bridge. Therefore, the Rehabilitation Alternative is not prudent and feasible.

Abandonment

With this alternative, TDOT would need to construct a new roadway within the park in order to support a new bridge at an alternate location. For the following reasons, this alternative is not feasible and prudent.

- a. Safety – The Abandonment Alternative does not address the problems that cause the bridge to be considered deficient and unsafe. Abandoning the bridge as a ruin would not address safety concerns such as seismic vulnerabilities, the presence of lead paint, a corroded superstructure, and the navigational challenge and safety risk its piers pose to rivercraft due to potential allusions. Furthermore, TDOT or an outside party would need to take responsibility for the safety and liability of the bridge ruin.
- b. Navigation – The Abandonment Alternative does not meet navigational standards. According to the TDOT Structures Office's Historic Bridge Assessment, "because of the navigational requirements of the [U.S. Coast Guard], the bridge would need to be removed from the navigational footprint of the river." The current bridge creates navigational challenges and increases potential allusions.



Although the abandonment of the bridge would leave it in its current location, it would be left as a ruin and no longer in use. This poses significant safety risks due to the risk of lead contamination due to flaking paint and the risk of collapse in a seismic event. This also does not meet navigational requirements for the Mississippi River. The Abandonment Alternative is not a viable option at this time and Abandonment is not feasible and prudent.

6.1.3. Measures to Mitigate Adverse Effect

The bridge has been listed in the NRHP under Criterion C. Therefore, measures to mitigate the impacts of the proposed project to the Memphis and Arkansas Bridge were examined because replacement of the bridge is necessary.

In order to mitigate the demolition of the NRHP-listed Memphis and Arkansas Bridge, the feasibility of reusing the bridge at a new location or on existing location was examined. In the Historic Bridge Assessment, TDOT's Structures Office determined that neither of these options would be feasible as the bridge type makes relocation not feasible and navigational challenges for rivercraft make preservation in place imprudent.

Documentation following Historic American Engineering Record (HAER) Guidelines

Prior to removal of the Memphis and Arkansas Bridge, TDOT will document the bridge following the guidelines of the HAER program through a historic report, measured drawings, and large-format professional photography. The resulting documentation will be filed with the TN-SHPO, AR-SHPO, and other stakeholders upon request.

Documentation with Three-Dimensional Laser Imaging

Prior to removal of the Memphis and Arkansas Bridge, TDOT will document the bridge through Three-Dimensional (3-D) laser imaging. Copies of the 3-D laser imaging will be provided to the TN-SHPO, AR-SHPO, and other stakeholders upon request.

Publication of Book on Mississippi River Crossings

TDOT will hire a consultant to write a book about Mississippi River crossings in Tennessee. The book will cover the history of Mississippi River crossings in Tennessee, including the five (5) current bridges crossing the Mississippi River, of which four are located in Memphis, Tennessee, prehistoric river crossings, and historic river ferries.

7. NRHP LISTED PROPERTY: CHICKASAW HERITAGE PARK

NRHP #: 97001441

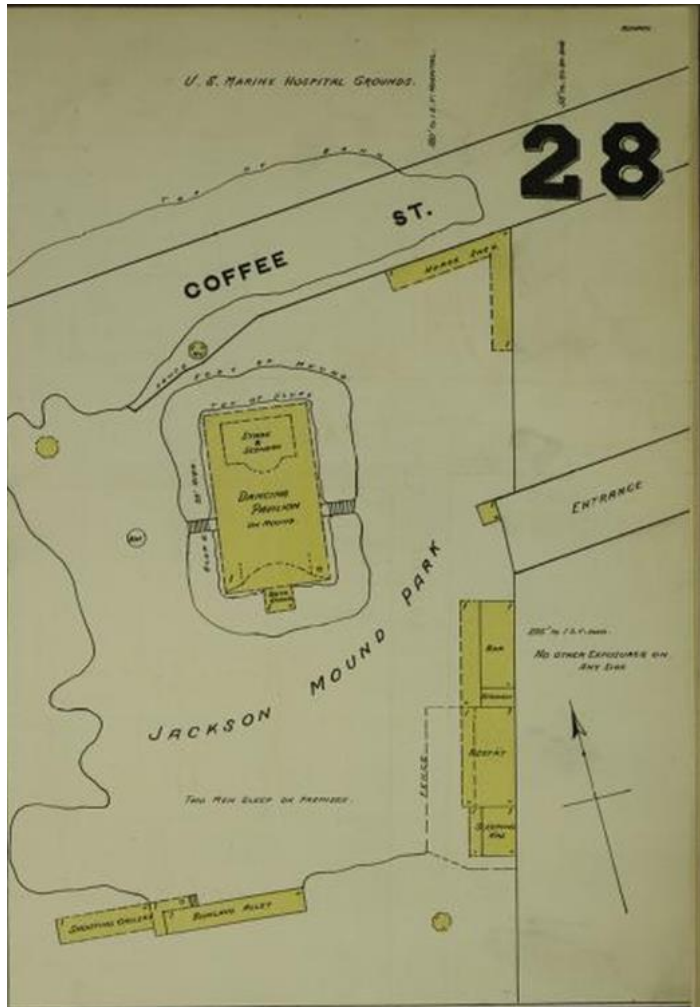
Summary: The Chickasaw Heritage Park is listed in the NRHP under Criterion D for its significance for prehistoric archaeology. The park was developed between 400 AD and 1500 AD as part of a prehistoric Mississippian village which included seven earthen platform mounds, two of which remain extant. The park served as public land for the nineteenth-century town of Fort Pickering and later was the site of a Civil War fort, also named Fort Pickering. The park became an amusement park called Jackson Mound Park at the end of the 1800s, and in 1912 the land was purchased by the City of Memphis and renamed DeSoto Park. The park was renamed Chickasaw Heritage Park in December 1994 due to the joint efforts of the American Indian Council of Tennessee, Native American Intertribal Association and Tennessee Commission on Indian Affairs.⁴³ As the largest multiple mound complex on the bluff of the Mississippi River in the region, Chickasaw Heritage Park is considered an important source of information regarding Woodland and Mississippian cultural periods in the Mississippi Alluvial Valley region of Tennessee, Mississippi, and Arkansas.

The Chickasaw Heritage Park was revisited during fieldwork and determined to retain all aspects of integrity that convey its significance in the area of prehistoric archaeology.

NRHP Boundary: The park includes approximately 17.22 acres and is bounded by Ornamental Metal Museum Dr. on the north, west, and south, by Riverside Blvd. on the east, and Illinois Ave. on the northeast.

⁴³ Wayne Risher, "Indian Groups Petition City to Change DeSoto to Chickasaw Heritage Park," *Commercial Appeal* (September 1, 1994) 98.

Figure 6: Sanborn Fire Insurance Map from Memphis, Shelby County, Tennessee. Sanborn Map Company, 1888.



Accessed via Library of Congress

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Figure 7: Chickasaw Heritage Park, looking north to Mound A and U.S. Marine Hospital.



Figure 8: Chickasaw Heritage Park, looking southwest to Mound B from the Legacies sculpture.



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Figure 9: View northwest to the Memphis and Arkansas Bridge from Chickasaw Heritage Park.



Figure 10: Boundary map for Chickasaw Heritage Park included in the NRHP nomination form.



From Chickasaw Heritage Park NRHP Nomination Form

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7.1.1. Assessment of Effects

Pursuant to 36 CFR 800.5, the Criteria of Effects have been applied for the proposed project to the NRHP-listed Chickasaw Heritage Park. The proposed project involves the removal of the NRHP-listed Memphis and Arkansas Bridge and the construction of a new bridge to the southwest. All proposed ROW and easement acquisitions would occur to directly adjacent parcels to the I-55 corridor. ROW and easement acquisition would not be taken from the NRHP-listed park. A finding of **No Adverse Effect** is anticipated.

Example of Adverse Effect	Assessment
Physical destruction of or damage to all or part of the property	The proposed project would not require the acquisition of any new ROW adjacent to the Chickasaw Heritage Park. Therefore, the proposed project is not anticipated to result in the physical destruction or damage to the property.
Alterations of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the <i>Secretary's Standards for the Treatment of Historic Properties</i> (36 CFR part 68) and applicable guidelines	The proposed project includes the removal of the current Memphis and Arkansas Bridge and construction of a new bridge to meet current highway and interstate standards, improve safety measures, and provide road widening necessary to improve road conditions and congestion in the area. The potential demolition, grading, resurfacing, improved signage and markings, restriping, and safety and railing installation would not cause alterations to any contributing resources on the property. The project is not anticipated to alter the historic property in a way that is inconsistent with the <i>Secretary of the Interior's Standards for the Treatment of Historic Properties</i> .
Removal of the property from its historic location	The proposed Memphis and Arkansas Bridge replacement project would not result in the removal of any contributing or non-contributing resources from the property. This example does not apply.
Change of the character of the property's use or physical features within the property's setting that contribute to its historic significance	The proposed project would not change the use of the property, which historically was part of a Mississippian village that included seven mounds. The City of Memphis has retained ownership of the park since 1912 and continues to maintain the two extant mounds for public enjoyment. The property is listed under Criterion D for its important contribution to the understanding of the



Example of Adverse Effect	Assessment
	Woodland and Mississippian cultural periods in the Mississippi Alluvial Valley region of Tennessee, Mississippi, and Arkansas. ROW or easement acquisition is not anticipated from the NRHP-listed resource. Thus, the proposed bridge replacement is not anticipated to impact the property's character of use or physical setting.
Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features	The proposed project would require road alterations along I-55 as a result of the bridge replacement. During construction, traffic would be detoured to accommodate the roadwork. Additional improvements may include grading, resurfacing, improved signage and markings, restriping, and safety and railing installation. The proposed work would involve lane closures and the use of large machinery. The atmospheric and audible elements introduced during the proposed construction would be limited to the minimum necessary and are not permanent. The road closures and machinery would introduce temporary visual and audible elements that would not permanently diminish the property's significance. As the resource is listed for its significance in archaeology and has a period of significance extending from AD 400 to AD 1500, the bridge is not a visual, atmospheric, or audible element that strengthens the integrity of the property's significant historic features. This is not considered an effect.
Neglect of a property which causes its deterioration, except where such neglect or deterioration are recognized qualities or a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization	The proposed bridge replacement would not cause neglect of the property. The proposed project would decrease congestion, improve road safety, and maintain and stabilize the road within the project boundary. This example does not apply.
Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforcement	The property would not come under federal ownership as a result of this project; therefore, this example does not apply.

Example of Adverse Effect	Assessment
restrictions or conditions to ensure long-term preservation of the property's historic significance	

7.1.2. Applicability of Section 4(f)

The proposed project would not incorporate any land from the NRHP-eligible boundary into a transportation facility, nor would it adversely affect the resource. The proposed project would not substantially impair any activities, features, or attributes that qualify the historic resource as eligible for the NRHP. Under the Section 106 process, the proposed project would have no adverse effect to the historic resource. For these reasons, it is anticipated that the proposed project would not have a Section 4(f) use of Chickasaw Heritage Park.

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Map 6: Chickasaw Heritage Park NRHP Boundary and Proposed New Bridge Alignment

America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and

West Memphis, Crittenden County, Arkansas

USGS 7.5 Northwest Memphis Quadrangle and

USGS 7.5 Southwest Memphis Quadrangle



0 150 300 450 600 Feet

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8. PREVIOUSLY DETERMINED ELIGIBLE RESOURCE HS-1: HARAHAH BRIDGE

AR-SHPO Resource Number CT0178

ARDOT Bridge Number 12354

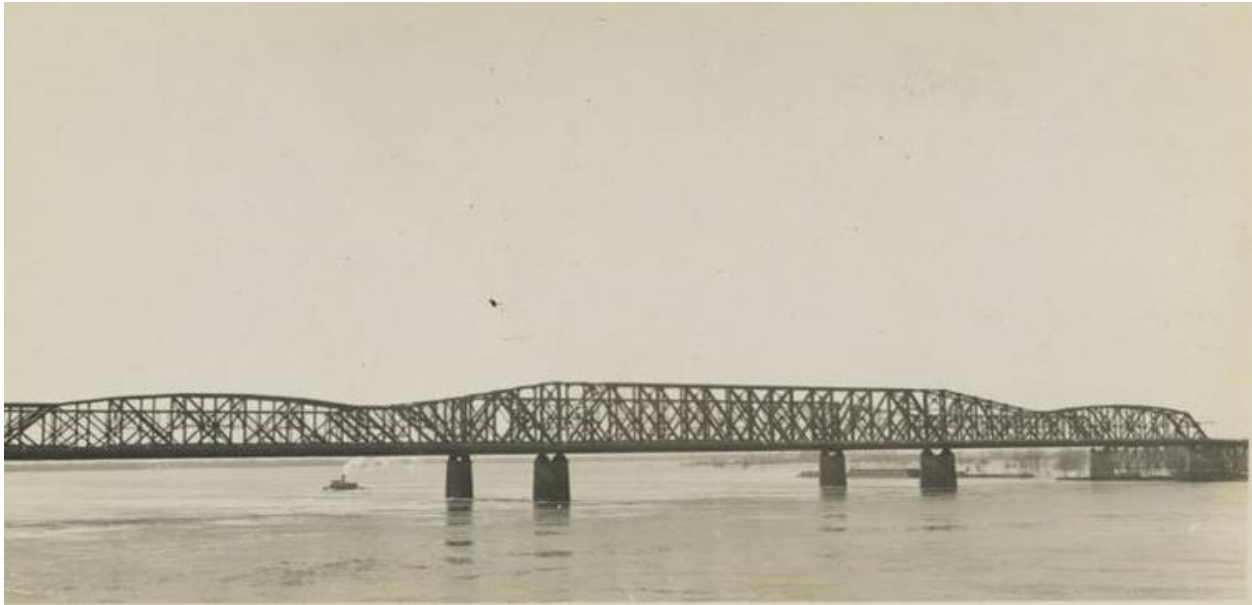
Summary: Constructed between 1913 and 1916 and designed by famed engineer Ralph Modjeski, the Harahan Bridge carries two Union Pacific rail lines and a pedestrian bridge across the Mississippi River between Memphis, Tennessee, and West Memphis, Arkansas. The Harahan Bridge is eligible for listing in the NRHP at the national level under Criterion A for its role in overland transportation and for expanding development into West Memphis and under Criterion C in the area of engineering. The bridge's period of significance is defined as 1916. The joint rail and vehicular bridge was the second Mississippi River crossing between Memphis, Tennessee and West Memphis, Arkansas. In 1930, a new viaduct was built to improve the vehicular lanes. Renowned for its trilogy of cantilevers, the Harahan Bridge spans a total of 4,973 feet and remains a vital link in the rail system. The bridge underwent rehabilitation as part of the Big River Crossing project in 2016.⁴⁴

The Harahan Bridge was revisited during fieldwork and determined to retain all aspects of integrity that convey its significance in the area of engineering.

Proposed NRHP Boundary: The proposed boundary includes the bridge, abutments, piers, and the viaduct on the Arkansas side.

⁴⁴ Martha Carver, *Tennessee's Survey Report for Historic Highway Bridges: Pre-1946 Masonry Arch, Timber Truss, Metal Truss, Concrete Arch, Metal Arch and Suspension Bridges*, Tennessee Department of Transportation, Ambrose Printing Company: Nashville, Tennessee (2008). 457-461.
<https://www.tn.gov/content/tn/tdot/structures-/historic-bridges/historic-highway-bridge-report.html>; "History," Big River Crossing, <https://www.bigrivercrossing.com/history>.

Figure 11: Harahan Bridge, taken in 1937.



Accessed via vertical file in Memphis & Shelby County Room Photograph Collection, Memphis Public Library and Information Center.

Figure 12: 1959 Postcard, “The Gateway to the South & West—Memphis, Tenn.”



Accessed via vertical file in Memphis & Shelby County Room, Memphis Public Library and Information Center.

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Figure 13: The Harahan Bridge, looking southeast at approach on the Arkansas side.



Figure 14: The Harahan Bridge, looking southwest from the Tennessee side.



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Figure 15: looking east at Harahan Bridge at left, Frisco Bridge in middle, and Memphis and Arkansas Bridge from above.



Source: project team, photo taken January 31, 2024.

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8.1.1. Assessment of Effects

Pursuant to 36 CFR 800.5, the Criteria of Effects have been applied for the proposed project to the NRHP-eligible Harahan Bridge. The proposed project is localized around the Memphis and Arkansas Bridge (I-55) and all proposed ROW and easement acquisitions would occur to directly adjacent parcels to the corridor. A finding of **No Adverse Effect** is anticipated.

Example of Adverse Effect	Assessment
Physical destruction of or damage to all or part of the property	The proposed project would replace the existing 75-year-old Memphis and Arkansas Bridge in Memphis. The proposed project would not require the acquisition of any new ROW adjacent to the Harahan Bridge. Therefore, the proposed project is not anticipated to result in the physical destruction or damage to the property.
Alterations of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines	The proposed project includes the removal of the current Memphis and Arkansas Bridge and construction of a new bridge to meet current highway and interstate standards, improve safety measures, and provide road widening necessary to improve road conditions and congestion in the area. The potential demolition, grading, resurfacing, improved signage and markings, restriping, and safety and railing installation would not cause alterations to any contributing resources on the property. The project is not anticipated to alter the historic property in a way that is inconsistent with the <i>Secretary of the Interior's Standards for the Treatment of Historic Properties</i> .
Removal of the property from its historic location	The proposed Memphis and Arkansas Bridge replacement project would not result in the removal of any contributing or non-contributing resources from the property. This example does not apply.
Change of the character of the property's use or physical features within the property's setting that contribute to its historic significance	The proposed project would not change the use of the property, which is historically a bridge. The property is eligible for listing under Criterion A for its role in overland transportation and for expanding development into West Memphis and under Criterion C in the area of engineering. ROW or easement acquisition is not anticipated from the NRHP-eligible resource. Thus, the proposed widening and

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Example of Adverse Effect	Assessment
	improvements is not anticipated to impact the property's character of use or physical setting.
Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features	The proposed project would require road alterations along I-55 as a result of the bridge replacement. Additional improvements may include grading, resurfacing, improved signage and markings, restriping, and safety and railing installation. The proposed work would involve lane closures and the use of large machinery. The atmospheric and audible elements introduced during the proposed construction would be limited to the minimum necessary and are not permanent. The road closures and machinery would introduce temporary visual and audible elements that would not permanently diminish the property's significance. The replacement of the bridge would have a minor visual impact as the existing bridge is near, but not adjacent to, the Harahan Bridge. Because the Frisco Bridge provides a visual buffer to the south of the Harahan Bridge, significant changes to the viewshed of the Harahan Bridge are not expected. Furthermore, the construction of the Memphis and Arkansas Bridge previously impacted the visual character of the Harahan Bridge's setting after its period of significance. This is not an adverse effect.
Neglect of a property which causes its deterioration, except where such neglect or deterioration are recognized qualities or a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization	The proposed bridge replacement would not cause neglect of the property. The proposed project would decrease congestion, increase road safety, and maintain and stabilize the road within the project boundary. This example does not apply.
Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforcement restrictions or conditions to	The property would not come under federal ownership as a result of this project; therefore, this example does not apply.

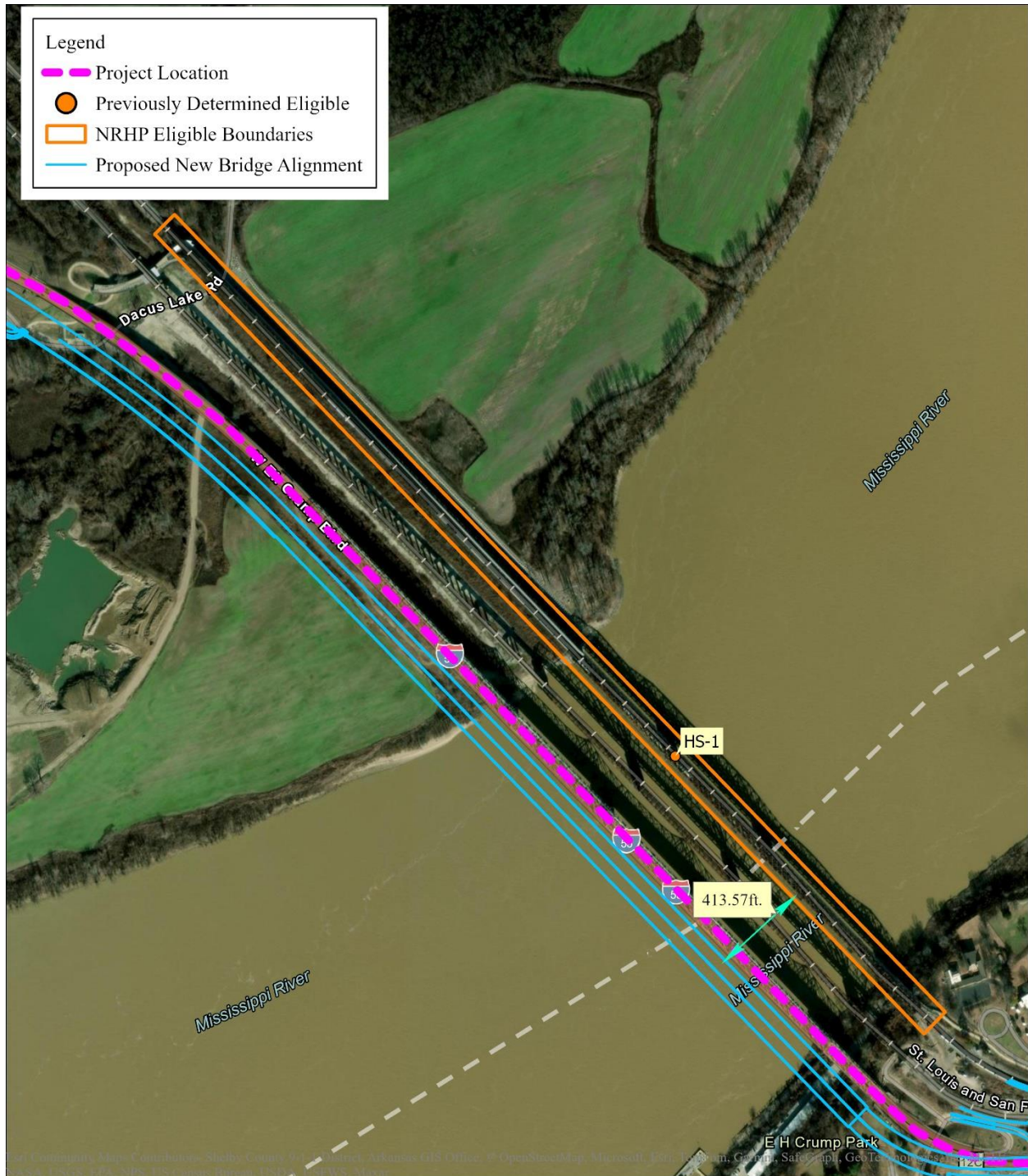


Example of Adverse Effect	Assessment
ensure long-term preservation of the property's historic significance	

8.1.2. Applicability of Section 4(f)

The proposed project would not incorporate any land from the NRHP-listed boundary into a transportation facility, nor would it adversely affect the resource. The proposed project would not substantially impair any activities, features, or attributes that qualify the historic resource as eligible for the NRHP. Under the Section 106 process, the proposed project would have no adverse effect to the historic resource.. For these reasons, it is anticipated that the proposed project would not have a Section 4(f) use of the Harahan Bridge.

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Map 8: NRHP Eligible Harahan Bridge Boundary and Proposed New Bridge Alignment

America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and

West Memphis, Crittenden County, Arkansas

USGS 7.5 Northwest Memphis Quadrangle and

USGS 7.5 Southwest Memphis Quadrangle



0 400 800 Feet

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9. PREVIOUSLY DETERMINED ELIGIBLE RESOURCE HS-2: FRISCO BRIDGE

ARDOT Bridge Number 12355

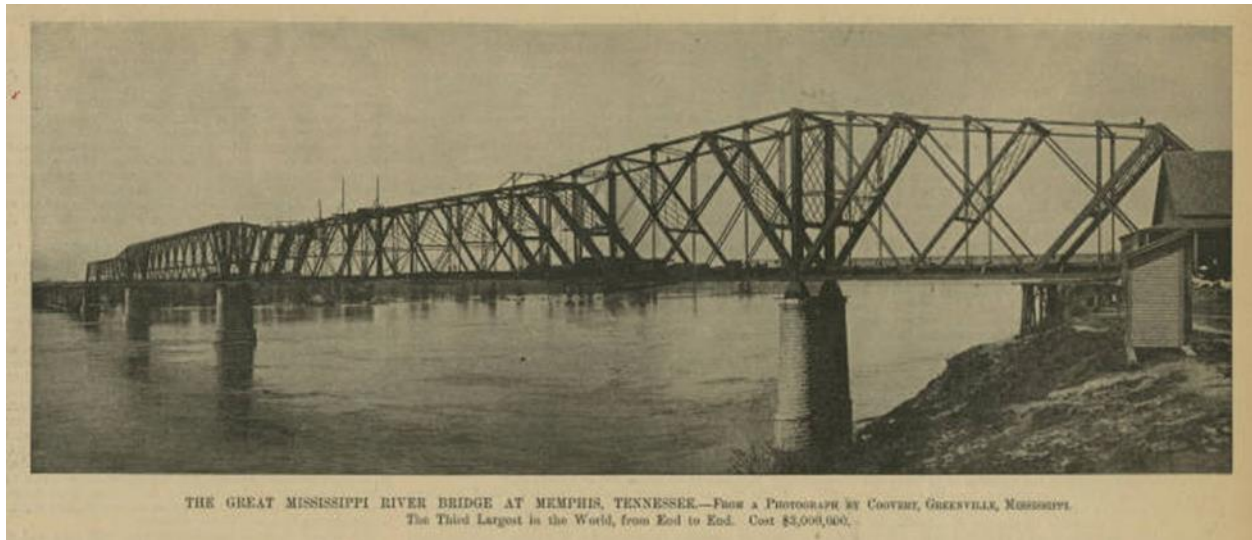
Summary: Constructed in 1892 and designed by prominent engineer George Shattuck Morison, the Frisco Bridge carries a BNSF rail line across the Mississippi River between Memphis, Tennessee, and West Memphis, Arkansas. The Frisco Bridge is eligible for listing in the NRHP at the national level under Criterion A for its role in expanding rail traffic between the South and the Midwest; under Criterion B for Morison's close involvement with the bridge project; and under Criterion C as Morison's most important bridge design and as an innovative cantilevered continuous truss bridge. The Frisco Bridge, originally called the Memphis Bridge, was the first bridge to traverse the lower Mississippi River between Memphis, Tennessee, and West Memphis, Arkansas, and is one of few bi-modal bridges constructed in Tennessee. Comprised of four main spans for a total of 4,988 feet, the bridge was an engineering feat as it was designed to carry not only railway trains but wagons, vehicles, pedestrians, and animals as well. The American Society of Civil Engineers has designated the Frisco Bridge as one of only three National Historic Civil Engineering Landmarks in Tennessee. The Frisco Bridge has a period of significance of 1892.

The Frisco Bridge was revisited during fieldwork and determined to retain all aspects of integrity that convey its significance in the area of engineering.

Proposed NRHP Boundary: The proposed boundary includes the bridge, abutments, and piers.

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Figure 16: Frisco Bridge, 1890s.



Accessed via vertical file in Memphis Public Library, Memphis & Shelby County Room.

Figure 17: The Frisco Bridge (right), looking northwest at approach from the Memphis and Arkansas Bridge (left) on Tennessee side.



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Figure 18: Frisco Bridge (left), looking southeast at approach from under the Memphis and Arkansas Bridge (right) on the Arkansas side.

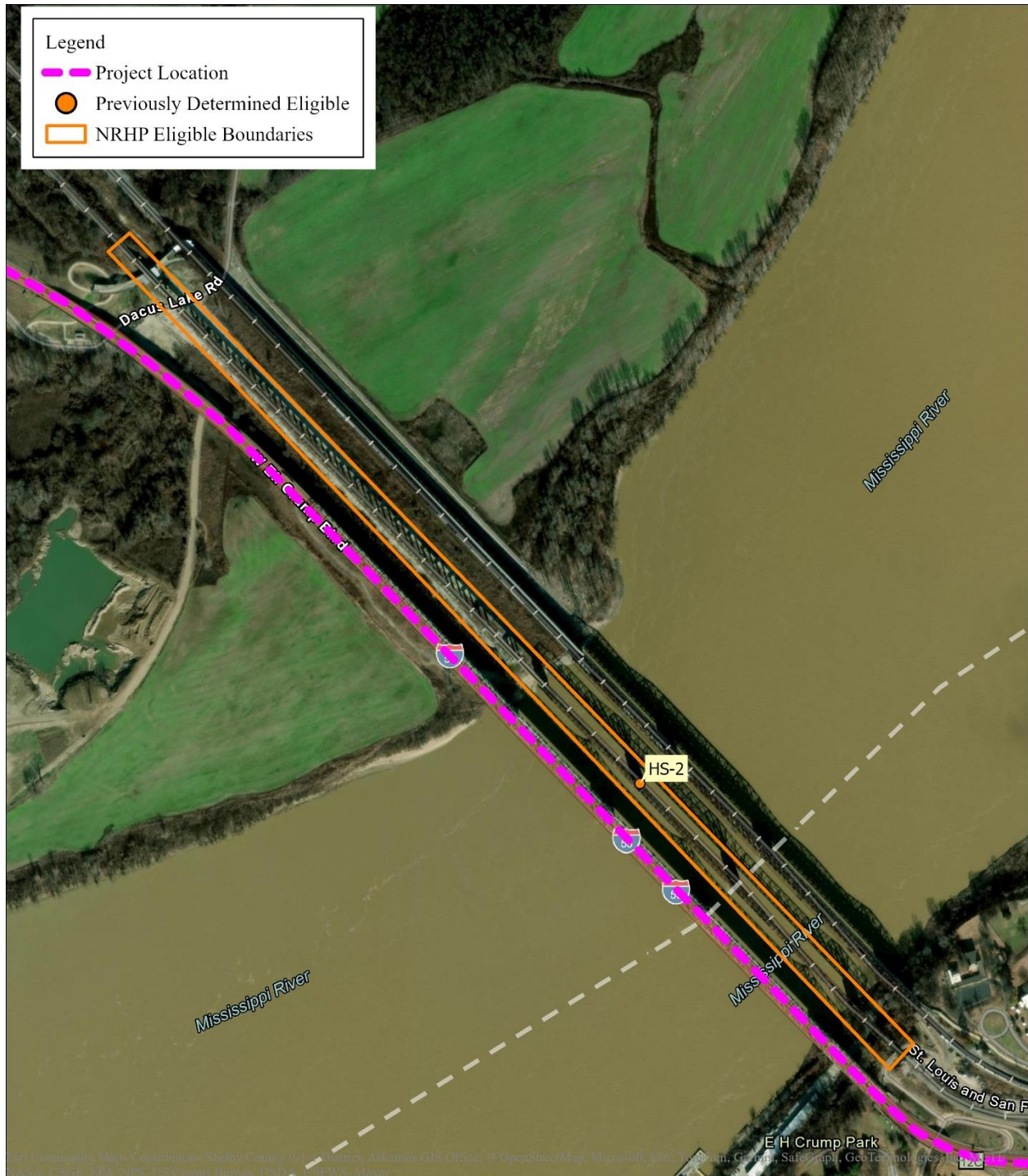


Figure 19: Looking east at Harahan Bridge at left, Frisco Bridge in middle, and Memphis and Arkansas Bridge from above



Source: project team, photo taken January 31, 2024.

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Map 9: NRHP Eligible Frisco Bridge Boundary
America's River Crossing Bridge Replacement (I-55)
 Pin: 132733.01
 Memphis, Shelby County, Tennessee and
 West Memphis, Crittenden County, Arkansas
 USGS 7.5 Northwest Memphis Quadrangle and
 USGS 7.5 Southwest Memphis Quadrangle



0 400 800 Feet

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9.1.1. Assessment of Effects

Pursuant to 36 CFR 800.5, the Criteria of Effects have been applied for the proposed project to the NRHP-eligible Harahan Bridge. The proposed project is localized around the Memphis and Arkansas Bridge (I-55) and all proposed ROW and easement acquisitions would occur to directly adjacent parcels to the corridor. A finding of **No Adverse Effect** is anticipated.

Example of Adverse Effect	Assessment
Physical destruction of or damage to all or part of the property	The proposed project would replace the existing 75-year-old Memphis and Arkansas Bridge in Memphis. The proposed project would not require the acquisition of any new ROW adjacent to the Frisco Bridge. Therefore, the proposed project is not anticipated to result in the physical destruction or damage to the property.
Alterations of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines	The proposed project includes the removal of the current Memphis and Arkansas Bridge and construction of a new bridge to meet current highway and interstate standards, improve safety measures, and provide road widening necessary to improve road conditions and congestion in the area. The potential demolition, grading, resurfacing, improved signage and markings, restriping, and safety and railing installation would not cause alterations to any contributing resources on the property. The project is not anticipated to alter the historic property in a way that is inconsistent with the <i>Secretary of the Interior's Standards for the Treatment of Historic Properties</i> .
Removal of the property from its historic location	The proposed Memphis and Arkansas Bridge replacement project would not result in the removal of any contributing or non-contributing resources from the property. This example does not apply.
Change of the character of the property's use or physical features within the property's setting that contribute to its historic significance	The proposed project would not change the use of the property, which is historically a bridge. The property is eligible for listing under Criterion A for its role in overland transportation and for expanding development into West Memphis; under Criterion B for its association with engineer George Shattuck Morison; and under Criterion C

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Example of Adverse Effect	Assessment
	for its innovation in engineering. ROW or easement acquisition is not anticipated from the NRHP-eligible resource. Thus, the proposed widening and improvements is not anticipated to impact the property's character of use or physical setting.
Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features	The proposed project would require road alterations along I-55 as a result of the bridge replacement. Additional improvements may include grading, resurfacing, improved signage and markings, restriping, and safety and railing installation. The proposed work would involve lane closures and the use of large machinery. The atmospheric and audible elements introduced during the proposed construction would be limited to the minimum necessary and are not permanent. The road closures and machinery would introduce temporary visual and audible elements that would not permanently diminish the property's significance. The replacement of the bridge would have a large visual impact as the existing bridge is adjacent to the Frisco Bridge. However, the Memphis and Arkansas Bridge was constructed later and not a part of the historic viewshed of the Frisco Bridge. This, along with other developments, has already altered the viewshed. The removal and replacement of the Memphis and Arkansas Bridge would not further impact the historical integrity of the property's setting.
Neglect of a property which causes its deterioration, except where such neglect or deterioration are recognized qualities or a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization	The proposed bridge replacement would not cause neglect of the property. The proposed project would decrease congestion, increase road safety, and maintain and stabilize the road within the project boundary. This example does not apply.
Transfer, lease, or sale of property out of Federal ownership or control without adequate and	The property would not come under federal ownership as a result of this project; therefore, this example does not apply.

Example of Adverse Effect	Assessment
legally enforcement restrictions or conditions to ensure long-term preservation of the property's historic significance	

9.1.2. Applicability of Section 4(f)

The proposed project would not incorporate any land from the NRHP-listed boundary into a transportation facility, nor would it adversely affect the resource. The proposed project would not substantially impair any activities, features, or attributes that qualify the historic resource as eligible for the NRHP. Under the Section 106 process, the proposed project would have no adverse effect to the historic resource. For these reasons, it is anticipated that the proposed project would not have a Section 4(f) use of the Frisco Bridge.

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10. PREVIOUSLY SURVEYED RESOURCE SY-35240: 1010 RIVERSIDE BOULEVARD

Description: Located at 1010 W Riverside Blvd., SY-35240 is a commercial warehouse constructed in the Twentieth-Century Commercial style. SY-35240 is set on an urban lot on the northeast corner of the intersection of Wisconsin Avenue and Riverside Boulevard. The parcel includes two buildings, a canopy structure, one fuel tank, and expanses of concrete. The parcel is surrounded by a chain link fence topped with barbed wire. Portions of the parcel have grassed yard. To the west across Riverside Boulevard is an oil tank storage facility historically associated with this property. The oil tanks are set in concrete moats and the parcel is surrounded by a chain link fence topped with barbed wire. Access to the parcel is through a gate at the foot of Wisconsin Avenue. The resources associated with the oil tank facility are mostly less than thirty years old and do not fall within the project's APE, but they are discussed below within the context for the development of SY-35240.

According to tax assessor records, the warehouse was constructed in 1937. This date is consistent with historic aerials and the building's style. Of brick masonry construction, the one-story warehouse has a five/one American bond brick exterior on a raised concrete foundation. The primary façade is the south elevation, being the most ornate with a shallow brick dentil cornice, parapet wall, and eight shallow belt courses projecting in the middle of the elevation. Composed of thirteen bays, each has a window that has been boarded up and a diamond detail underneath, with the first two bays having windows half the height of the others aligned with the headers of the others. The second bay projects from the façade by a depth of one brick. Bay eleven also projects by a depth of one brick. The last bay is shorter than the rest of the façade with the parapet lining up with the bottom of the main parapet, and the half-height window's sill height lined up with the others. The west elevation is composed of eight bays divided by brick pilasters. A shallow loading dock spans from the middle of the first bay to the middle of the last bay with a set of stairs parallel to the elevation leading up to the end of the dock. The first five bays are slightly wider than the last three. Bays one, three, and five have two horizontal windows at head-height, boarded up. Bay two has a large opening boarded up with a metal awning, and window to the right. Bay four has only a boarded opening with an awning centered. Bays six and eight each have a single boarded window opening. Bay seven has a metal door with a square window covered by a large awning. The north elevation is divided into three bays by brick pilasters. Each bay has three window openings evenly spaced and boarded up. The east elevation also has eight bays divided by brick pilasters, with the first three bays composed of a separate brick mass with stairs and concrete landing centered on a boarded-up door and two boarded-up horizontal windows to the left. To the right are two

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very small windows in line with the other headers. Bays five, six, and eight have two horizontal window openings boarded-up. Bays four and seven each has a boarded-up window and a large opening boarded up. A loading dock supported by concrete piers spans the last five bays of the façade with a shed roof supported by five metal pipe columns.

The 1951 and 1952 Sanborn Fire Insurance Maps provide details on the building.⁴⁵ It is described as having fireproof construction, except concrete block walls on first floor and roof and two oil tanks on the roof. The roof is steel frame and has fire walls projecting between 18 and 24 inches above the roofline, which is consistent with available aerial photography on Google Maps. The diagram of the building, showing window openings, shows two window openings on each of the north and south facades and no window openings on the east or west elevations. Concrete platforms are located on the east and west elevations.

An accessory structure sits to the northeast of the main warehouse, described as a mechanic shop per the sale deed. Of masonry construction, the machine shop has a large metal roof extending from the west side, supported by four metal pipe columns. The west elevation has three multi-light windows, one at each corner, and one in the center. A boarded-up door opening is centered between the windows on the right. The north elevation is partially covered in vertical wood boards with a large central boarded opening. The east elevation mirrors the west fenestration. The south elevation was not visible from the ROW.

Property History: The Sanborn Fire Insurance Maps show a row of five interconnected buildings along the east lot line, adjacent to Delaware Street. Two of these buildings are identified as offices, two are identified as garages (including the accessory building described above), and the use for one is unidentified. The Sanborn Map also includes a duplex and a row of nine elevated gas tanks enclosed in a concrete moat.⁴⁶

The 1925 topographic map shows that the street system was beginning to reach into the area, but that no development, including the rail lines, had yet occurred in the area.⁴⁷ By 1927, the rail lines along the Mississippi River were in place, and development was beginning to occur.⁴⁸

Standard Oil of Louisiana brought gas and other petroleum products to Memphis from Baton Rouge by barge and distributed them from Memphis by rail tanker or by trucks. On

⁴⁵ Sanborn Map Company, *Fire Insurance Map, Memphis, Tennessee*, Vol 2. 1924, revised 1951: 175; *Fire Insurance Map, Memphis, Tennessee*, Vol. 2, 1924, revised 1952: 175. Digital Sanborn Maps: https://digitalsanbornmaps-proquest-com.mcpl.idm.oclc.org/browse_maps/43/8324/40934/42881/578977?accountid=69: accessed July 3, 2024.

⁴⁶ Sanborn Map Company 1951; Sanborn Map Company 1952.

⁴⁷ Netronline, "Historic Aerials," map and aerial photograph database, 1925 topographic map.

⁴⁸ Ibid, 1927 topographic map.

August 7, 1930, the company announced that they had an option for the Davis Stave Mill property, south of their existing distributing plant, and intended to construct a gas storage plant. The plant would include two new storage tanks and a concrete building, which was to be erected at the foot of Wisconsin Street. The plans included arrangement for rail tracks and other facilities that would be needed.⁴⁹ The Gulf Refining Company announced that it would also be using Memphis as a transfer point for petroleum-based products.⁵⁰

A week later the company received a building permit for a \$100,000 addition to its barge line and storage plant. This facility would include three steel tanks 55-feet in diameter and 42-feet tall and one tank 60-feet in diameter and 35-feet tall.⁵¹

On September 1, 1930, Standard Oil Company of Louisiana purchased a parcel on the west side of Riverside Drive, north of Wisconsin Avenue, east of the St. Louis-San Francisco Railroad tracks from W. M and Martha J. Davis for the sum of \$52,500.⁵² This parcel was developed into a bulk fuel storage tank facility. Available mapping and aerial photographs show that it had ten or eleven tanks on it historically (1951 Sanborn map and 1957 aerial photograph). Current aerial photography shows six tanks, all larger than those shown on the 1950s mapping.

On September 10, 1936, Lizzie Hill, a widow, sold the land between Delaware Street and Riverside Boulevard north of Wisconsin Avenue and to the Standard Oil Company of Louisiana for \$10,000.⁵³ This parcel contains the resources described above.

Standard received a permit for construction of a new city distribution plant on the northwest corner of Delaware and Wisconsin (the Hill parcel) on November 12, 1936. The permit was for a \$110,000 project, but the newspaper did not specify the details of the project; they did report that the project had been previously approved in the spring, but that the permit had expired.⁵⁴

In 1936 Standard Oil reported that between three and four million gallons of gasoline were being transferred to its storage facilities in Memphis twice a month.⁵⁵ These storage facilities would be the bulk fuel tanks developed west of Riverside Boulevard.

On January 15, 1937, Standard Oil Company of Louisiana purchased a parcel from Robert Heffernan on the west side of Riverside Drive south of Wisconsin Avenue east of the railroad tracks, exclusive of property owned by Lion Oil Company, for the sum of \$7,500.⁵⁶

⁴⁹ "Standard Oil Plans Gas Storage Plant," *The Commercial Appeal*, August 7, 1930, p. 11.

⁵⁰ Ibid.

⁵¹ "Building Promoters Win Zoning Revision," *The Commercial Appeal*, August 15, 1930, p. 14.

⁵² Shelby County Register of Deeds, Book 1323, p. 389-90 (1930), p. 389.

⁵³ Shelby County Register of Deeds, Book 1504, pp. 304-305 (1934) pg. 304.

⁵⁴ "New Standard Plan Approved by Board," *The Commercial Appeal*, November 13, 1936, p. 12.

⁵⁵ "Retail Oil Business Growing in City," *The Commercial Appeal*, March 22, 1936, p. 46.

⁵⁶ Shelby County Register of Deeds, Book 1532, pp. 82-83 (1930), p. 83.

The use of this property is unknown. The 1957 aerial shows three buildings and a group of four elevated gasoline tanks.

On January 15, 1937, Marth J. and W. M. Davis sold a 125 X 140-foot parcel on the southeast corner of Riverside Boulevard and Wisconsin Avenue to Standard Oil Company of Louisiana for \$5,000.⁵⁷ This parcel's use is unknown. The Sanborn maps show no buildings on the parcel. The historic aerial photographs show a driveway entrance, but no development is identifiable on the parcel. Currently there is a parking lot on this parcel, enclosed by chain link fence. The fencing encompasses additional parcels on the block and includes the mechanical garage, which is located further south on the block.

In 1938, Standard announced it would build a modern fueling dock to service every of river craft, from tow boards to excursion craft. The fueling dock would be 16 X 30-feet and would be accessed by an approach dock that would be 820 X 6-feet. City permits had included construction of additional fuel storage facilities. Construction had begun in December and was anticipated to be completed by March. It was located 2,000-feet south of the Frisco Bridge and remains in place.⁵⁸

In 1964, Humble announced that it would shift some of its marketing activities to Memphis. Area Manager, T. F. Smith said that the shift would mean that his regional office at 1211 Union would become marketing headquarters for the region.⁵⁹

In 1965, Humble announced that it had selected Memphis as center of a newly organized Southern marketing region covering six states: Tennessee, Mississippi, Arkansas, Kentucky, Alabama, and Louisiana. J. A. Eckardt, Regional Manager, said that "Humble is putting its roots down in Memphis."⁶⁰ He continued, "I wish it meant that we were bringing in several hundred employees, but it doesn't. It does mean, though, that the importance of Memphis to Humble has increased."⁶¹ The previous April, 250 Humble employees had relocated from Memphis to Charlotte, North Carolina from the Accounting and Credits Departments. Eckardt indicated that Humble had around 180 employees in Memphis, and that the marketing department would add about five new employees.⁶² In 1970, Humble announced it was moving its district office marketing and engineering personnel from the 1010 Riverside Office to a new office park on Airways Boulevard.⁶³

⁵⁷ Shelby County Register of Deeds, Book 1531, pp. 209-10 (1937), p. 209.

⁵⁸ "Motor Fueling Dock to be Built on River," *The Commercial Appeal*, December 29, 1938, p. 11.

⁵⁹ "Humble will move unit to Memphis," *The Commercial Appeal*, April 16, 1964, p. 69.

⁶⁰ "Humble Selects City as Center," *The Commercial Appeal*, November 12, 1965, p. 8.

⁶¹ Ibid.

⁶² Ibid.

⁶³ "National Firms Rent Space in Office Park on Airways," *The Commercial Appeal*, December 20, 1970, Section 4, p. 5.

The historic aerials show that many of the buildings along Delaware Avenue had been removed, except the one on the northern end, which remains today. The gas tanks along the north edge of the parcel had also been removed. By 2010, everything on the parcel except the warehouse building and its concrete docks, the garage building, canopy, and concrete expanse had been removed. In addition, fuel tanks on the roof of the warehouse were removed during this time and the roof has been opened to the elements since ca. 2015.

In 2023 Exxon Mobile Corporation sold the property at 1010 Riverside Drive to Magness Transportation, Incorporation for a sum of \$600,000.⁶⁴ According to the deed, environmental remediation at the property began in 1997 and was ongoing at the time of the sale.⁶⁵

Company History: Standard Oil of Louisiana was established on April 13, 1909, as a subsidiary of Standard Oil of New Jersey. The company was to “prospect and bore form, mine, market and sell petroleum and gas; to purchase, transport, sell, produce, refine, and export petroleum and its products, and to manufacture the by-products [thereof].⁶⁶

When the United States government sued to dissolve Standard Oil of New Jersey under the Sherman Antitrust Act of 1890, and the U. S. Supreme Court upheld the dissolution, Standard Oil was broken up into 34 unrelated companies.⁶⁷

In 1919, Standard Oil Company purchased 50% of the shares of the Humble Oil & Refining Company was formed, with the Directors of the Humble Oil & Refining Company retaining operational control of their company.⁶⁸ The fuel depot in Memphis continued to operate under the Standard Oil Company name.⁶⁹

In 1960, five leading regional oil companies, all affiliates of Standard Oil, joined forces for form a new Humble Oil & Refining Company, which would be a wholly owned subsidiary of Standard Oil. These five companies were Carter, Esso, Humble, Oklahoma, and Pate. The new Humble became the United States leading energy company, in finds, refining, distribution and marketing, and with more natural gas, oil and petroleum output than any

⁶⁴ “Property Transfers,” *The Commercial Appeal*, April 23, 2023, p. 7J.

⁶⁵ Shelby County Register of Deeds, Deed 23026024, (2023), pp 2-3.

⁶⁶ Jewett, Leah Wood, “From Crude to Refined: Standard Oil Comes to Baton Rouge,” *News and Notes*, Louisiana State University, April 20, 2009, <https://news.blogs.lib.lsu.edu/2009/04/from-crude-to-refined-standard-oil-comes-to-baton-rouge/>: accessed July 3, 2024.

⁶⁷ Duignan, Brian, “Standard Oil,” *Britannica Money*, July 4, 2024, <https://www.britannica.com/money/Standard-Oil>: accessed July 5, 2024; ExxonMobil, “Our History”, February 9, 2023, <https://corporate.exxonmobil.com/who-we-are/our-global-organization/our-history>: accessed July 3, 2024.

⁶⁸ Clark, James A. and Mark Odintz, *Exxon Company, USA*. Texas State Historical Association, 2015.

⁶⁹ Sanborn 1951: 175.

other domestic operation.⁷⁰ The Memphis facilities began to use the Humble name at this time.

Since the merger of the five affiliates into one nationwide company, major field operations—exploration, production, and marketing, had been organized into four regions, each subdivided into areas and districts reporting to a Regional Vice President. Now the regional and area offices would be merged into one intermediate level of management. There were seven marketing areas nationally, in addition to the newly created Memphis one: Pelham (New York), Baltimore, Charlotte, Dallas, Chicago, and Los Angeles.⁷¹

In May 1967, Humble officials lauded the growth of the company. They reported that there were 73 districts in six realigned regions, and Memphis would be replacing Chicago as the headquarters for the Central Region with responsibility for fifteen states. Facilities in Memphis included the bulk fuel and oil plant at 1010 Riverside, the river terminal and asphalt plant at the foot of Wisconsin and the automotive shop at 1050 Riverside⁷²

In 1973, the company changed names yet again, to Exxon Company, U. S. A. In 1998 Exxon and Mobil Corporations announced plans to merge, which received regulatory approval in December 1998, and ExxonMobil was the result.⁷³

Industrial Warehouses of the 1930s and Oil Storage Facilities in Memphis: Circa 1930, the Industrial Division of the Memphis Chamber of Commerce published *Two and one half Years of Industrial Progress in Memphis....at the crossroads of the South*. This 22-page booklet identifies industries which had built or expanded in Memphis during the previous two years, including providing photographs of their facilities. This booklet provides a good overview of what kind of industrial and industrial warehouse facilities were being constructed in Memphis at the beginning of the 1930s. While not exactly contemporary with the subject property, publications exactly contemporary could not be located.

Building heights varied but are predominantly one story. Brick is the most common building material. Buildings were unornamented, especially warehouses and industrial producers. Facades might have brick pilasters to separate bays, with simple details including brick or concrete sills and hoods. Industrial hopper windows were the most common type that could be identified. Even buildings identified as warehouses tended to have multiple windows per visible elevation on the photographs.

The resources shown in the Gases and Gas Products section of the includes the Memphis Natural Gas Company which operated natural gas pipelines from Louisiana fields to Memphis. Their illustrations included two pipelines and a photograph of two pump houses

⁷⁰ "The "J" on the big board makes a big move!" *The Commercial Appeal*, October 27, 1960, p. 59.

⁷¹ Ibid.

⁷² "Growth Lauded by Humble Officials," *The Commercial Appeal*, May 21, 1967, p. 10.

⁷³ Clark and Odintz.

which were small one-story brick buildings with hipped roofs, entrance doors on the long facade and a six-light window on at least one side elevation. Two buildings were spaced closely enough together to appear in one photograph.⁷⁴ These buildings were the closest direct comparison to the subject building shown in the booklet.

Looking at Google Earth, the Sanborn Fire Insurance Maps, and the Assessor's records allows additional Oil Company Bulk Terminal Plants to be identified that are contemporary with the subject property and the dates of their surviving buildings.

Table 10-1: Location and Ages of Contemporary Oil Storage and Transfer Facilities

Address	Historic Companies	Current Companies	Oldest Extant Building
1023 Riverside	Lion Oil Company	Lion Oil	1940
1212 Riverside	Shell Oil Company, Texas Oil Company, Mid-South Oil Company	Whitehead Oil Company	1947
1205 Channel	Unknown*	Blacknight	1953
1989 Channel	Unknown*	Ergon	1958
2290 Channel	Unknown*	Turnbull	1964

*Sanborn Maps were unavailable for Channel Avenue in 1952

Evaluation: SY-35240 is recommended not eligible for listing in the NRHP. Although it possesses significance under Criterion A, it does not retain the integrity needed to convey this significance.

SY-35240 is associated with historic events and trends significant in American history, specifically the development of the oil and gas industry, constituting an "important association with the event or historic trends."⁷⁵ Standard Oil Company was the second largest company in the United States (second only to US Steel) and pursued a global market.⁷⁶ Bulk Oil Transfer Stations were waystations in the transportation of oil from refineries to gas stations and to automobile users. A list of bulk transfer stations could not be found; however, if Standard Oil numbered their stations sequentially, a report from

⁷⁴ "Two and One Half Years of Industrial Progress in Memphis, circa 1930" (2021), Shelby County, 59, p. 19.

⁷⁵ National Park Service, "How to Apply the National Register Criteria for Evaluation," p. 12.

⁷⁶ John A. Jakle & Keith A. Sculle, *The Gas Station in America* (Baltimore: Johns Hopkins University Press 1994): 86-87.

Washington State provides a glimpse into the number that existed nationwide—a cleanup report for Standard Oil bulk plant 307836 in San Juan County.⁷⁷

The subject property served as the transfer point for suppliers serving Standard Oil, and later Humble Oil, stations in the Memphis area.⁷⁸ At the time of the construction of the subject property in 1937, Memphis was the 28th largest city in the United States and was the largest city in Tennessee.⁷⁹

The transfer station was necessary for Standard Oil gas stations in the Memphis area to receive gasoline for their customers and is therefore significant within the context of the development of the oil and gas industry at the local level for its role in the distribution of gasoline to local service stations. This activity occurred at this location from 1937 until the early 1990s. The company changed branding from Humble Oil to Exxon in 1973. The resource thus possesses significance under Criterion A.

SY-35240 is not associated with any individuals who have made specific contributions to American history, and is therefore not eligible for listing on the NRHP under Criterion B.

To be eligible for listing on the NRHP under Criterion C, SY-35240 must:

- Embody distinctive characteristics of a type, period, or method of construction.
- Represent the work of a master.
- Possess high artistic value.
- Represent a significant and distinguishable entity whose components may lack individual distinction.⁸⁰

SY-35240 can be evaluated under Criterion C in several ways: as part of the Bulk Terminal Plant, as a bulk gasoline transfer station, and as a generic 1930s industrial warehouse.

Because of the ubiquitous nature of resources related to oil and gas production in the state, Texas has developed *A Field Guide to Industrial Properties in Texas*, which identifies the character defining features of Bulk Terminal Plants as:

- Complex of buildings and structures
- Office building
- Warehouse

⁷⁷ Department of Ecology, "Standard Oil Bulk Plant 307836," Cleanup and Tank Search, Database, <https://apps.ecology.wa.gov/cleanupsearch/site/12562#site-documents>; accessed July 8, 2024.

⁷⁸ "New Standard Plan Approved by Board," *The Commercial Appeal*, November 13, 1936, p. 12.

⁷⁹ Demographia, *US Population History from 1850 50 Largest Cities*, <http://www.demographia.com/db-uscity1850.htm>, July 8, 2024.

⁸⁰ NPS, p. 17.

- Bulk oil storage tanks
- Loading racks
- Signage identifying associated company and manufacturer.
- Earthen berms, dikes, and ditches
- Railroad siding or on main railway line.⁸¹

Looking at the subject parcel as part of the larger Standard Oil of Louisiana/Humble/Exxon bulk oil transfer property, the property has several character defining features and lacks several other character defining features. There is a complex of buildings and structures of various ages. Most of the buildings on the adjacent parcel are the oil tanks that date from 1966 or later. The office building at Delaware and Wisconsin, as identified on the Sanborn map, has been removed, except for the garage at the end. The warehouse is extant. Dates are not provided for the oil tanks, but comparing aerial photographs and Sanborn maps, the existing tanks are modern, dating no more than thirty years old. Bulk gasoline tanks identified on the Sanborn maps, associated with the warehouse, have been removed. Loading racks are identified in various locations, but their dates cannot be determined. Signage is located on Wisconsin Avenue. If there was signage historically associated with the warehouse it has not been identified. Earthen berms, dikes, and ditches, as well as concrete moats, remain around the oil tanks. The railroad siding, located near the river, has been removed. As noted, the property retains some of the key features of a bulk terminal plant and would be identified as a bulk terminal plant to a historical observer. Character defining features of a gasoline transfer station would include bulk gasoline tanks, loading racks, office, and warehouse. Of these features, only the warehouse remains.

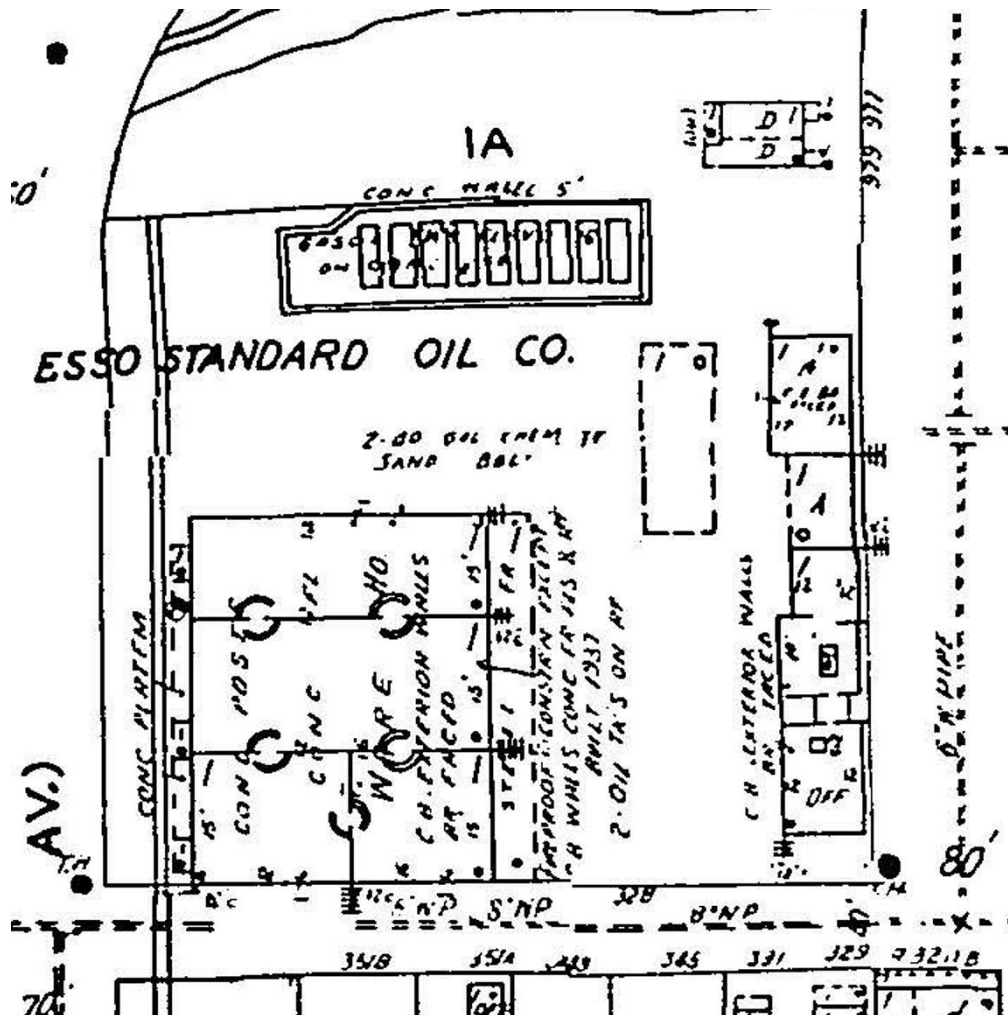
SY-35240 is not the work of a master, does not possess high artistic value and does not represent a significant and distinguishable entity whose components lack individual distinction. Therefore, it must be determined if the resource embodies the distinctive characteristics of a type, period, or method of construction—namely 1930s masonry warehouse construction. As indicated above, as a generic twentieth-century industrial warehouse, the character defining features of the similar buildings in Memphis are brick construction with minimal detailing including brick pilasters defining bays and banks of multi-light industrial hopper windows. The building does have brick pilasters defining bays and has dentil molding on the ends of the parapet roof. It does not have banks of windows, and according to the Sanborn maps, did not have windows on the Riverside Boulevard facade and had only two windows on the Wisconsin Avenue elevation. Because it cannot be determined if the existing fenestration is original or an alteration, the degree to which the building is representative of the 1930s well-lit construction cannot be determined and the

⁸¹ Dase, Amy E. *A Field Guide to Industrial Properties in Texas*, Texas Department of Transportation, 2003, p. 3.

building cannot be said to embody the distinctive characteristics of the type, period, or method of construction.

The resource is not likely to yield information important in history or prehistory, nor is it likely to be the principal source of important information. Therefore, it is recommended not eligible under Criterion D.

Figure 20: SY-35240 shown on 1952 Sanborn Map.



Even if a resource has association with significant events or persons, or has significant design or construction, it must also retain integrity to be eligible for listing in the NRHP. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling and association. A property does not need to retain all seven aspects of integrity to be eligible, but generally they must retain most.⁸² The property lacks the integrity needed to convey its

⁸² NPS, p. 44.



significance in the development of the oil and gas industry and as a bulk gasoline transfer station.

The resource does retain integrity of location, as it has not been relocated.

Integrity of design as a bulk gasoline transfer facility has been compromised by the removal of the bulk gasoline tanks from the side of the property as well as the roof of the building. The removal of these tanks eliminates the most obvious clue to the purpose of the property to the observer of the property.

The setting of the property has been compromised by the removal of the office and garages along Delaware Street as well as the gasoline bulk tanks. The replacement of these features with green space changes the character of the setting from an industrial setting to a more commercial setting.

Material integrity has been compromised by the removal of the resources already mentioned. Material integrity of the warehouse building has been compromised by the alterations to the building—either removal of bricks for the creation of the window openings or removal of the windows. In addition, at least one of the doors on the main facade is a modern steel door.

Integrity of workmanship in the warehouse buildings is evident. Integrity of workmanship in the gasoline transfer station overall is gone, with the removal of the tanks and office.

Integrity of feeling, or the aesthetic or historic sense of a particular time, is lacking in the property because of the removal of the gasoline tanks and office building and the reclamation of the property and conversion of land to grass.

Integrity of association, or the direct link between the important event and the property is also gone since the property no longer has the features to convey significance as a gasoline transfer station.

Overall, the property does not have integrity as a gasoline transfer station, so cannot convey that significance to an observer, and therefore the property is not eligible for listing on the NRHP under criterion A.

The warehouse building does not have integrity of design, setting, materials, workmanship, feeling or association, and therefore cannot convey significance as a generic twentieth-century industrial warehouse to an observer, and therefore the property is not eligible for listing on the NRHP under criterion C.

Figure 21: 1010 Riverside Blvd., looking northeast.



Figure 22: 1010 Riverside Blvd., looking southeast



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11. NEWLY SURVEYED RESOURCE HS-3: FIRST UNITARIAN CHURCH OF MEMPHIS

Description: Located at 292 W Virginia Ave., HS-3 is a Modern Shed Style church building, housing the First Unitarian Church of Memphis, also known as the Church of the River. The church is centrally located on an irregular shaped parcel on the northwest side of W Virginia Ave. According to tax assessor records, the church was constructed in 1965. This date is consistent with historic aerials, news articles and the building's modern shed style.

Of frame construction, the one-story church is oriented southeast and has a transition metal multi-directional shed and steeply pitch hipped roofs with white brick veneer exterior siding and a concrete slab foundation. The building is designed in a U-shaped plan of classrooms and offices with a center courtyard and main block to the northwest, housing the sanctuary. The front façade features integrated brick planters. A recessed entrance to the southwest has brick steps, cast-iron handrails, and a brick landing leading to an aluminum storefront system with central aluminum full-light double-doors. The northeast elevation has a projecting breezeway to the courtyard on the northeast side of the elevation with brick walls flanking the opening and a brick pathway in a herringbone design. Within the courtyard, the pathway leads to an aluminum storefront system on the southeast elevation with a set of three aluminum full-light double-doors with a hipped roof and a shed style monitor extending to the southwest. The northeast elevation of the church's main block houses the sanctuary. The northwestern rear elevation faces the Mississippi River and features a recessed curtain wall system of windows in the sanctuary flanked by brick wall projections sheltered under the extended slope roofline. The roof monitor extends past the ridgeline to the southeast and is filled with aluminum fixed windows. The northwest elevation of the northeastern U-shaped wing has an aluminum storefront system and Juliet balcony with a metal balustrade. The northwest elevation of the southeast U-shaped wing has an aluminum storefront window. The southwestern elevation has HVAC and utility equipment.

Evaluation: The First Unitarian Church of Memphis is recommended eligible for the NRHP under Criterion C as an intact and unique example of a church built in the Modern Shed Style with a high degree of integrity. The church features architectural details typical of the modern shed style, such as a courtyard plan, windows in shed projections, bold diagonals and counterpointed shapes and multiple massing, little exterior detail, few window openings facing public areas, and an obscured main entrance.

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The church was first opened in 1966 and designed by famed Memphis architect, Roy Harrover, who was also a member of the church.⁸³ Roy has been credited for being “the man who built Memphis.”⁸⁴ His most recognized work was his design for the Memphis International Airport, built in 1963, that is considered to be one of the region’s most beautiful buildings.⁸⁵ Other significant buildings in Memphis designed by Roy include the Memphis College of Art building in Overton Park, Goldsmith’s department store in East Memphis, Commerce Square downtown, and more than a hundred other projects.⁸⁶ The church design received recognition in the area of religious building design in the Twelfth Annual Design Awards from *Progressive Architecture Magazine*, an influential publication for the Modern Architecture movement.⁸⁷ The jury for the award commented that, “Drama and form expressed simply and directly, without exhibitionism. . . . Nice courtyard—a human space—offers a true vestibule, a real reception place.”⁸⁸ An article in *The Commercial Appeal* described the church to “combine simplicity and logic – a building bare of ornaments and making the best possible use of a rare location for a church.”⁸⁹ Because funds were prohibitive, the church delayed adding the fellowship hall as originally designed by Harrover until 1975.⁹⁰

In the fall of 1893, the Unitarian church in Memphis was established through the Minister Edward Everett Hale and a small group of like-minded religious liberals.⁹¹ From 1898 to 1900, the church met in Mrs. Merriwether’s house on Vinton. Services were discontinued at the house when a family member fell ill. Services did not resume for eight more years, when Mrs. Alvin Ward reorganized the church in Memphis. The small group of members at the time asked the American Unitarian Association (AUA) for a lay charter, that was granted. It was not until 1912 that the group was chartered as the First Unitarian Church of Memphis.⁹² The AUA helped the members purchase the old St. Luke’s Episcopal Church on Union at Idlewild. During World War I, the church focused on civic life and social service

⁸³ “Church by River to Open.” *The Commercial Appeal*. January 1, 1966, sec. Religion.

<https://www.newspapers.com/image/770662942/?terms=%22first%20unitarian%20church%22&match=1>.

⁸⁴ Michael Finger, “Remembering Roy Harrover 1928-2016.” *Memphis Magazine*, January 10, 2017.

<https://memphismagazine.com/features/remembering-roy-harrover/#:~:text=When%20Bill%20Mann%20died%20of,the%20American%20Institute%20of%20Architects>.

⁸⁵ Finger, “Remembering Roy Harrover 1928-2016.”

⁸⁶ Ibid.

⁸⁷ “The Twelfth Annual P/A Design Awards Program.” *Progressive Architecture* no. Twelfth Annual Design Awards, January 1965.

⁸⁸ Twelfth Annual P/A Design Awards Program.” *Progressive Architecture*.

⁸⁹ “Church by River to Open.” *The Commercial Appeal*. January 1, 1966, sec. Religion.

<https://www.newspapers.com/image/770662942/?terms=%22first%20unitarian%20church%22&match=1>.

⁹⁰ Embury; Katherine Hale. *The First Unitarian Church (Unitarian Universalist) of Memphis, Tennessee. The History from 1893-1983*. Vol. 1. 2 vols., n.d., page 20.

⁹¹ Ibid, pg. 1.

⁹² Ibid, pg. 3.

work. With this, the church and parsonage were rented to others and services were held at downtown movie theatres. This continued until 1922, when the congregation grew tired of services taking place in theatres. On October 10, 1923, a cornerstone was laid for a new community house. The sanctuary construction was postponed due to a lack of funds. In 1954, the church decided it was time to buy a new parsonage and convert the one next to the church into an educational wing. The small house on Inman Road was purchased in time for the arrival of their new church minister. Memphis at this time was going through a period of change regarding race and school desegregation. The church was firm in their belief of equality and leading the congregation into an integrated society. In 1962 the church received a new pastor, James Madison Barr, who energized the congregation and increased church attendance. By May of that year, there was a movement to sell the current church property and to build on the bluff overlooking the Mississippi River. This was the dream of Kathryn Huckaba and Jim Barr. Though the church was short on funds, the land was purchased in June of 1962. It was not until 1965 that the building was finally completed and was immediately known as the Church of the River.⁹³ A 1966 newspaper article on the church building's opening states, "The brown waters of the Mississippi River swirl past First Unitarian Church in its new location on the river bluffs, just north of the Memphis and Arkansas Bridge."⁹⁴

HS-3 is not associated with a significant event or pattern of events and background research in available sources did not reveal an association with historically significant person or persons. Throughout the century, the church has moved numerous times, using various types of venues for worship before settling in its current location along the Mississippi River. Historic newspaper articles focus on the church hosting Unitarian conferences, specific lectures, and the construction of its new church in 1965. While the church has been involved in the Memphis community through social services and religious activities since 1893, there is no indication that it contributed significantly to the broad patterns of history in Memphis. It did not lead a significant religious movement in the city or host events that significantly impacted the trajectory of the city's history. Therefore, it is recommended not eligible under Criterion A. The church was designed by prominent Memphis architect Roy Harrover; however, as he was the building's architect, this association is significant under Criterion C rather than Criterion B. The building has no other associations with significant individuals and is recommended not eligible under Criterion B. The church is recommended not eligible under Criterion D because it is not likely to yield information on important research questions in history or prehistory. This resource does not appear to have the potential to be the principal source of important information.

⁹³ Embury, pg.17.

⁹⁴"Church by River to Open." *The Commercial Appeal*. January 1, 1966, sec. Religion.

<https://www.newspapers.com/image/770662942/?terms=%22first%20unitarian%20church%22&match=1>.

The First Unitarian Church was constructed and is currently a religious property; thus, falls under Criteria Consideration A. Under this criteria consideration, the church's historic significance must be based on architectural, artistic, or historic grounds rather than the merits of religious doctrine. Because the church derives its primary significance from its architectural significance, it meets the requirements of this criteria consideration.

Resource HS-3 possesses integrity of location because it has not been moved, and the integrity of its commercial setting is maintained. It possesses integrity of association because it retains its original use as a church. Integrity of materials, design, workmanship, and feeling remain as all the original windows and exterior cladding remains. Although a fellowship hall was added in 1975, it was part of Harrover's original design; as such, this addition does not affect the integrity of the church.

The period of significance for the First Unitarian Church of Memphis is defined as 1965 through 1975; this encompasses the construction of the original structure and the fellowship hall.

Proposed Boundary Description and Justification: The legal property boundary is proposed as the NRHP-eligible boundary for the First Unitarian Church of Memphis. This boundary is the historical boundary of the church and contains all NRHP-qualifying characteristics.



Maxar, Microsoft, Esri Community Information, Shelby County, Tennessee, Arkansas GIS Office, ArcGIS StreetMap, ArcGIS, Esri, TomTom, Garmin, GeoTechnology, Inc. MPT, SAS, Census, USDA, USFWS

Map 11: Proposed First Unitarian Church of Memphis NRHP Boundary
America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 50 100 150 200 Feet

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Figure 23: First Unitarian Church of Memphis, looking northwest.



Figure 24: First Unitarian Church of Memphis, looking northwest.



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Figure 25: First Unitarian Church of Memphis, looking west.



Figure 26: First Unitarian Church of Memphis, looking west.



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Figure 27: View of Harahan and Frisco Bridges from east side of First Unitarian Church of Memphis, looking west.



Figure 28: First Unitarian Church of Memphis, looking southeast.



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Figure 29: First Unitarian Church of Memphis, looking southwest.



Figure 30: Looking southwest towards the three bridges from northeast corner of the First Unitarian Church of Memphis property.

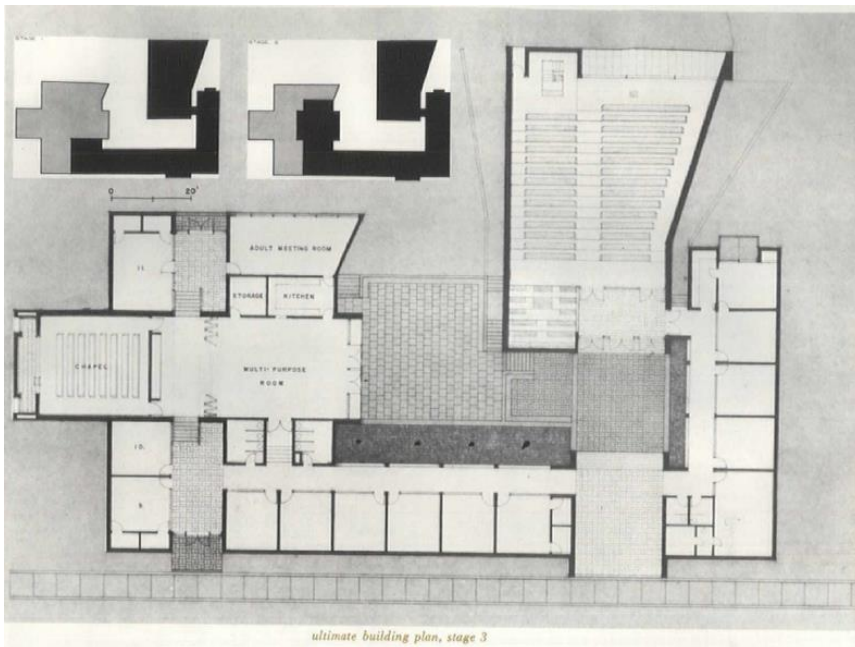


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Figure 31: First Unitarian Church of Memphis, looking east.

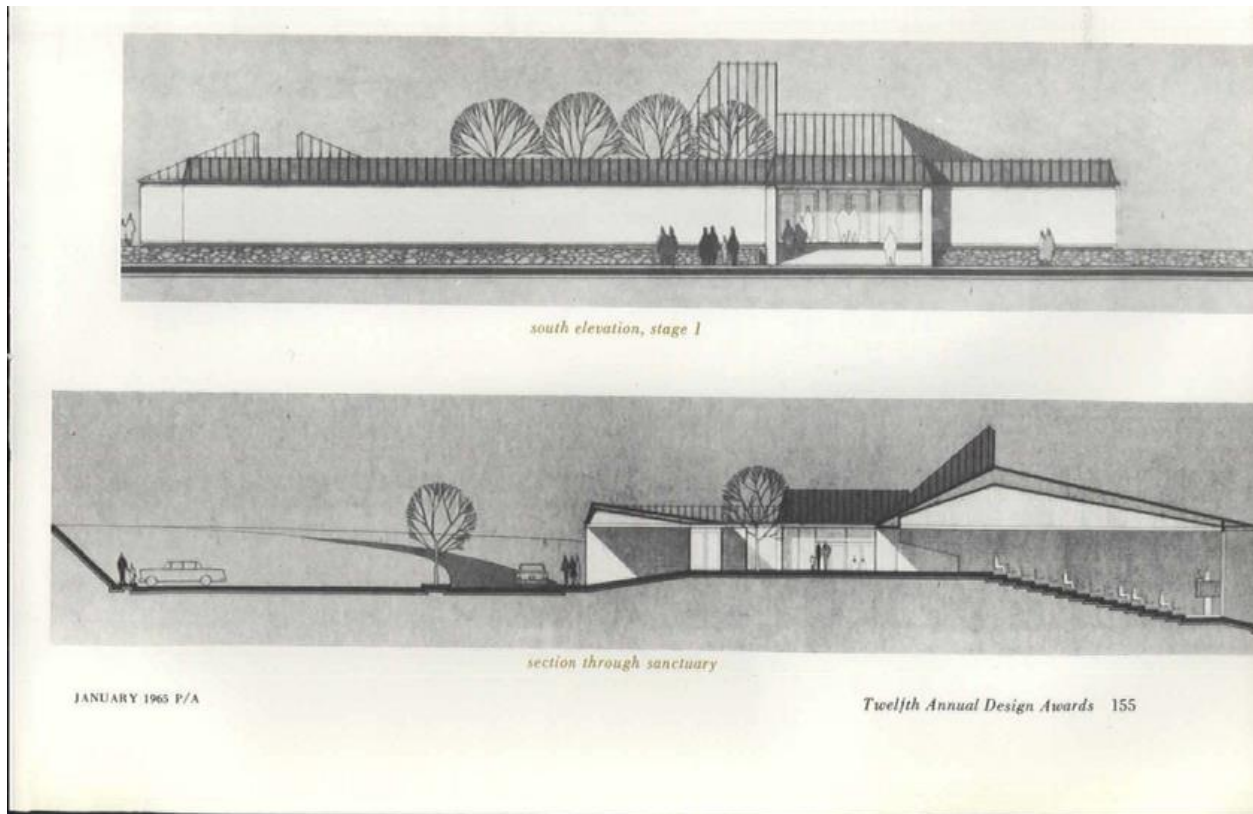


Figure 32: Floor plan published in Progressive Architecture Magazine, January 1964, pg. 155.



Accessed online via US Modernist.

Figure 33: Elevation and section drawings published in Progressive Architecture Magazine, January 1964, pg. 155.



Accessed online via US Modernist.

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Figure 34: First Unitarian Church of Memphis interior photo of sanctuary, looking northwest towards the Mississippi River.



Accessed online via Memphis Magazine, "Church of the River Celebrates Fiftieth Anniversary," published January 8, 2016.

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11.1.1. Assessment of Effects

Pursuant to 36 CFR 800.5, the Criteria of Effects have been applied for the proposed project to the NRHP-eligible First Unitarian Church of Memphis. The proposed project involves the removal of the Memphis and Arkansas bridge and the construction of a new bridge on the southwest side to carry I-55 across the Mississippi River. All proposed ROW and easement acquisitions would occur to directly adjacent parcels to the project boundary. ROW and easement acquisition would not be taken from the NRHP-eligible property; however, the removal and replacement of the Memphis and Arkansas Bridge would cause a minor visual impact to the resource. The immediately adjacent Harahan and Frisco railroad bridges create a buffer along the south side of the church parcel, limiting views of the Memphis and Arkansas bridge. A finding of **No Adverse Effect** is anticipated.

Example of Adverse Effect	Assessment
Physical destruction of or damage to all or part of the property	The proposed project would demolish and replace the Memphis and Arkansas Bridge across the Mississippi River. The project would not require any ROW from the First Unitarian Church of Memphis property. All work would be restricted to the existing ROW, which is separated from the church's parcel by two existing railroad bridges. Therefore, the project would not cause physical destruction or damage to the church property.
Alterations of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines	The proposed project includes necessary maintenance, safety measures, and road widening necessary to improve road conditions adjacent to the bridge. The potential grading, resurfacing, improved signage and markings, restriping, and safety and railing installation would not cause alterations to any contributing resources on the property. The project is not anticipated to alter the historic property in a way that is inconsistent with the <i>Secretary of the Interior's Standards for the Treatment of Historic Properties</i> .
Removal of the property from its historic location	The proposed bridge replacement project would not result in the removal of any contributing or non-contributing resources from the property. This example does not apply.

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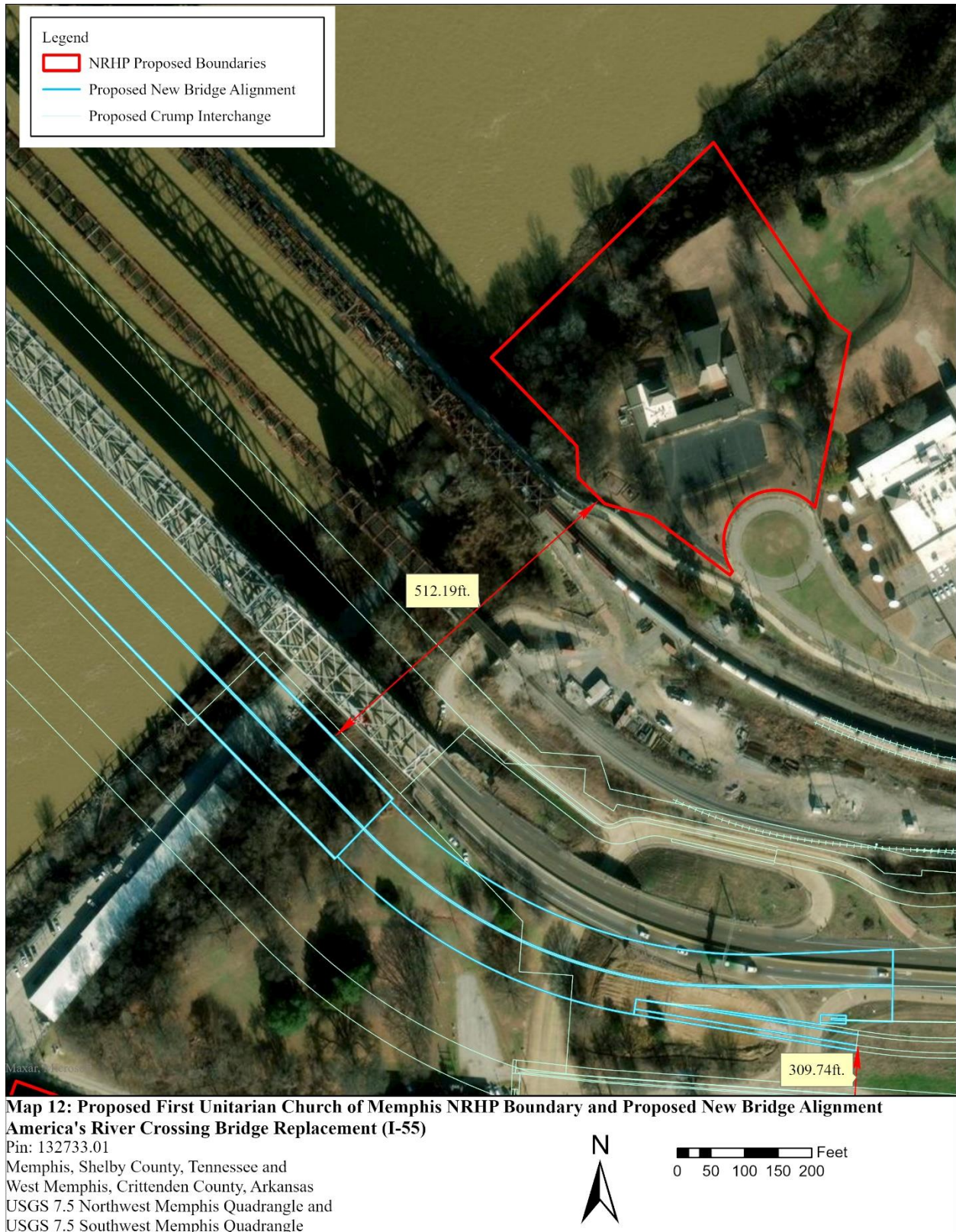
Example of Adverse Effect	Assessment
Change of the character of the property's use or physical features within the property's setting that contribute to its historic significance	The proposed project would not change the use of the property, which is historically and currently a church. The property is eligible for listing under Criterion C for is significance as an intact and unique example of a church built in the modern shed style. ROW or easement acquisition is not anticipated from the NRHP-eligible resource. The structures and site would remain in its commercial setting, and integrity of setting would not be impacted by the adjacent improvements. Thus, the proposed bridge replacement is not anticipated to impact the property's character of use or physical setting.
Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features	The proposed project would require road alterations along I-55 as a result of the bridge replacement. During construction, traffic would be detoured to accommodate the roadwork. Additional improvements may include grading, resurfacing, improved signage and markings, restriping, and safety and railing installation. The proposed work would involve lane closures and the use of large machinery. The atmospheric and audible elements introduced during the proposed construction would be limited to the minimum necessary and are not permanent. The road closures and machinery would introduce temporary visual and audible elements that would not permanently diminish the property's significance. The replacement of the bridge would have a minimal visual impact due to the buffer of the immediately adjacent railroad bridges that visually obscure the view of the Memphis and Arkansas Bridge from the church property. This is not considered an adverse effect.
Neglect of a property which causes its deterioration, except where such neglect or deterioration are recognized qualities or a property of religious and cultural significance to an	The proposed bridge replacement would not cause neglect of the property. The proposed project would decrease congestion, increase road safety, and maintain and stabilize the road within the project boundary. This example does not apply.



Example of Adverse Effect	Assessment
Indian tribe or Native Hawaiian organization	
Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforcement restrictions or conditions to ensure long-term preservation of the property's historic significance	The property would not come under federal ownership as a result of this project; therefore, this example does not apply.

11.1.2. Applicability of Section 4(f)

The proposed project would not incorporate any land from the NRHP-listed boundary into a transportation facility, nor would it adversely affect the resource. The proposed project would not substantially impair any activities, features, or attributes that qualify the historic resource as eligible for the NRHP. Under the Section 106 process, the proposed project would have no adverse effect to the historic resource. For these reasons, it is anticipated that the proposed project would not have a Section 4(f) use of the First Unitarian Church of Memphis.



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12. NEWLY SURVEYED RESOURCE HS-4: WREG NEWS CHANNEL THREE MEMPHIS

Description: Located at 803 Channel Three Dr., Resource HS-4 is a Twentieth-Century Commercial office building housing WREG TV News Channel 3 Station. The building is centrally located on an irregular shaped parcel on the west side of Channel Three Dr., with W Virginia Ave. curving around the parcel to the south. According to tax assessor records, the building was constructed in 1975. This date is consistent with historic aerials, and the building's Twentieth-Century Commercial style.

Of concrete block construction, the two-story commercial building is oriented northeast with ribbed concrete block siding, a flat roof with a parapet with concrete coping and a concrete slab foundation. The façade features an entrance bay with a pyramidal transition metal roof with an aluminum storefront system on the first and second floor. The first-floor entry is recessed with full-light aluminum doors. A concrete band delineates the floors and roof line. The southeast elevation has a one-story projecting wing with ribbed concrete block siding, a flat roof with metal coping and a five-bay wide recessed concrete shipping bay. A radio tower sits on a ribbed concrete block base in the yard to the southwest. The southwest elevation mirrors the northeastern façade with an entrance bay with a pyramidal transition metal roof and an aluminum storefront system on the first and second floor. The first-floor entry is recessed with full-light aluminum doors. A concrete band delineates the floors and roofline. Large metal satellite dishes are in the southwest yard. The northwest elevation faces the Mississippi River and has an aluminum storefront system of windows spanning the entire second floor elevation with precast concrete panel siding below. The first floor is recessed with aluminum storefront systems across the façade with the precast concrete panel ceiling angling down into the space. Two entrance bays divide the space with a single-bay entrance to the southwest with two walls flanking a recessed aluminum doorway and a single-bay entrance that projects from the recessed first floor to the northeast of the elevation, with an aluminum storefront system and doorways. There is a transition metal shed roof addition to the northeast of the elevation with an aluminum storefront system of windows.

Associated with Resource HS-4 is one-story metal storage building with a transition metal shed roof, transition metal siding and a roll-up aluminum garage door on its southeast and northwest elevations. Also associated with Resource HS-4 is a pyramidal wood shingle roof outbuilding with vinyl siding located northwest of the building, oriented southeast.

Evaluation: Resource HS-4 is recommended not eligible for the NRHP.

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WREG News Channel 3 has been present in Memphis since 1922. Beginning as KFNG, the station was broadcasted out of S.D. Wooten Sr.'s home in Coldwater, Mississippi. In 1926 KFNG was incorporated as WREC, an acronym for Wooten's Radio-Electric Company, Mr. Wooten's retail radio shop. The radio shop was one of the first lobby tenants of the Peabody Hotel in 1926.⁹⁵ After Hoyt Wooten was permitted one of the first six to build a closed-circuit experimental Composite V.T. television transmitters in the U.S. in 1928, the following year WREC opened a new \$25,000 studio in the basement of the hotel. In October of that year, the station became a basic affiliate of CBS. The studio continued to grow, and in 1940 the space at the Peabody was remodeled and enlarged. In 1955, the FCC granted Channel Three to WREC. Wooten sold the station to Cowles Communications in 1963; Cowles subsequently sold it to the New York Times Company in 1971. The new owners changed the call sign to WREG-TV. When the Peabody Hotel went up for sale in 1972, the station began to look at locations for a new studio. With the president of the company being a strong supporter of Memphis's downtown revitalization and urban renewal, the current location was chosen. In 1975 the studio moved to 803 Channel Three Dr., overlooking the Mississippi River. The studio was said to be, "near the center of mid-south commerce, the beats of city and county governments for Memphis and the interstate system, which runs right past the station's door." The studio was expanded in 1992 to provide production support for the station. The news station continued its support of downtown Memphis in 2002 by going back to Peabody Place with a new studio that would allow for an additional seven-and-a-half hours of local programming to air each week, "LIVE" from Peabody Place.⁹⁶ Today the studio continues to operate out of the location at 803 Channel Three Dr.

For a property to be eligible under Criterion A it must be associated with an event or pattern of events that contributed significantly to the broad patterns of history. While HS-4 is closely tied to WREG in Memphis, it is not exemplary in its contribution to the history of news broadcasting. WREG is a longstanding broadcaster in the Memphis area but is not significant beyond the length of time it has been in operation. The Peabody Hotel in downtown Memphis is a more significant association for their beginnings. Since the station has only been in operation at this location since 1975, it is not significant to the founding of the broadcasting or its early history. Therefore, HS-4 is recommended not eligible for the NRHP under Criterion A. For a property to be eligible under Criterion B, it must be associated with a person or persons who made a significant contribution to history at the local, state, or federal level. While the station has had several reporters with long tenures, they did not contribute significantly to the history of broadcasting through innovative

⁹⁵ "The History of WREG-TV." WREG.com, July 24, 2014. <https://wreg.com/contact/the-history-of-wreg-tv/>.

⁹⁶ "Ibid.



reporting techniques or significantly impact the patterns of history in Memphis. Therefore, HS-4 is recommended not eligible under Criterion B.

HS-4 features elements of a late Mid-Century Modern commercial building, such as the textured concrete block, variation in massing, and simple geometries. However, to be eligible, a property must be distinctive in these characteristics, represent the work of a master, or possess high artistic value. These features are not exemplary and do not distinguish the building from others of its type in a significant way. No known master architect or builder was associated with the construction of the station, and the utilitarian design of the structure does not lend itself to high artistic value. Therefore, it is recommended not eligible under Criterion C. The studio is recommended not eligible under Criterion D because there are no indications that it is likely to yield information on important research questions in history or prehistory. This resource does not appear to have the potential to be the principal source of important information.

Resource HS-4 possesses integrity of location because it has not been moved, and the integrity of its commercial setting is maintained. It possesses integrity of association because it retains its original use as a commercial building. Integrity of materials, design, workmanship, and feeling remain as all the original windows and exterior cladding remains, and the building's original design has not been altered.

Figure 35: WREG News Channel Three Memphis main entrance, looking west.



Figure 36: WREG News Channel Three Memphis, outbuilding on east side, looking west.



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Figure 37: WREG News Channel Three Memphis, looking east.



Figure 38: WREG News Channel Three Memphis, southwest elevation, looking east.



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Figure 39: WREG News Channel Three Memphis, southeast elevation, looking north.



Figure 40: WREG News Channel Three Memphis, looking west.



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Figure 41: WREG News Channel Three Memphis, looking northwest.



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13. NEWLY SURVEYED RESOURCE HS-5: MEMPHIS POLICE DEPARTMENT ORGANIZED CRIME UNIT

Description: Located at 225 Channel Three Dr., Resource HS-5 is a twentieth-century Modernist government building housing the Memphis Police Department Organized Crime Unit. The building is centrally located on a triangular shaped parcel on the south side of Channel Three Dr. According to tax assessor records, the building was constructed in 1967. This date is consistent with historic aerials and the building's style.

Of concrete block construction, the one-story commercial building is oriented west with brick veneer siding, a flat roof with a stucco parapet and metal coping, and a poured concrete foundation. The front façade is within a fenced in area that was not accessible or visible from the ROW. The north elevation has a full width shed roof monitor with four bays of aluminum clerestory windows with stucco below. The west elevation has a central projecting wing with brick veneer siding and a stucco parapet spanning the elevation. There is a recessed entrance north of the wing that is sheltered by a flat awning, clad in stucco, and supported by concrete projecting walls that lead to an aluminum storefront system with full-light entry doors. The side elevation of the angled shed monitor is clad in a fluid-applied membrane over rigid insulation panels. There are four recessed full-light aluminum fixed windows along the elevation to the south of the projecting wing. A wing projects to the south with a recessed entrance with steel double doors. The south elevation on the eastern projecting wing has a recessed loading bay with steel double-doors; concrete steps to the west that lead to a recessed entrance with a brick wall separating it from the loading bay. A south wing has metal louvered venting.

Evaluation: HS-5 is recommended not eligible for the NRHP. HS-5 is not associated with a significant event or patten of events. Background research in available sources did not reveal an association with historically significant person or persons. Because of its use as the Special Crime Unit for the Memphis Police Department, information uncovered during background research was limited. Deeds show the building has been continuously owned by the City of Memphis and used as a governmental building. The site was platted in 1964 under the "Riverview Area Project No. Tenn, R-15 An Urban Renewal Project with the Memphis Housing Authority."⁹⁷ No evidence was found suggesting that this building was

⁹⁷ Shelby County Register of Deeds, "The Riverview Area Project No. Tenn. R-15: an Urban Renewal Project." Deed Book 29, Page 38, Shelby County Register of Deeds (September 17, 1964)

associated with events or persons that contributed significantly to Memphis history. Therefore, it is recommended not eligible under Criteria A or B. It is recommended not eligible under Criterion C because it is not an exemplary example of the twentieth-century Modernist commercial style building. The building is a vernacular interpretation of late Modernism that is simplistic because of its utilitarian use, rather than a purposeful architectural statement. The resource is recommended not eligible under Criterion D because it is not likely to yield information important in history or prehistory.

Resource HS-5 possesses integrity of location because it has not been moved, and the integrity of its government office setting is maintained. It possesses integrity of association because it retains its original use as a government office building. Integrity of materials, design, workmanship, and feeling remain as all the original windows and exterior cladding remains, and the building's original design has not been altered.

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Figure 42: North elevation of Memphis Police Department Organized Crime Unit, looking southwest.



Figure 43: East elevation of Memphis Police Department Organized Crime Unit, looking northwest.



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Figure 44: West elevation of Memphis Police Department Organized Crime Unit, looking southeast.



Figure 45: South elevation of Memphis Police Department Organized Crime Unit, looking north.



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14. NEWLY SURVEYED RESOURCE HS-6: SOUTHERN COTTON GINNERS ASSOCIATION

Description: Located at 874 Cotton Gin Place on a 0.14-acre parcel, Resource HS-6 is a single-story commercial office building constructed in the Twentieth-Century Commercial style. The building is located at the northeast intersection of West Illinois Ave. and Cotton Gin Place and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the building's architectural style.

Of concrete block construction, Resource HS-6 is a single-story commercial office building with a rectangular plan and a west-facing façade. The building has a flat built-up roof and a continuous poured concrete foundation. The exterior is clad in brick veneer siding. A separate building shares a party wall on the resource's north elevation. Although tax assessor records state the attached building was constructed in 1968, the building does not appear on historic aerial imagery until 1994 and is assumed to be constructed between 1986 and 1994 based on this imagery. Although tax assessor records state the attached building was constructed in 1968, the building does not appear on historic aerial imagery until 1994 and is assumed to be constructed between 1986 and 1994 based on this imagery.

The façade features a single-leaf entrance within a recessed bay with board and batten siding under the main roof of the main block. The entrance opens onto an integrated entry porch with a poured-concrete floor and is filled with a replacement glass and aluminum door with paired replacement vertical fixed aluminum sash lights. The west elevation of the L-wing is at the northwest corner, with its addition being evident due to the change in brickwork. The windows have brick sills and are filled with paired vertical fixed aluminum sash lights.

The north elevation is obscured by the L-wing. The east elevation was not visible due to road closures. The south wing was not visible due to a wooded lot.

Evaluation: Resource HS-6 is recommended not eligible for the NRHP. It has been under ownership of the Southern Cotton Ginnners Association since its construction in 1968. According to March 1968 newspaper articles, the Association moved their offices from West Memphis to the newly built location at 874 Arkansas, now 874 Cotton Gin Place, immediately after completion.⁹⁸ According to their website, the Southern Cotton Ginnners

⁹⁸ Gerald L. Dearing, "Ginnners Turn Out in Rain to Hear Discussions Godfrey Will Be Speaker Today—Late Sugnap Rush Develops," *Commercial Appeal* (March 12, 1968) 24; Gerald L. Dearing, "Public Should be



Association was organized as a non-profit in 1967 and “fosters and advances the educational, scientific, civic, commercial and business interests of its members and allied industry associations and organizations.”⁹⁹ The website continues that the association is comprised of Arkansas, Louisiana, Mississippi, Missouri, and Tennessee.

Under NRHP Criterion A, Resource HS-6 is associated with the formation of the Southern Cotton Ginnners Association. However, research indicates that this was a small, regional organization with limited reach or significance. Historical research did not indicate any association with an event or pattern of events that make the building eligible for listing in the NRHP under Criterion A. Similarly, the resource is not associated with a significant person, making it ineligible for listing in the NRHP under Criterion B. The building does retain the look and feel of a twentieth century commercial building, but the windows and doors are replacement materials. Furthermore, the addition of the non-historic building to the north has significantly changed the footprint and design of the resource by covering an entire elevation. Resource HS-6 is not an outstanding example of twentieth century commercial buildings in Memphis and is therefore not eligible for listing in the NRHP under Criterion C. Historical research did not indicate any association with prehistoric events or underground resources and is therefore not eligible for listing in the NRHP under Criterion D.

Resource HS-6 possesses integrity of location because it has not been moved, and the setting remains commercial and residential along a major interstate. It possesses integrity of association because it retains its original use as the offices of the Southern Cotton Ginnners Association. Integrity of materials, design, workmanship, and feeling are no longer retained as the original materials and footprint have changed.

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Educated to Advantages of Synthetics, Manufacturer Says—Southern Ginnners to Move to Memphis,” *Commercial Appeal* (March 26, 1968) pg.24.

⁹⁹ “Who We Are,” The Southern Cotton Ginnners Association, <https://www.southerncottonginners.org/Southern-Cotton-Ginners/About.asp>

Figure 46: Southern Cotton Ginnery Association west façade, looking east with non-historic building to the north.



Figure 47: Rear of Southern Cotton Ginnery Association and 870 Cotton Gin Pl., looking northwest.



15. NEWLY SURVEYED RESOURCE HS-7: HOLIDAY INN RIVERBLUFF

Description: Located at 340 West Illinois Ave. on a 0.76-acre parcel, Resource HS-7 is a six-story high-rise motel originally designed in the Mid-Century Modern style but presently has no distinct architectural style due to alterations. The building is located at the northwest intersection of West Illinois Ave. and Metal Museum Dr. and was constructed in 1962 according to tax assessor records. This date is consistent with historic aerials and the building's architectural style. Originally constructed as a Holiday Inn, the property is currently branded as a Quality Inn.

Of concrete, aluminum, and glass construction, Resource HS-7 is built into a slope and has a penthouse, five above-ground levels at its eastern end. The ground slopes down to the west on the southern side of the building, and the building has two partially exposed basement levels on its western side. The building has a rectangular plan and a north-facing façade. The building has a non-historic side-gable-on-hipped-roof of crimped metal with a hipped-roof penthouse with crimped metal siding atop and a continuous poured concrete foundation. The building is clad in a combination of smooth concrete, board and batten, and horizontal paneled fiber cement siding with crimped metal siding on the gable fields and covering the penthouse elevations. Balconies are guarded by original decorative screen grilles.

The north façade and south elevations are separated into four bays by reinforced concrete structural supports which support the sixth floor and have numerous concrete pilasters. Both elevations have a breezeway entrance that is filled with double-leaf aluminum and glass doors with an aluminum and glass transoms above. The entrance is on the first floor of the façade within the northeast bay and is filled with double aluminum and glass doors with twelve-light and aluminum sidelights on each side. The top floor of the northwest corner is enclosed in aluminum paneled walls. The entrances to each room are filled with metal slab doors with a panel of rectangular smooth concrete above. The windows are filled with fixed single-lights aluminum sashes and non-historic twelve-light and aluminum sashes.

The south elevation has been retrofitted with board and batten and vertical fiber cement siding in the southwest corner of the underground level. Also featured are two projecting window bays with asphalt shingle coverings and filled with four-over-four and eight-over-eight double-hung sashes. The top floor is partially enclosed in aluminum paneled and glass walls. The stairwell is located in the southwest corner of the building. An original inground swimming pool is in front of the south elevation, enclosed by a concrete retaining

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wall and an original decorative breezeblock privacy wall of brick construction and non-historic wood fencing.

The east elevation has no fenestration on the top four stories and an open single-bay paved driveway that runs between concrete support piers and the building underneath the upper floor balconies. The first level has a single-leaf aluminum and glass door with rectangular aluminum and glass sidelights. Windows are filled with vertical twelve-light and aluminum sashes.

The west elevation has seven stories, with no fenestrations on the third, fourth, fifth, and sixth floors. This elevation has been partially filled with horizontal fiber cement siding on the first and underground levels. The underground level has an east-facing single-leaf entrance filled with a slab door and two six-over-six double hung sashes. The first floor has a double-leaf entrance filled with single-light doors and a six-over-six double-hung sash. The top floor is enclosed in aluminum curtain and glass wall on the northwest corner.

Resource HS-7 has paved parking to the north, east, southeast, and southwest of the building. A retaining wall is at the western side of the building supporting the parking lot on the northern side of the building.

Resource HS-7 has undergone extensive alterations. A non-historic fountain has been installed on the southeast elevation, and the reinforced concrete structural supports on the façade and other elevations are covered with non-historic stucco. The vertical fixed windows seen in the postcard have also been replaced with square-light fixed windows. Furthermore, the roof form has been altered with a metal gabled roof on the main roof and penthouse. The historic roof and welcome signs, iconic features of Holiday Inn locations across the country, are no longer extant.

Figure 48: Non-historic fountain on southeast elevation.



Evaluation: HS-7 is recommended not eligible for the NRHP. Although the Holiday Inn is associated with the history of roadside tourism in the mid-twentieth century and exhibits characteristics of the Mid-Century Modern architectural style, it lacks the significance and integrity needed to warrant listing on the NRHP.

The advent of automobile culture began in the 1920s but did not become quintessentially American until the 1940s when vehicle ownership became available to the general population. Early twentieth century road trips were primarily targeted around national parks and resort destinations, and families typically stayed in their cars or campgrounds along their routes.¹⁰⁰ Despite initially taking to the roads to escape urban congestion and experience the natural environment, twentieth century roadside commerce evolved to bring modern comforts to motorists away from home. Gas stations, restaurants, and motels soon became part of the highway landscapes, freeing early travelers from packing all their necessities.¹⁰¹

As stated by John A. Jakle and Keith A. Sculle in *Remembering Roadside America: Preserving the Recent Past as Landscape and Place*, motels grew out of early campgrounds and served to insulate travelers from nearby communities. By privatizing motor courts, cabin courts, and later motels, the litter and disturbance of natural areas could be contained, while also stimulating local business. Independent ownership gave way to motel chains during the mid-twentieth century, setting the stage for more uniformity with regards to roadside accommodations.¹⁰² While most motels of the early twentieth century were in single-story linear forms, the standardization of chains saw the shift to “multi-story, back-to-back block of rooms,” and later, the “interior double-loaded corridor type” of establishments.¹⁰³ “Surrounded by parking lots, these self-contained entities featured chain-standardized detailing and were identified primarily by their signs.”¹⁰⁴

¹⁰⁰ Neely Tucker, “America on the Road: The Family Vacation by Car,” Timeless: Stories from the Library of Congress, *Library of Congress* (July 26, 2021), [https://blogs.loc.gov/loc/2021/07/america-on-the-road-the-family-vacation-by-car/#:~:text=The%20American%20road%20trip%20was,height%20of%20the%20Cold%20War.,"The American Road Trip," American Experience, PBS \(September 2017\), https://www.pbs.org/wgbh/americanexperience/features/american-road-trip/](https://blogs.loc.gov/loc/2021/07/america-on-the-road-the-family-vacation-by-car/#:~:text=The%20American%20road%20trip%20was,height%20of%20the%20Cold%20War.,)

¹⁰¹ Peter J. Blodgett, “How Americans Fell in Love with Taking Road Trips,” *Time* (August 15, 2015), <https://time.com/3998949/road-trip-history/>

¹⁰² John A. Jakle, Keith A. Sculle, *Remembering Roadside America: Preserving the Recent Past and Landscape and Place* (University of Tennessee Press, Knoxville: 2011), 44-45.

¹⁰³ Los Angeles Citywide Historic Context Statement, Commercial Development, 1850-1980, The Rise of Corporations and Corporate Types, High-Rise Corporate Office Buildings, 1945-1975, prepared by Historic Places LA (April 2018, adopted July 2020) 66, https://planning.lacity.gov/odocument/2d44c916-ff01-4080-9349-80f05b873590/High-RiseCorporateOfficeBuildings_1945-1975.pdf

¹⁰⁴ Ibid.

As stated in the South Main Historic District NRHP nomination, the areas surrounding Memphis's railroads catered largely to railroad travelers, with numerous examples of hotels, barber shops, and restaurants.¹⁰⁵ Like much of the country, Memphis experienced an influx of automobile traffic in the immediate postwar years, and the construction of the Memphis and Arkansas Bridge, the Memphis and Arkansas Bridge NRHP nomination states, was a reflection of that.¹⁰⁶ Memphis was a major junction of highways, including US Routes 64, 70, 78, 79, and 51, and the opening of the improved bridge in 1949 cemented Memphis's location as a "travelers' hub in the twentieth century's consumer culture."¹⁰⁷ The city continued to develop commercial businesses to accommodate the influx of visitors and commuters, and by the 1970s, the area around the Crump Blvd. bypass was "a busy commercial artery" of the city's commercial sphere.¹⁰⁸ Memphis became the motel capital of the world" in the 1960s, as stated in the Sterick North Garage and Hotel NRHP nomination.¹⁰⁹

The Holiday Inn chain of motels was founded in 1952 by Memphian Kemmons Wilson, who realized the need for modernized motel options during a road trip with his family the year before. The first Holiday Inn opened in Memphis along Summer Ave. and "featured 120 air-conditioned rooms and had a restaurant and swimming pool for the guests," in addition to spacious rooms with modern amenities.¹¹⁰ Wilson and his partner, builder Wallace E. Johnson, along with other investors, formed the Holiday Inns of America Franchise in 1954 and became traded publicly by 1967.¹¹¹

Resource HS-7, or Holiday Inn-River Bluff or Holiday Inn Riverview as it was advertised, was constructed in 1962 as either the city's sixth or seventh Holiday Inn, according to contemporary newspapers.¹¹² A 1962 article in the *Memphis Press-Scimitar* quotes

¹⁰⁵ Lloyd Ostby, "South Main Street Historic District," National Register of Historic Places Nomination Form (Washington, DC: U.S. Department of the Interior, National Park Service, 1984), Section 8.

¹⁰⁶ Kara Mills, "Memphis and Arkansas Bridge," National Register of Historic Places Nomination Form (Washington, DC: U.S. Department of the Interior, National Park Service, 2001), Section 8, 1.

¹⁰⁷ Keith Sculle, "'A Completely New Mode of Living,' the Origins of the Town Park Motor Hotel in Memphis," *Tennessee Historical Quarterly* 58 (Winter 1999) 304, reprinted in "Memphis and Arkansas Bridge," National Register of Historic Places Nomination Form, Section 8, 1.

¹⁰⁸ "Memphis and Arkansas Bridge," National Register of Historic Places Nomination Form, Section 8, 1.

¹⁰⁹ Charles "Chooch" Pickard, AIA, "Sterick North Garage and Hotel," National Register of Historic Places Nomination Form (Washington, DC: U.S. Department of the Interior, National Park Service, 2018), Section 8, 6.

¹¹⁰ Anne Leonard, "Kemmons Wilson and Holiday Inn," *Tennessee Encyclopedia* (October 8, 2017), <https://tennesseeencyclopedia.net/entries/kemmons-wilson-and-holiday-inn/>; Josh Whitehead, "The First Holiday Inn," *Crème de Memph* (November 1, 2018), <https://cremedememph.blogspot.com/2018/11/the-first-holiday-inn.html>

¹¹¹ "Kemmons Wilson and Holiday Inn," *Tennessee Encyclopedia*, <https://tennesseeencyclopedia.net/entries/kemmons-wilson-and-holiday-inn/>

¹¹² "New Holiday Inn Work Scheduled," *Commercial Appeal* (July 2, 1961), 14; "New Riverview Holiday Inn to Open Tonight," *Commercial Appeal* (September 6, 1962), 27.

Kemmons describing the impending construction of sixteen motels with 250 rooms as representative of the “new look” of Holiday Inns.¹¹³ Wilson also noted more luxurious accommodations, including ground-floor and revolving rooftop restaurants.¹¹⁴

The emergence of the Holiday Inn motel came at the same time the Interstate Highway System was developed, and Wilson placed his properties where they could be easily spotted by automobile travelers.¹¹⁵ Kemmons Wilson considered standardization and uniformity to be central factors to the success of Holiday Inn, and to this end, Wilson created the Holiday Inn Innkeeping School to ensure Franchisees kept up with system standards.¹¹⁶ The motels were identical to one another and, most importantly, were no more than a day's drive from each location, ensuring Holiday Inn guests could find another location no matter their destination. The iconic Holiday Inn signs outside each establishment also became iconic fixtures of roadside America, cementing the Holiday Inn as a familiar and trustworthy option for travelers.¹¹⁷

Resource HS-7's original Mid-Century Modern style reflected the shift in public building design of the period. The flourishing of motel architecture in Memphis reflected the shift in architecture nationally. As stated in the Sterick North Garage and Hotel NRHP nomination, Memphis “was regionally and nationally recognized for its award-winning architecture in the Modern Movement in the 1950s through 1970s”.¹¹⁸ The nomination continues to say that Memphis architectural firms recruited early career designers from across the country in their pursuit of innovation, noting that “by the 1960s, architects became increasingly interested in concepts which incorporated new forms of structural expression, the use of textural materials and the dimensional articulation of building facades as an expression of function and interior volume.”¹¹⁹

Advertisements touted Resource HS-7's state-of-the-art accommodations and design, as well as its proximity to the Mississippi River and its bridges. A 1963 article in the *Memphis Press-Scimitar* featured photographs of the Roman Room Restaurant and Zodiac Lounge

¹¹³ Bill E. Burk, “Holiday Inns Planning 16 Tall Ones,” *Memphis Press-Scimitar* (August 25, 1962), 1.

¹¹⁴ Burk, “Holiday Inns Planning 16 Tall Ones,” *Memphis Press-Scimitar*.

¹¹⁵ Nancy Hendricks, “Charles Kemmons Wilson,” *Encyclopedia of Arkansas* (December 13, 2023) <https://encyclopediaofarkansas.net/entries/charles-kemmons-wilson-2765/>

¹¹⁶ “Kemmons Wilson and Holiday Inn,” *Tennessee Encyclopedia*, <https://tennesseeencyclopedia.net/entries/kemmons-wilson-and-holiday-inn/>

¹¹⁷ Hendricks, “Charles Kemmons Wilson,” *Encyclopedia of Arkansas*, <https://encyclopediaofarkansas.net/entries/charles-kemmons-wilson-2765/>

¹¹⁸ Pickard, AIA, “Sterick North Garage and Hotel,” National Register of Historic Places Nomination Form, Section 8, 7.

¹¹⁹ Keith S. Kays, Lee H. Askew III, Martin E. Gorman, Jr., Louis R. Pounders, “A Survey of Modern Public Buildings in Memphis, Tennessee from 1940 to 1980,” (Memphis: American Institute of Architects Memphis, 2010), 2., reprinted in Pickard, AIA, “Sterick North Garage and Hotel,” National Register of Historic Places Nomination Form, Section 8, 7.

overlooking the “powerful Memphis skyline,” including the Memphis and Arkansas Bridge.¹²⁰ A 1962 article announcing the opening of the hotel detailed the “[d]eep blue rugs, white leather furniture, and blue-green tile.”¹²¹ An undated postcard featuring Resource HS-7, specifically highlighted the view of the Mississippi and Arkansas Bridge and the blue carpeting and white leather furniture.¹²²

Under NRHP Criterion A, Resource HS-7 is associated with the twentieth century expansion of motor lodges and roadside commercial development. However, Resource HS-7 is not the first Holiday Inn to be constructed in Memphis, and historical research did not indicate any association with an event or pattern of events that make it eligible for listing in the NRHP under Criterion A. Similarly, the resource is not strongly associated with Kemmons Wilson or any other significant person, making it ineligible for listing in the NRHP under Criterion B. Resource HS-7 was constructed in the Mid-Century Modern style, but has undergone extensive alterations and no longer resembles its original design and is no longer reflective of high-rise motels of the period and is therefore ineligible for listing in the NRHP under Criterion C. Historical research did not indicate any association with prehistoric events or underground resources and is therefore not eligible for listing in the NRHP under Criterion D.

Resource HS-7 possesses integrity of location because it has not been moved, and the setting remains commercial along a major interstate. It possesses integrity of association because it retains its original use as a motel, although it is no longer associated with Holiday Inn. Integrity of materials, design, workmanship, and feeling are no longer retained as the original materials have changed.

¹²⁰ “Top O’The Bluff,” *Memphis Press-Scimitar* (November 20, 1963), 18.

¹²¹ “New Riverview Holiday Inn to Open Tonight,” *Commercial Appeal* (September 6, 1962), 27.

¹²² “Holiday Inn Riverbluff,” CardCow, <https://www.cardcow.com/871486/memphis-tennessee-holiday-inn-riverbluff/>

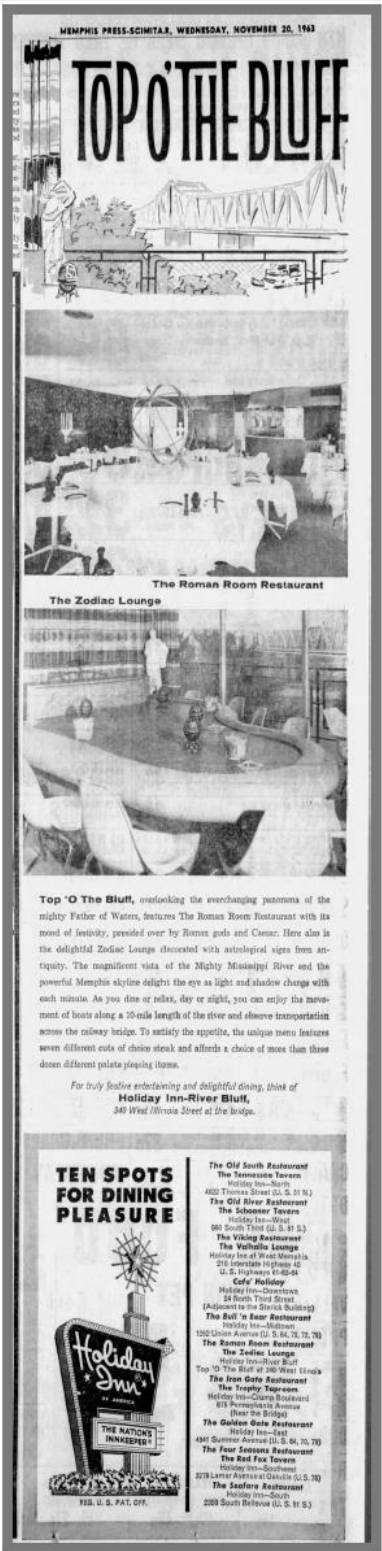
Figure 49: "Inn Offers Fine View," Commercial Appeal, May 20, 1962, pg.91



Accessed via Newspapers.com.

DRAFT - DELIBERATIVE

Figure 50: “Top O’The Bluff,” Memphis Press-Scimitar, November 20, 1963, pg.18



DRAFT - DELIBERATIVE

Accessed via Newspapers.com

Figure 51: Undated postcard of Holiday Inn Riverbluff.



Accessed via CardCow.com.

Figure 52: Holiday Inn Riverbluff north elevation, looking southwest.



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Figure 53: Holiday Inn Riverbluff, looking northeast.



Figure 54: Holiday Inn Riverbluff south elevation and decorative breezeblock privacy wall, looking northwest.



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16. NEWLY SURVEYED RESOURCE: MEMPHIS MARINE HOSPITAL CAMPUS HISTORIC DISTRICT (HS-8 THROUGH HS-13)

Summary: The proposed Memphis Marine Hospital Campus Historic District is composed of six contributing buildings (HS-8, HS-9, HS-10, HS-11, HS-12, and HS-13), two non-contributing outbuildings, and two non-contributing structures. It is recommended eligible under Criteria A and C with a local level of significance in the areas of public health and architecture and a state level of significance in the area of military history.

The proposed Memphis Marine Hospital Campus Historic District is recommended eligible with a local level of significance under Criterion A in the periods 1883-1965 for its associations with the development of public health in Memphis as the first publicly funded hospital and is eligible with state significance under Criterion A as the only Marine Hospital in the State of Tennessee.

The proposed Memphis Marine Hospital Campus Historic District is also recommended eligible with local significance under Criterion C in the area of Architecture as one of Memphis' few extant pre-1950s healthcare facilities and for its associations with the U.S. Office of the Supervising Architect. The period of significance under Criterion C has been identified as 1933 to 1939 to encompass the construction of the U.S. Marine Hospital (HS-10), the Steam Laundry (HS-11), the Nurses' Quarters (HS-12), the Junior Officer's Quarters (HS-13). This period also includes the relocation and remodels of the Executive Building (HS-8) and Laundry-Kitchen Building (HS-9).

Following an evaluation of the district collectively, this report includes inventories of the individual buildings within the proposed Memphis Marine Hospital Campus Historic District. These individual inventories are followed by an assessment of the proposed project's effects to the overall historic district.

Historic Context: The Memphis Marine Hospital campus is associated with the U.S. Marine Hospital Service. Created in 1798 to care for sick and disabled seamen, the Marine Hospital Service was the United States' first public health agency.¹²³ Efforts to establish a Marine Hospital in Memphis began in the 1820s.¹²⁴

¹²³ S. L. Christian, "Marine Hospitals and Beneficiaries of the Public Health Service," Public Health Reports (1896-1970) 51, no. 25 (1936): 799-811. <https://doi.org/10.2307/4581863>.

¹²⁴ Ayse Tezel, "360 Metal Museum Drive," Memphis, TN: Memphis Landmarks Commission Report NR#: 19-001, accessed March 11, 2024, <https://www.shelbycountyttn.gov/Archive/ViewFile/Item/6501>.

In 1836, Congress appropriated funds for the construction of three hospitals on the Mississippi River but did not select Memphis, despite these efforts. Instead, it selected Napoleon, Arkansas, at the confluence of the Mississippi and Arkansas Rivers, presumably for its accessibility for boatmen.¹²⁵ However, located in a floodplain, the site was frequently inundated by floods until the campus ultimately fell into the Mississippi River.¹²⁶

Memphis experienced yellow fever and cholera epidemics throughout the nineteenth century, in part because of its climate and poor drainage. Furthermore, Memphis boomed in the mid-nineteenth century, becoming a center of river and railroad trade. Many steam lines terminated at the wharf of Memphis, drawing thousands of mariners. Improved land and rail transportation improved commerce but also facilitated the spread of the disease.¹²⁷ Thus, Memphis needed a facility to provide care for eligible patients.

In April 1870, the Marine Health Service expanded its operations to Memphis.¹²⁸ It made the Memphis City Hospital a "Marine Hospital of the third class," which indicates that the hospital was under contract for the care of eligible patients under the direction of an acting assistant surgeon.¹²⁹ Many advocated for an "independent hospital" in Memphis. An article published in the *Public Leader* on February 28, 1876, described the need for a Marine Hospital: "It has not been the policy of the government to increase the number of marine hospitals, but the necessity for one on the great Mississippi [River] at a point above New Orleans nearer than Cairo or St. Louis...There is an actual necessity here for a separate marine hospital where government, rations, medicines, etc., can be dispensed to those entitled to the same."¹³⁰

In 1878, Memphis became the epicenter of a series of yellow fever epidemics, which is often considered one of the worst urban tragedies in American history. Approximately 25,000 out of 47,000 people fled the city. Of those remaining, almost 17,000 were infected

¹²⁵ Thomas H. Baker, "YELLOWJACK: The Yellow Fever Epidemic of 1878 in Memphis, Tennessee." *Bulletin of the History of Medicine* 42, no. 3 (1968): 241–64, <http://www.jstor.org/stable/44450733>.

¹²⁶ United States Marine Hospital Service Supervising General, First Annual Report of the Supervising Surgeon-General of the Marine Hospital of the Supervising Surgeon of the Marine Hospital Service of the United States of the Year 1872 (Washington, D.C.: Government Printing Office, 1872), 15-16.

¹²⁷ Nicole S. Fijman and Donald A. Yee, "Mapping Yellow fever epidemics as a potential indicator of the historical range of *Aedes aegypti* in the United States," *Memórias do Instituto Oswaldo Cruz* 117 (2022), <https://www.ncbi.nlm.nih.gov/pmc/articles/PMC8992368/>.

¹²⁸ Geo. B Young, "Historical Sketch of the United States Marine-Hospital Service at Memphis, Tenn," *Operations of the United States Marine Hospital Service 1897* (Washington, D.C.: Treasury Department, Document No. 2121, 1897), 324-326.

¹²⁹ "Marine Hospital Physician," *Memphis Daily Appeal*, published August 3, 1871, <https://www.newspapers.com/article/memphis-daily-appeal/142951908/>; United States Coast and Geodetic Survey, *The United States Coast Pilot: Atlantic Coast Part IV: From Point Judith to New York*, Third Edition, U.S. Treasury Department (Washington, D.C.: Government Printing Offices, 1899), 164.

¹³⁰ "Marine Hospital," *Public Leader*, published February 28, 1876, <https://www.newspapers.com/article/public-ledger/142951124/>.

and over 5,000 died.¹³¹ The city had insufficient hospital beds for the thousands of sick, including those entitled to treatment by the Marine Health Service.¹³² In 1880, Congress elected to construct a new hospital in Memphis. Deliberations indicate this selection was partially in response to the urgent need for hospital beds.¹³³ The Marine Hospital was one of many hospital construction projects in this period such as the Memphis City Hospital and St. Joseph's Hospital, which helped propel Memphis as a twentieth-century medical center.¹³⁴

Memphis, as an epicenter of the yellow fever epidemics, became a focus of local, state, and federal efforts to institute new policies and invest in new infrastructure based on developments in the emerging fields of epidemiology, sanitary science, and public health.¹³⁵ Subsequent federal policies expanded the duties of the U.S. Marine Hospital Service to include quarantine enforcement, although its powers were vastly limited.¹³⁶ *Weekly Public Ledger* article published on July 17, 1883, provides insight into local debate: "Certain local authorities have undertaken to fight the national government and to dictate what agency or branch of service should be permitted to enforce sanitary measures and quarantines. This is neither politic nor sensible. Those of us who undertook to fight the government a little over twenty years ago found it a costly and unsanitary business."¹³⁷

In the early twentieth century, the Marine Hospital Service's duties continued to expand to include the prevention of contagious diseases. To better reflect its duties, the Marine Hospital Service's name changed to the U.S. Marine Hospital and Public Health Service in 1902 and then the U.S. Public Health Service in 1912.¹³⁸ Doctors at the Memphis Marine Hospital published medical research including in epidemiology.¹³⁹

¹³¹ Christopher Caplinger, "Yellow Fever Epidemics," Tennessee Encyclopedia, March 1, 2018, <https://tennesseeencyclopedia.net/entries/yellow-fever-epidemics/#:~:text=With%20the%20horrors%20of%20the,70%20percent%20of%20these%20died.>

¹³² Patricia M. LaPointe, *From Saddlebags to Science: A Century of Health Care in Memphis, 1830-1930*. 1st ed. (Memphis, TN: The Health and Sciences Foundation, 1984), 44.

¹³³ "Marine Hospital at Memphis" Congressional Record—Senate, 1800. <https://www.govinfo.gov/content/pkg/GPO-CRECB-1880-pt2-v10/pdf/GPO-CRECB-1880-pt2-v10-10-1.pdf>.

¹³⁴ Patricia M. LaPointe, *From Saddlebags to Science: A Century of Health Care in Memphis, 1830-1930*. 1st ed. (Memphis, TN: The Health and Sciences Foundation, 1984), 44.

¹³⁵ LaPointe, 44.

¹³⁶ Howard D. Kramer "Agitation for Public Health Reform in the 1870's." *Journal of the History of Medicine and Allied Sciences* 3, no. 4 (1948): 473–88. <http://www.jstor.org/stable/24619604>

¹³⁷ "Certain local authorities have undertaken to fight..." *Weekly Public Ledger*, published on July 17, 1883, <https://www.newspapers.com/article/weekly-public-ledger/142940229/>.

¹³⁸ "The Roots of Public Health and CDC," Centers for Disease Control and Prevention, July 6, 2021, <https://www.cdc.gov/museum/online/story-of-cdc/>.

¹³⁹ Operations of the United States Marine Hospital Service 1897 (Washington, D.C.: Treasury Department, Document No. 2121, 1897), 324-326/

Over time, the number of eligible beneficiaries also increased. By the 1910s, the Public Health Service treated veterans not able to access the Veterans' Bureau Hospitals.¹⁴⁰ In this period, the Memphis Marine Hospital was the only government hospital in Tennessee. Because of hospital closures, there were no government hospitals in Mississippi and Alabama. Thus, the Memphis Marine Hospital served a tremendous service area that also included parts of Arkansas and Kentucky. The demand for hospital services was exacerbated by increased demand for hospital services for World War I veterans.¹⁴¹ From 1918 to 1920, Memphis' healthcare infrastructure was further strained by the Great Influenza pandemic.¹⁴²

By 1919, the hospital was severely overcrowded. That year, *The Commercial Appeal* reported that the hospital facilities had been "twice condemned."¹⁴³ The Surgeon General also deemed it "unfit for white [tuberculosis] cases."¹⁴⁴ C. H. Witt, a patient, described the hospital conditions in 1921, "The hospital was so crowded that some of us convalescent [tuberculosis] patients, I among them, voluntarily moved out of the wards and slept on the screened porches in order to make room to receive...emergency cases."¹⁴⁵ Veterans' aide groups, most vocally the American Legion, advocated for a hospital modernization and expansion project.¹⁴⁶

As early as 1918, the hospital publicized plans to expand the hospital. In 1918, the hospital constructed "tent houses" or "tuberculosis huts" for tuberculosis patients.¹⁴⁷ In 1920, hospital administration claimed there were proposals for three brick buildings, including a steam laundry, a hospital staff ward, and a patient ward with modern medical facilities, were under review in Washington.¹⁴⁸ By 1921, these plans had been reduced. A representative from the Office of the Supervising Architect J. M. Geary recommended a

¹⁴⁰ S. L. Christian. "Marine Hospitals and Beneficiaries of the Public Health Service." Public Health Reports (1896-1970) 51, no. 25 (1936): 799-811. <https://doi.org/10.2307/4581863>.

¹⁴¹ Ibid.

¹⁴² "City Warned Against Influenza Epidemic," *The Commercial Appeal*, page 8, https://www.newspapers.com/image/768153754/?match=1&clipping_id=143159108.

¹⁴³ "Marine Hospital Twice Condemned," *The Commercial Appeal*, page 9, published October 11, 1919, <https://www.newspapers.com/image/768155351/?terms=%22Marine%20Hospital%22&match=1>.

¹⁴⁴ U.S. Will Remodel Marine Hospital," *The Commercial Appeal*, page 9, published October 8, 1919, <https://www.newspapers.com/article/the-commercial-appeal/143157442/>.

¹⁴⁵ C.H. Witt, "Voice of the People: The Methodist Hospital," *The Commercial Appeal*, page 6, published November 17, 1921, <https://www.newspapers.com/article/the-commercial-appeal/142934421/>.

¹⁴⁶ "Legion Starts Fight for Better Hospital," *The Commercial Appeal*, page 8, published June 17, 1921, <https://www.newspapers.com/article/the-commercial-appeal/142900652/>.

¹⁴⁷ "Marine Hospital to Have New Buildings," *The Commercial Appeal*, page 10, published October 9, 1918, <https://www.newspapers.com/article/the-commercial-appeal/143157121/>.

¹⁴⁸ "Enlargement Marine Hospital Is Sought," *The Commercial Appeal*, page 6, published October 15, 1920, <https://www.newspapers.com/article/the-commercial-appeal/142934469/>.

large brick addition to the Marine Hospital.¹⁴⁹ Ultimately, by 1921, the Marine Hospital was composed of “a central pavilion...[and] detached buildings of various functions.” It received new facilities including a “dental clinic, two-chair capacity; pathological laboratory; and x-ray laboratory” by 1921 according to the Annual U.S. Public Health Service Report.¹⁵⁰ The U.S. Government established U.S. Veterans Hospital No. 88 in an existing hospital building, “gallantly” sold by the Methodist Church for \$859,000, reducing some of the overcrowding.¹⁵¹

Although the creation of a new government hospital likely helped with the overcrowding, the Marine Hospital remained in disrepair. On August 26, 1930, *The Commercial Appeal* published a letter written jointly by U.S. Senator Kenneth McKellar and Congressman Hubert Fischer, which described it as a “firetrap” without “the kind of accommodations that human beings ought to have.”¹⁵²

In the 1930s, the hospital acquired funding for capital projects in large part thanks to economic recovery programs.¹⁵³ These programs such as the Public Works Administration (PWA) and Works Project Administration (WPA) participated in numerous programs that improved public health. Historian Roy Lubove attributes the PWA to the creation of approximately 120,000 hospital beds by 1940, and the WPA constructed 100 new hospitals and improved over 1,400 existing hospitals.¹⁵⁴

The new hospital facilities greatly expanded the hospital's capacity. In January 1935, after the completion of the surgical ward unit, *The Commercial Appeal* reported 145 patients at the hospital.¹⁵⁵ Government employees were eligible to be patients, including Civilian Conservation Corps and Tennessee Valley Authority workers.¹⁵⁶ In January 1937, the Mississippi and Ohio Rivers flooded, devastating the lower Mississippi Valley and displacing over 60,000 refugees. According to documentarian Willie Bearden, the Marine Hospital

¹⁴⁹ “Legion Starts Fight for Better Hospital,” *The Commercial Appeal*, page 8, published June 17, 1921, <https://www.newspapers.com/article/the-commercial-appeal/142900652/>.

¹⁵⁰ “Annual Report of the Surgeon General of the Public Health Service of the United States for the Fiscal Year 1921 (Washington, D.C.: Government Printing Office, 1921), 298.

¹⁵¹ “Veterans’ Administration Hospital Complex, No. 88 – Memphis,” Memphis Heritage, Inc., <https://www.memphisheritage.org/veterans-administration-hospital-complex-no-88-memphis/>.

¹⁵² “McKellar Points out Hospital Emergency,” *Commercial Appeal*, page 11, published August 26, 1930, <https://www.newspapers.com/article/the-commercial-appeal/142460652/>.

¹⁵³ “Monuments to President Roosevelt’s efforts to put men to work...” *The Commercial Appeal*, page 30, published January 21, 1934, <https://www.newspapers.com/article/the-commercial-appeal/142723300/>.

¹⁵⁴ Roy Lubove, “The New Deal and National Health,” *Current History* 72, no. 427 (1977): 199, <http://www.jstor.org/stable/45314398>.

¹⁵⁵ “Dedication Planned At Marine Hospital,” *The Commercial Appeal*, page 11, published January 2, 1937 <https://www.newspapers.com/article/the-commercial-appeal/142780653/>.

¹⁵⁶ Ibid.

campus served as a refugee camp for thousands.¹⁵⁷ As a result, Congress gave a commendation to the U.S. Public Health Service and its leader Dr. M. S. Lombard for success in minimizing the spread of contagious diseases.¹⁵⁸

However, the hospital faced efforts to close the hospital as a cost-saving measure in the early 1950s. Proponents of the hospital including local and state political leaders, patients, and employees advocated against the closure.¹⁵⁹ In 1959, newspapers reported that hospital administrators were considering moving to the vacant former U.S. Veterans Hospital No. 88.¹⁶⁰ That plan never materialized, and the hospital continued to care for mariners and other eligible patients and help prevent the spread of contagious diseases through activities such as providing travelers with free immunizations.¹⁶¹

Ultimately, Congress closed seven of its twelve remaining Public Health Service Hospitals, including Memphis, in the late 1960s. The Marine Hospital officially shuttered on June 30, 1965, halting treatments. Based on the Congressional delegation, the “average daily patient load of nine American seamen” was sent to more “accessible VA hospitals” or “the naval hospital in nearby Millington, Tenn.”¹⁶²

The City of Memphis subdivided the original parcel by 1976, acquiring the eastern half of the campus including the Executive Building, Nurses’ Quarters, and Junior Officers’ Quarters. In 1976, the city leased the site to the National Ornamental Metal Museum, which retains occupancy of the site as of March 2024.

The U.S. Government retained the eastern portion of the campus including the Laundry-Kitchen, the Marine Hospital Apartments, and the Steam Laundry as the “U.S. Army Reserve Center #2.”¹⁶³

The Memphis Landmarks Commission made efforts to list the Marine Hospital campus as a district in 1979; however, at that time, the 1930s buildings associated with the hospital

¹⁵⁷ Memphis Heritage, “Marine Hospital Insiders’ Tour,” Youtube Video, 11:09, November 2, 2020, <https://www.youtube.com/watch?v=BswHtbJ13uE&t=2797s>.

¹⁵⁸ Congressional Record: Proceedings and Debates of the First Session of the Seventy-fifth Congress of the United States of America, 81, part V (Washington, D.C.: Government Printing Office, 1937), 5764.

¹⁵⁹ Ida Clemens, “Closing Doesn’t Make Sense to Hospital Patients, Staff,” *The Commercial Appeal*, page 21, published May 27, 1953, <https://www.newspapers.com/article/the-commercial-appeal/142938349/>.

¹⁶⁰ Ida Clemens, “Old Marine Hospital May Move to Now Vacant Va Facility,” *The Commercial Appeal*, page 1, <https://www.newspapers.com/article/the-commercial-appeal/142939611/>.

¹⁶¹ Ibid; “Vaccinations Are Free,” *The Commercial Appeal*, page 40, published June 7, 1951, <https://www.newspapers.com/article/the-commercial-appeal/142938763/>.

¹⁶² “Public Health Service Hospital Closings: Hearings Before the Committee on Merchant Marine and Fisheries, House of Representatives, Eight-ninth Congress, First Session,” (Washington, D.C.: U.S. Government Printing Office, 1965), 49.

¹⁶³ Memphis Parks Commission, “Minutes from July 1, 1976: Request to use the Marine Hospital property for the Metal Museum,” Memphis Parks Commission Minute Books Collection, Box 15, Folder 11 (July 1, 1976) <https://memphislibrary.contentdm.oclc.org/digital/collection/p13039coll3/id/172/rec/3>

were not considered historic and failed to meet Criteria Consideration G of the National Register Criteria for Evaluation, which allows for listing of resources that have achieved significance in the last 50 years. The next year, in 1980, the Memphis Heritage successfully submitted a multi-property nomination for the Executive Building and the Laundry-Kitchen, individually listing the only surviving buildings from the 1883-1884 hospital construction for their association with the development of public health in Memphis.¹⁶⁴

The eastern parcel was left vacant for many years. In 2003, a private developer acquired the property, which was rehabilitated for multi-family residential use from 2019 to 2021.¹⁶⁵ The developer initiated the listing of the Marine Hospital Apartments and the Steam Laundry individually after consulting with the TN-SHPO. As of 2019, the Marine Hospital Apartments and Steam Laundry are preliminarily listed on the NHRP.¹⁶⁶

Description: The Memphis Marine Hospital primarily reflects a 1930s campus modernization project and is composed of six buildings constructed in the Colonial Revival, Italianate, and Twentieth-Century Industrial Modern styles that derive their significance from their associations with the hospital. The Memphis Marine Hospital was primarily developed in two stages; the original campus was constructed from 1883-1884. Only two buildings survive, the Executive Building (HS-8) and the Laundry Kitchen (HS-9). The second stage, a multi-phase hospital modernization project, commenced in 1931-1939.

In 1880, Congress ordered the construction of a new Marine Hospital in Memphis under the direction of the Office of the Supervising Architect of the U.S. Treasury. After some delay in site selections, the campus was constructed from 1883-1884 on the high bluff of the Mississippi River, near the site of Fort Pickering.¹⁶⁷ The Marine Hospital began operation in April 1883 under the direction of former Surgeon General S. T. Armstrong.¹⁶⁸

A contemporary newspaper article published in the *Public Ledger* on November 13, 1884, claimed the hospital was “probably the best constructed to be found in the South.”¹⁶⁹ It described the campus, “The hospital consists of... detached buildings, connected by

¹⁶⁴ Kay Benton, “U.S. Marine Hospital Historic District,” National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, November 1979; Kay Benton, “U.S. Marine Hospital Executive Building and Laundry-Kitchen,” National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, February 1980.

¹⁶⁵ Bill Dries, “Rehab on the River: Redevelopers of Historic Marine Hospital Plan for its Future,” Memphis Daily News, published July 17, 2014, <https://www.memphisdailynews.com/news/2014/jul/17/rehab-on-the-river/print>; conversations with leasing agent of the Marine Residence in February 2024.

¹⁶⁶ “Pending List 20190330,” National Register of Historic Places, National Park Service, last updated April 3, 2019, <https://www.nps.gov/subjects/nationalregister/pending-list-20190330.htm>.

¹⁶⁷ “The U.S. Marine hospital, built last year....,” *Public Ledger*, page 3, published November 13, 1884, <https://www.newspapers.com/article/public-ledger/142639847/>.

¹⁶⁸ Ibid.

¹⁶⁹ Ibid.

covered porches, giving free circulation of fresh air, so beneficial to inmates.... There are two wards, one for whites and the other for colored people, both alike being models of convenience, comfort, and neatness. Each is provided with dining and smoking rooms, baths, lavatories, and water closets.”¹⁷⁰ According to medical historian Patricia M. LaPointe, the original campus was also composed of “the surgeon's house, the executive building...a kitchen, and a laundry; and a stable containing the ambulance, stalls, a ‘dead house,’ and an autopsy room.”¹⁷¹

By the late 1910s, the hospital campus proved vastly insufficient. After decades of local and state advocacy, the Marine Hospital eventually acquired funding in 1931 for the creation of a surgical building, which became the surgical wing.¹⁷² The Office of the Supervising Architect selected local architecture firm Regan & Weller for the building design, a monumental three-story, T-shaped building with basement and attic space in the Colonial Revival style.¹⁷³ Construction commenced between 1933 and 1935.¹⁷⁴

The second phase commenced in 1935, after the Marine Hospital secured additional funds through the PWA.¹⁷⁵ With the support of these additional funds, the Office of the Supervising Architect of the Treasury, supervised by Louis A. Simon, expanded the proposed project to include the construction of two additional hospital building wings, which would house wards and would be connected to the surgical building by a single-bay passage. *The Commercial Appeal* described the new hospital building upon its completion in 1937 as compromised “of six 16-bed wards, each with a solarium and porch, 36 private rooms with connecting baths, two private rooms for distinguished patients, each with private bath, and four two-bed rooms for female or seriously stricken patients. Offices for four physicians and two nurses, an emergency room, a visitors’ room, a genito-room, an

¹⁷⁰ Ibid.

¹⁷¹ Patricia M. LaPointe, *From Saddlebags to Science: A Century of Health Care in Memphis, 1830-1930*. 1st ed. (Memphis, TN: The Health and Sciences Foundation, 1984), 44.

¹⁷² “Let New Marine Hospital Contract,” *The Commercial Appeal*, published September 16, 1933, <https://www.newspapers.com/article/the-commercial-appeal/142460736/>; “U.S. Marine Hospital, Memphis, Tennessee,” 1939, TSLA Map Collection 2003-015-023, Tennessee State Library and Archives, Tennessee Virtual Archive, [https://tnsla.ent.sirsi.net/client/en_US/tnslapublic/search/detailnonmodal/ent:\\$002f\\$002fSD_ASSET\\$002f0\\$002fSD_ASSET:111608/ada?qu=marine+hospital&d=ent%3A%2F%2FSD_ASSET%2F0%2FSD_ASSET%3A111608%7EASSET%7E0&h=8](https://tnsla.ent.sirsi.net/client/en_US/tnslapublic/search/detailnonmodal/ent:$002f$002fSD_ASSET$002f0$002fSD_ASSET:111608/ada?qu=marine+hospital&d=ent%3A%2F%2FSD_ASSET%2F0%2FSD_ASSET%3A111608%7EASSET%7E0&h=8).

¹⁷³ “Let New Marine Hospital Contract,” *The Commercial Appeal*, published September 16, 1933, <https://www.newspapers.com/article/the-commercial-appeal/142460736/>.

¹⁷⁴ “Dedication Planned at Marine Hospital,” *The Commercial Appeal*, page 11, <https://www.newspapers.com/article/the-commercial-appeal/142780653/>.

¹⁷⁵ “Plans are completed for 125-Bed Addition to U.S. Marine Hospital,” *The Commercial Appeal*, page 38, published November 10, 1935, <https://www.newspapers.com/article/the-commercial-appeal/142633066/>.

office for...the medical officer in charge, a staff conference room and medical library and a basement for storage to complete the accommodations.”¹⁷⁶

The new campus plan also included the nurses’ quarters and junior officers’ quarters. The agency led the design of the new buildings. According to the Memphis Landmarks Commission, the new hospital buildings reflected the typical work of the Office of the Supervising Architect during this period, typified by its massive scale and restrained Colonial Revival detailing.

Most of the 1883-1884 hospital campus was razed to make room for the new hospital buildings, except for the Executive Building, Laundry-Kitchen, and a ca. 1884 Italianate frame residence for the Medical Officer in Charge (M.O.C. Residence). In 1934, the Executive Building and Laundry-Kitchen were moved approximately 100 feet northeast and northwest respectively to their present locations.¹⁷⁷

In 1937, after the PWA began work on Riverside Blvd., the Marine Hospital acquired adjoining land between Illinois Ave. and California St. (now known as Metal Museum Dr.) for campus beautification.¹⁷⁸ Historic photos indicate that the brick and iron fence was erected by May 1937. Later that year, hospital administrators also commissioned the construction of a tennis court, which could be converted into an open-air theater.¹⁷⁹ This project also included the construction of a retaining wall on the north side of the property, which allowed the campus to expand to its present footprint.¹⁸⁰

In 1938, the hospital secured additional funding under the leadership of Dr. E. H. Carnes, who initiated the construction of a Modern-style laundry, garage, and boiler house building on northeastern corner of the campus. The 1938 project also funded the installation of air-conditioning in the operating rooms and the remodeling of the “Administration Building” (likely HS-8) and the commandment’s quarters (likely the non-existent M.O.C. Residence).¹⁸¹ A 1939 U.S. Department of the Treasury Map illustrates the campus after competition.

¹⁷⁶ “U.S. Marine Hospital Units to Remain Open to Public Today,” *The Commercial Appeal*, published June 12, 1937, <https://www.newspapers.com/article/the-commercial-appeal/142461005/>.

¹⁷⁷ Kay Benton, “U.S. Marine Hospital Historic District,” National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, November 1979.

¹⁷⁸ “More of City’s River Front Added to Scenic Boulevard,” *The Commercial Appeal*, page 11, published April 28, 1937. <https://www.newspapers.com/article/the-commercial-appeal/142941499/>.

¹⁷⁹ “Marine Nurses Home on New Foundation,” *The Commercial Appeal*, page 17, published June 5, 1936, <https://www.newspapers.com/article/the-commercial-appeal/142461585/>; “Contract Is Awarded,” *The Commercial Appeal*, page 19, published October 9, 1936, <https://www.newspapers.com/article/the-commercial-appeal/143170027/>.

¹⁸⁰ “U.S. Marine Hospital Units to Remain Open to Public Today,” *The Commercial Appeal*, published June 12, 1937, <https://www.newspapers.com/article/the-commercial-appeal/142461005/>.

¹⁸¹ “Expansion Program Started by Hospital,” *The Commercial Appeal*, page 15, published February 4, 1938, <https://www.newspapers.com/article/the-commercial-appeal/142462255/>.

Between 1939 and the hospital's closure in 1965, few changes were made, except for the following: the M.O.C. residence building was demolished in ca. 1964 after years of neglect.¹⁸² Available historic aerials indicate that the tennis courts had been removed as early as 1971.¹⁸³

Since the hospital's closure, the City of Memphis subdivided the original parcel by 1976, acquiring the eastern half of the campus including the Executive Building (HS-8), the Nurses' Quarters (HS-12), and the Junior Officers' Quarters (HS-13). In 1976, the city leased the site to the National Ornamental Metal Museum, which retains occupancy of the site as of March 2024.¹⁸⁴ The U.S. Government retained the eastern portion of the campus including the Laundry-Kitchen (HS-9), Marine Hospital Apartments (HS-10), and the Steam Laundry (HS-11) as the "U.S. Army Reserve Center #2."¹⁸⁵ At some point a wooden fence was constructed at the new property line, bisecting the property.¹⁸⁶

The museum rehabilitated the western parcel for museum and recreational use. The Nurses' Quarters (HS-12) is currently a gallery, storage, and exhibition space; the Junior Officers' Quarters (HS-13) is an artists' residence; and the Executive Building (HS-8) is a library, gallery, and education space. A blacksmith shop was constructed in 1985 in the north portion of the site, near the site of the non-existent M.O.C. Quarters. The blacksmith shop was expanded in 1993 for the creation of a repair and restoration lab. The museum erected a foundry in 2003 to the west of the blacksmith shop. Throughout its occupation, the museum has installed decorative ornamental metal, most notably, the installation of a gazebo structure made of historic castings.¹⁸⁷ It also infilled portions of the ca. 1960s fence with an artist-designed wrought iron entrance gate in 1989.¹⁸⁸

The eastern parcel was left vacant for many years. In 2003, a private developer acquired the property, which was rehabilitated for multi-family residential use from 2019-2021. Residential rehabilitation initiated the modification of the site including the installation of a swimming pool and new parking lots. The project team coordinated with the TN-SHPO to ensure modifications minimized the impact on the historic integrity of the site.¹⁸⁹

¹⁸² Ida Clemens, "Financial Sickness Behind for Majestic Old Hospital," *The Commercial Appeal*, page 59, published November 12, 1964, <https://www.newspapers.com/article/the-commercial-appeal/142688520/>.

¹⁸³ Historic Shelby County, accessed March 11, 2024,

<https://gis.shelbycountyttn.gov/regis/apps/webappviewer/index.html?id=3193fe1fa93a4c20b6b725c4e4907d96>

¹⁸⁴ "History of the Metal Museum," (Memphis, TN: Metal Museum, N.D.).

¹⁸⁵ Shelby Co., TN, Instrument #03130524, July 3, 2003, accessed March 11, 2024,

<https://search.register.shelby.tn.us/search/>.

¹⁸⁶ U.S. Marine Hospital, Memphis, Tennessee," 1939, TSLA Map Collection 2003-015-023, Tennessee State Library and Archives, Tennessee Virtual Archive.

¹⁸⁷ "Plant Your Next Event with Us," Memphis Metal Museum, <https://www.metalmuseum.org/rentals>.

¹⁸⁸ "History of the Metal Museum," (Memphis, TN: Metal Museum, N.D.).

¹⁸⁹ Discussion with leasing agent, February 2024.

Evaluation: The proposed U.S. Marine Hospital Campus Historic District is recommended eligible with local significance and state significance under Criterion A in the periods 1883-1965 for its associations with the development of public health in Memphis as the city's first publicly funded hospital. The U.S. Marine Hospital Campus Historic District is recommended eligible with local significance under Criterion C in the periods 1939-1965 as one of the only pre-1950s hospitals for its associations with the U.S. Department of the Supervising Architect. It is composed of six historic buildings which all derive their significance from their associations with the hospital. The buildings were developed as part of the same campus and retain their cohesive spatial relationship. Thus, the six buildings associated with the site are recommended eligible as a historic district that incorporates previous NRHP listings of individual buildings.

For a property to be considered eligible for listing under Criterion A, it must be associated with either a significant event or pattern of events/trends in American history. As the first federally funded hospital in Memphis, the U.S. Marine Hospital Campus Historic District is intertwined with the rise of Memphis as a medical hub.

The Yellow Fever epidemics of 1878-1879 catalyzed local, state, and health reforms to improve public health in the late nineteenth century. This period also affected the establishment of modern hospitals that provided treatments based on emerging fields such as public health, sanitation, and epidemiology. Most of the other hospitals established in the late nineteenth century, such as the Memphis City Hospital and St. Joseph's Hospital, both of which have been razed, elevating the local significance of the original buildings, HS-8, and HS-9, on the Marine Hospital Campus.

Hospital construction continued in the twentieth century. Overcrowding at the Marine Hospital spurred veterans' aide organizations such as the American Legion to advocate for improved hospital facilities. The U.S. Government acquired a ca. 1916 hospital building and opened the Veterans Association Hospital #88. This hospital, which was listed in the NRHP in 1995, was razed in 2007, elevating the local significance of the Marine Hospital campus.¹⁹⁰

Furthermore, in the 1930s, federal economic relief funds supported the modernization of thousands of hospitals nationwide, including at least two hospitals in Memphis, the Marine Hospital Campus, and the John Gaston Hospital.¹⁹¹ The John Gaston Hospital was razed in

¹⁹⁰ "Veterans' Administration Hospital Complex, No. 88 – Memphis," Memphis Heritage, Inc., <https://www.memphisheritage.org/veterans-administration-hospital-complex-no-88-memphis/>.

¹⁹¹ Memphis Heritage, "Marine Hospital Insiders' Tour," YouTube Video, 11:09, November 2, 2020, <https://www.youtube.com/watch?v=BswHtbJ13uE&t=2797s>.

1990 for the expansion of the Regional Medical Center, further elevating the local significance of the Marine Hospital campus.¹⁹²

It also is eligible with state significance under Criterion A as the only Marine Hospital in the State of Tennessee. As the only marine hospital in the State of Tennessee, it represents the role the U.S. Public Health Service efforts to prevent the spread of contagious disease. In particular, it represents the agency's efforts to provide medical relief following the Mississippi and Ohio River Flood of 1937 to the larger Mississippi Lower Valley Region.

For a property to be considered eligible for listing under Criterion C, it must either "embody distinctive characteristics of a type, period, or method of construction," "represent the work of a master," "possess high artistic value," or "represent a significant and distinguishable entity whose components may lack individual distinction."¹⁹³

As one of Memphis' few extant pre-1950s healthcare facilities, the Marine Hospital represents early Memphis hospital construction. In particular, the campus is the only known WPA hospitalization modernization project remaining in the City of Memphis. It is also locally eligible under Criterion C for its associations with the U.S. Office of the Supervising Architect. The period of significance under Criterion C has been identified as 1933 to 1939 to encompass the construction of the U.S. Marine Hospital Apartments (HS-10), the Nurses' Quarters (HS-12), the Junior Officers' Quarters (HS-13), and the Steam Laundry (HS-11). This period also includes the relocation of the Executive Building (HS-8) and Laundry-Kitchen (HS-9).

The architectural character of the campus, particularly the three Colonial Revival buildings, are exemplary representations of designs typical for the Office of the Supervising Architect for the U.S. Treasury under the leadership of Louis A. Simon. Simon advocated for public design that reflected the site, particularly the region's building traditions. During this period, the agency typically designed monumental buildings, often with a simple massing that could easily be expanded in updated adaptations of traditional styles of the region such as Colonial Revival.¹⁹⁴

The Marine Hospital Apartments (HS-10), Junior Officers' Quarters (HS-13), and the Nurses' Quarters (HS-12) are constructed in a Colonial Revival style, although particular architectural details such as the copper-domed cupola on the Marine Hospital Apartments (HS-10) reference the original Italianate hospital building.

¹⁹² "John Gaston Hospital, Memphis, c. 1936" Buildings. 52. <https://digitalcommons.memphis.edu/speccoll-mss-mpressscimtar7/52>

¹⁹³ NPS, How to Complete the National Register Form, (1997), pg.17.

¹⁹⁴ Antoinette J. Lee, "The Public Building Program in the Eras of Affluence and Depression, 1926-1939," *Architects to the Nation: The Rise and Decline of the Supervising Architect's Office* (Oxford University Press, 2000), 237-275.

According to the Memphis Landmarks Commission, the architectural expression of the campus expansion appears typical for the U.S. Public Health Service during this period, particularly in its use of the Colonial Revival style, comparable to other modernization projects such as the Marine Hospital in Evansville, Indiana.¹⁹⁵

The district has no known associations who contributed significantly to the broad patterns of history, nor is it likely to yield information important in history or prehistory. Therefore, it is recommended not eligible under Criteria B and D.

The Memphis Marine Hospital Campus Historic District retains a remarkably high degree of integrity in location, design, setting, materials, workmanship, feeling, and association. The campus primarily reflects the development of the 1930s WPA modernization project, which occurred during the proposed periods of significance and has become historic in its own right.

The district retains six of the seven buildings associated with the campus as depicted in the 1939 U.S. Department of the Treasury Map. As discussed in the inventory, the surviving buildings retain a remarkable degree of integrity of materials, design, and workmanship, contributing to the district's overall integrity.

Background research in available newspapers indicates that the M.O.C. Residence building was demolished ca. 1965. Historic aerials indicate that the tennis courts were removed by 1971. Since 1976, the museum has installed a tent-and-pole pavilion structure and constructed two buildings. Small in scale, the pavilion is minimally impactful from the ROW. The museum also initiated the construction of two buildings located in the northwestern corner of the district. Located near the former site of the M.O.C. residence, the buildings have no impact on historic viewsheds or circulation routes and is minimally impactful from the ROW. The new buildings are small in scale and sensitively designed to complement the Italianate, Colonial Revival, and Modern styles associated with the historic campus. The Metal Museum occasionally erects a temporary structure for museum functions in the southwest corner of the property; however, since it is temporary, this structure has no impact on historic integrity. Thus, despite these changes, the primary historic use of the campus as a hospital remains legible, contributing to its integrity of association and feeling.

Although the campus has been subdivided, the original campus footprint is clear and visually demarcated from the ROW by a wrought iron and brick fence that was constructed within the proposed period of significance. Although the fence has been modified by the Metal Museum, the original fence design is still legible. Additionally, since the district was

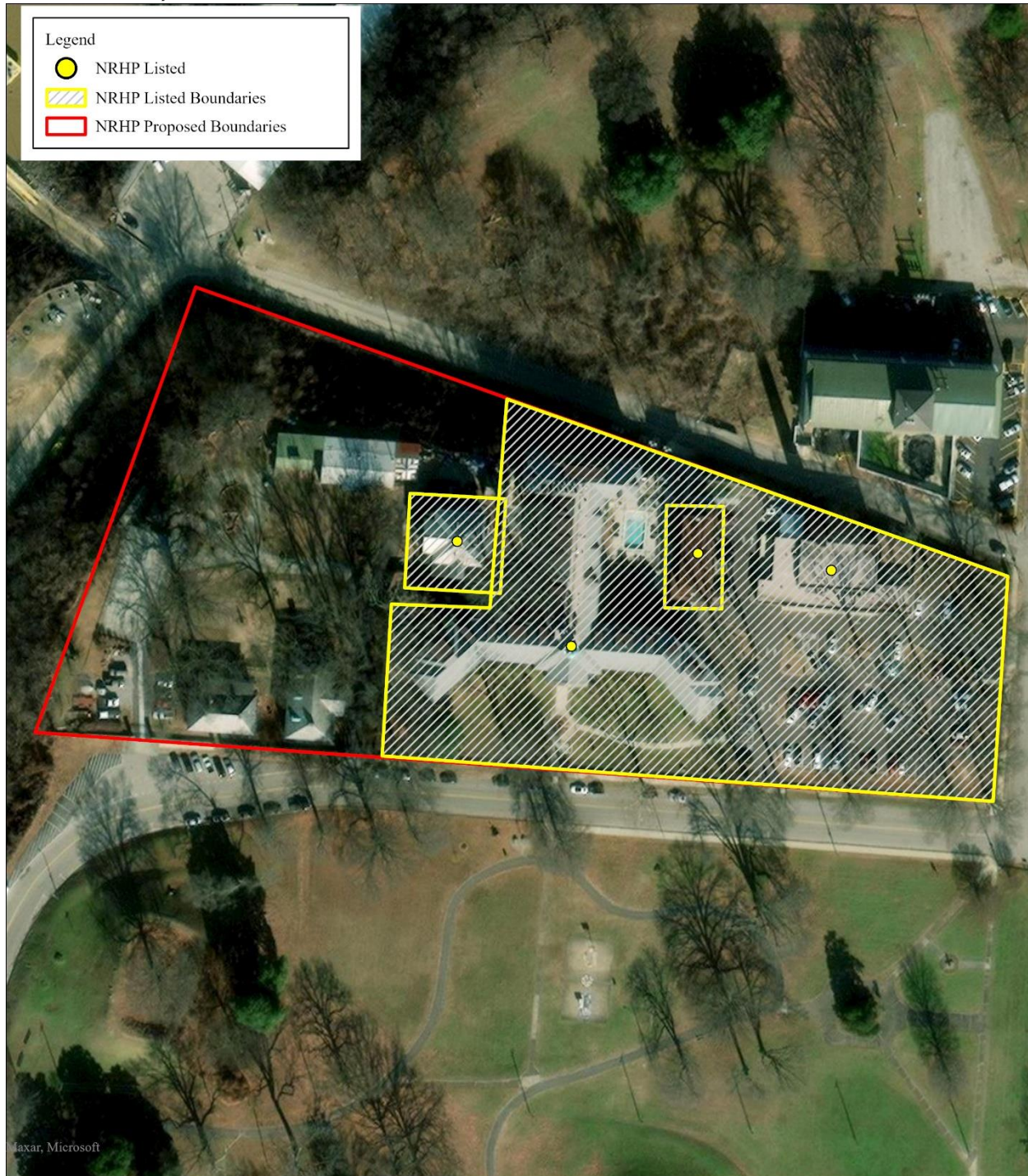
¹⁹⁵ Ayse Tezel, "360 Metal Museum Drive," Memphis, TN: Memphis Landmarks Commission Report NR#: 19-001, accessed March 11, 2024, <https://www.shelbycountyttn.gov/Archive/ViewFile/Item/6501>.

subdivided, an approximately six-foot wooden fence was erected at the current property line. Although visually intrusive, it does not significantly impact the integrity of the setting.

The campus retains many of its circulation features. Present-day Metal Museum Road still bounds the east and south sides of the campus. The ca. 1937 WPA retaining wall still bounds the north side of the property. Between 2019 and 2021, present owners commissioned a mural on the eastern portion of the wall. It is located on a secondary portion of the campus, minimizing its visual impacts the campus. Additionally, rehabilitation of the eastern parcel for multi-family residential use necessitated the installation of parking lots. However, most of the character-defining sidewalks and driveways are legible, despite the addition of parking lots on the eastern side of the campus, contributing to the integrity of design, setting, materials, association, and feeling.

Proposed Boundary Description and Justification: There are currently two listed NRHP boundaries associated with the Marine Hospital. One incorporates only the footprints of the Executive Building and Laundry-Kitchen; the other consists of the eastern portion of the campus and encompasses the Laundry-Kitchen, the Marine Hospital Apartments, and the Steam Laundry. Both of these listed boundaries are incorporated into the proposed boundary expansion.

The proposed Memphis Marine Hospital Campus Historic District boundary is bounded by W Illinois Ave. to the north, Metal Museum Dr. to the east and the south, and by the Fourth Chickasaw Bluff to the west. The campus was subdivided in the 1970s. The proposed district property contains the eastern parcel and approximately 2.60 acres of the western parcel. The proposed district is approximately 5.80 acres. The boundary contains all NRHP-qualifying resources and immediately adjacent grounds historically associated with the Marine Hospital as illustrated by the Marine Hospital Campus Map produced in 1939.



Map 13: Proposed Memphis Marine Hospital Campus District Existing and Proposed Boundaries
America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 50 100 150 200 Feet

DRAFT - DELIBERATIVE



Map 14: Proposed Memphis Marine Hospital Campus District Contributing Resources

America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and

West Memphis, Crittenden County, Arkansas

USGS 7.5 Northwest Memphis Quadrangle and

USGS 7.5 Southwest Memphis Quadrangle



0 50 100 150 200 Feet

DRAFT - DELIBERATIVE

Figure 55: An architectural rendering of the new hospital created by Regan & Weller. "Let New Marine Hospital Contract," The Commercial Appeal, September 16, 1933, pg.13



Accessed online via Newspapers.com.

Figure 56: "Architects' Drawing of the Three New Buildings for the Marine Hospital at Memphis," The Commercial Appeal, March 15, 1936, pg.16



Accessed online via Newspapers.com.

DRAFT - DELIBERATIVE

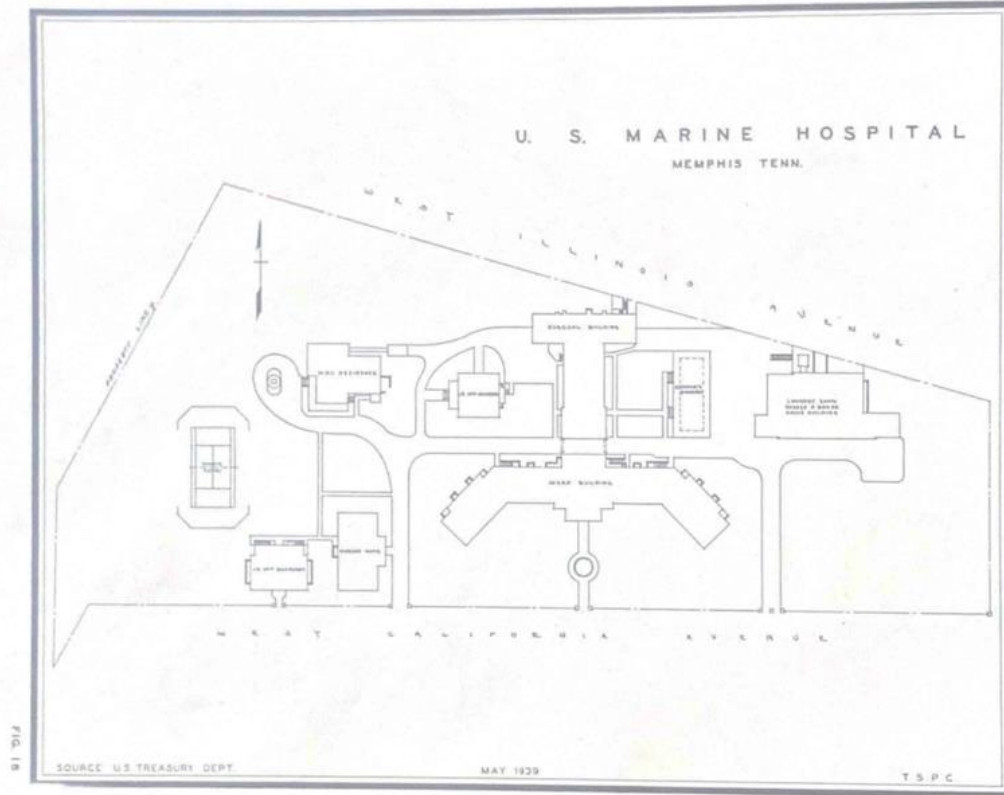
Figure 57: Steam Laundry from Northeast, October 1939,



Published in Lauren Crews, "U.S. Marine Hospital," Historic Preservation Certification Application Part 1— Certification of Significance, National Park Service, undated. (Accessed via Tennessee Historical Commission files)

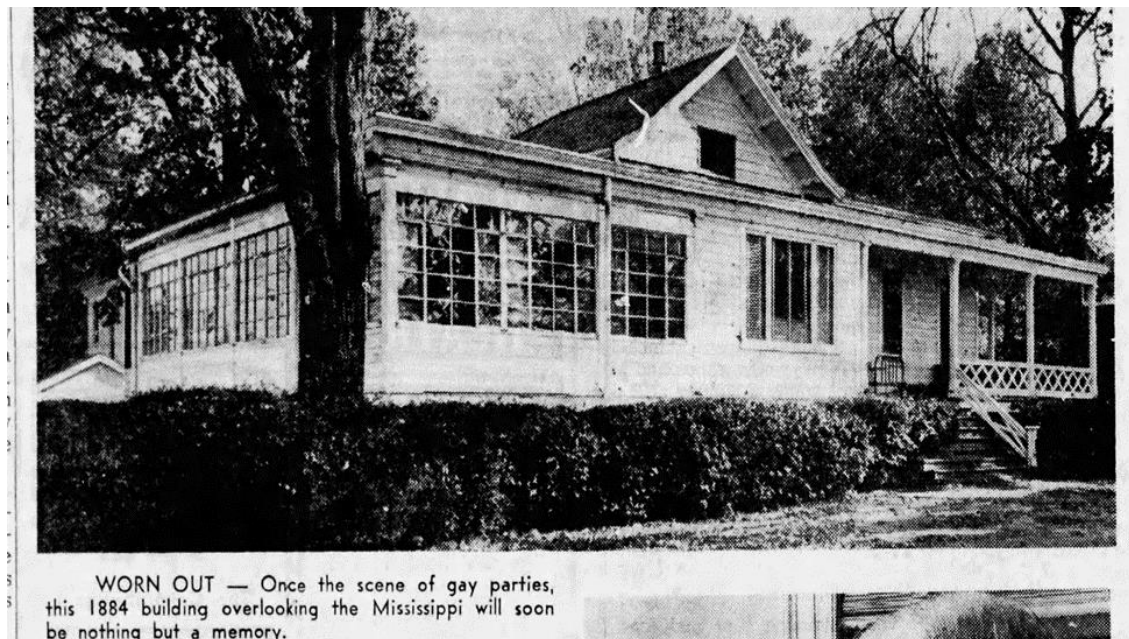
DRAFT - DELIBERATIVE

Figure 58: "U.S. Marine Hospital, Memphis, Tennessee," 1939.



TSLA Map Collection 2003-015-023, Tennessee State Library and Archives, Tennessee Virtual Archive.

Figure 59: Demolished M.O.C. Residence. "Financial Sickness Behind for Majestic Old Hospital," The Commercial Appeal, November 12, 1964, pg.59.



Accessed online via Newspapers.com.

DRAFT - DELIBERATIVE

Figure 60: The 2003 Lawler Foundry and 1985 blacksmith shop installed by the Metal Museum, looking northeast.



Figure 61: Gazebo structure made of historic castings installed by the Metal Museum after 1976, looking west.



DRAFT - DELIBERATIVE

Figure 62: Detail of one of the artist-designed gates installed by the Metal Museum in part of the existing fence in ca. 1980.



DRAFT - DELIBERATIVE

16.1.1. HS-8: U.S. Marine Hospital Executive Building

Contributing to the Memphis Marine Hospital Campus Historic District

Individually Listed on the NRHP under #80003872

Summary: Also known as a Junior Officers' Quarters, the Executive Building was constructed as a hospital service building in ca. 1883-1884. During the 1930s hospital modernization, the building was moved to its current location and remodeled to better complement the new Colonial Revival buildings designed by the Office of the Supervising Architect of the U.S. Department of the Treasury under the leadership of Louis A. Simon. This building remained associated with the Marine Hospital until the late 1960s when the hospital ceased operations.

The City of Memphis acquired the campus and subdivided the parcel. In 1976, the city of Memphis leased the western portion of the Marine Hospital campus including HS-8 to the National Ornamental Metal Museum. In 2007, the museum rehabilitated it for use as a library, exhibition gallery, and classroom space.

As one of only two surviving buildings associated with the original 1884 hospital, HS-8 met Criteria G and, thus, was individually listed in the NHRP in 1980 as the "Executive Building" with social/humanitarian significance for its association with the development of public health in the Memphis region in the nineteenth century. It is considered a contributing building to the proposed Memphis Marine Hospital Campus Historic District.

Description: Located at 374 Metal Museum Dr., Resource HS-8 is a hospital service building in the Italianate style with Colonial Revival details. The building is located on the north side of the Marine Hospital campus. Based on available historical research, this building was constructed in 1883-1884. It was relocated approximately 100 feet northeast and remodeled in 1936.¹⁹⁶ A 1939 U.S. Department of the Treasury site depicts the building at its present location, labeled as the "Jr. Off. Quarters."

Of brick construction, HS-8 is a two-story building that is oriented west, is surmounted by a metal hipped roof, and rests on a continuous brick foundation. The building was constructed in the Italianate style. According to the 1980 NHRP nomination, the building was originally encompassed by covered porches punctuated by bracketed cornices that

¹⁹⁶ Kay Benton, "U.S. Marine Hospital Executive Building and Laundry-Kitchen," National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, February 1980.

connected it to the Laundry-Kitchen Building to the east, and non-existent frame ward buildings to the north and south.¹⁹⁷

The western façade primarily reflects a 1930s WPA renovation remodeled to better relate stylistically to the new Colonial Revival hospital buildings (HS-11, HS-12, and HS-13). The WPA added a two-story three-bay enclosed entrance portico that is surmounted by a gable roof punctuated by a leaded fanlight on the gable end. The enclosed entrance portico is punctured by banks of two two-over-two wood sashes and a wooden double door with a three-light transom. The fenestration pattern is emphasized by exterior wooden panels. Each bay is framed by giant ordered, paneled ionic pilasters.

Although most of the western façade reflects the Colonial Revival renovation, the northernmost and southernmost bays, which are not covered by the enclosed portico, each feature original two-over-two wooden sashes that are punctuated by segmental arches capped by voussoirs over carved wood tympanums.

The three-bay south elevation is interrupted by a two-bay two-story portico supported by giant order, paneled square ionic columns that echo the pilasters of the entrance portico and is surmounted by a flat roof with exaggerated eaves with large eave brackets, and boasts a metal balustrade. The third bay is a gabled-roof projection framed by giant ordered porticos that echo the entrance portico.

The north elevation is not clearly visible from the ROW; however, this elevation is also punctured by two-over-two wooden sashes punctuated by segmental arches and is interrupted by a one-story hipped roof portico, which is framed by latticework. The east elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-8 retains good integrity of design, materials, workmanship, feeling, and association. Although the campus has been subdivided, the original boundaries of the campus are still legible. The building retains architectural features of the Italianate style such as its hipped roof, segmentally arched window and door tops, and the flat-roofed portico that has an exaggerated eave with brackets, despite being remodeled in 1936. Furthermore, the 1936 Colonial Revival architectural features such as the enclosed portico with the fanlight detail and the giant order columns and pilasters were added within the period of significance and, thus, have become historic in their own right. The building retains a remarkable amount of historic material, including its wood sash windows and doors.

¹⁹⁷ The National Metal Museum, current occupants, provided access to portions of its campus in February 2024; Memphis Heritage, "Marine Hospital Insiders' Tour," YouTube Video, 11:09, November 2, 2020, <https://www.youtube.com/watch?v=BswHtbJ13uE&t=2797s>.

Although this building was removed from its original location in 1936, it meets Criteria Consideration B for moved properties. Despite being moved, it was listed in the NHRP in 1980 as one of only two surviving buildings associated with the Memphis Marine Hospital Campus constructed in 1883-1884. Additionally, the building was moved during the proposed periods of significance and reflects the 1930s WPA modernization of the hospital. Thus, its present location has become historic in its own right and, thus, it contributes to the integrity of setting and association. Since the period of significance, the museum has erected two outbuildings and one structure near the building; however, the new construction is small in scale and sensitive in design, and, therefore, minimally impacts the integrity of setting. Thus, as a good and intact example of a building associated with the Marine Hospital campus, it is considered a contributing resource to the historic district.

Figure 63: U.S. Marine Hospital Executive Building west façade, looking east.



Figure 64: U.S. Marine Hospital Executive Building west façade and south elevation, looking northeast.



Figure 65: U.S. Marine Hospital Executive Building west façade and north elevation, looking southeast.



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16.1.2. HS-9: U.S. Marine Hospital Laundry-Kitchen Building

Contributing to the Memphis Marine Hospital Campus Historic District

Individually Listed on the NRHP under #80003872

Summary: Also known as the Laundry-Kitchen Building, the Nurses' Quarters, Old Nurses' Quarters, Quarters Building No. 5, and Assistants' Quarters, HS-9 is one of only two surviving buildings associated with the original 1883-1884 hospital. During the 1930s hospital modernization, the building was removed to its current location and remodeled to better complement the new Colonial Revival buildings designed by the Office of the Supervising Architect of the U.S. Department of the Treasury under the leadership of Louis A. Simon. This building remained associated with the Marine Hospital until the late 1960s when the hospital ceased operations. Research also indicates this building served many functions throughout its association with the hospital, including as a laundry-kitchen building, a nurses' quarters, and attendants' quarters.¹⁹⁸

As one of two surviving original buildings, HS-9 met Criteria Consideration G and thus was individually listed in the NHRP in 1980 as the "Laundry-Kitchen Building" with social/humanitarian significance for its association with the development of public health in the Memphis region in the nineteenth century.¹⁹⁹

After the Marine Hospital closed in the late 1960s, the U.S. Government retained the property, for military use. The U.S. Government sold the property to private developers in 2002. In 2019, it underwent rehabilitation for use as a multi-family residential property. As of 2021, the building consists of four residential units.²⁰⁰ Developers initiated a proposed multi-property nomination for the U.S. Marine Hospital as the "Nurses' Quarters/Laundry Kitchen." As of 2019, the U.S. Marine Hospital has been preliminarily listed on the NHRP.²⁰¹

HS-9 retains its integrity and is recommended as a contributing building to the proposed Memphis Marine Hospital Campus Historic District.

¹⁹⁸ "U.S. Marine Hospital, Memphis, Tennessee," 1939, TSLA Map Collection 2003-015-023, Tennessee State Library and Archives, Tennessee Virtual Archive; Kay Benton, "U.S. Marine Hospital Historic District," National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, November 1979.

¹⁹⁹ Kay Benton, "U.S. Marine Hospital Executive Building and Laundry-Kitchen," National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, February 1980.

²⁰⁰ Memphis Heritage, "Marine Hospital Insiders' Tour," YouTube Video, 11:09, November 2, 2020, <https://www.youtube.com/watch?v=BswHtbJ13uE&t=2797s>.

²⁰¹ Lauren Crews, "U.S. Marine Hospital," Historic Preservation Certification Application Part 1—Certification of Significance, National Park Service, undated; "Pending List 20190330," National Register of Historic Places, National Park Service, last updated April 3, 2019, <https://www.nps.gov/subjects/nationalregister/pending-list-20190330.htm>

Description: Located at 338 Metal Museum Dr., HS-9 is a hospital service building in the Italianate style with Colonial Revival details. The building is located in the northerly portion of the Marine Hospital Campus District. Based on available historical research, this building was constructed in 1883-1884. It was moved approximately 100 feet northeast and remodeled in 1936.²⁰² The 1939 U.S. Department of the Treasury site plan depicts the building at its present location, labeled as the “Assistants’ Quarters” (Figure 64). These dates are consistent with historic aerials and the building’s Italianate style with Colonial Revival architectural details.

Of brick construction, HS-9 is a two-story building that was constructed with a basement that was removed during the 1930s modernization project. Six bays wide and two bays deep, it is oriented west, is surmounted by a tin-hipped roof with an elaborate cornice and brackets, and rests on a brick pier foundation. The building is the best representation of the original campus because it retains an original one-story wraparound porch. According to its 1980 listing, this building was originally connected to other hospital facilities via covered walkways extending from the porch. The building retains many of its Italianate architectural features. The wraparound porch is surmounted by a hipped tin roof that has exaggerated eaves with brackets and is supported by slender square columns. It is punctured by original two-over-two double-hung wood windows with segmental arches. Three doors surmounted by transoms on the western facade provide interior access.

Discussion of Integrity: Resource HS-9 retains good integrity of design, materials, workmanship, feeling, and association. Although the building was remodeled in 1936, it retains architectural features of the Italianate style such as its hipped roof, segmentally arched window and door tops, and the roof with exaggerated eave with an elaborate cornice and ornamental brackets. Historic evidence indicates that the building was remodeled in 1936 for use as an Assistant’s Quarters, primarily altering the interiors; however, these changes were made within the period of significance and, thus, have become historic in their own right. The building retains a remarkable amount of historic material, including its original wraparound porch.

Although this building was removed from its original location in 1936, it meets Criteria Consideration B for Moved Properties. Despite being moved, it was listed in the NHRP in 1980 as one of only two surviving buildings associated with the Memphis Marine Hospital Campus constructed in 1883-1884. Additionally, the building was removed during the proposed periods of significance and reflects the 1930s modernization of the hospital. Thus, its present location has become historic in its own right and contributes to the integrity of setting and association. Since the period of significance, the museum has

²⁰² Kay Benton, “U.S. Marine Hospital Executive Building and Laundry-Kitchen,” National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, February 1980.

erected two outbuildings and one structure near the building; however, the new construction is small in scale and sensitive in design, and, therefore, minimally impacts the integrity of setting. Thus, as a good and intact building associated with the Marine Hospital campus, it is considered a contributing resource to the historic district.

Figure 66: U.S. Marine Hospital Laundry-Kitchen southern and eastern elevation, looking northwest.



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SECOND FLOOR

FIRST FLOOR

BASEMENT FLOOR

SCALE 1/8" = 1'-0"

QUARTERS BUILDING NO. 5

LEGEND

QUARTERS BUILDING NO. 5

U.S. P.H.S. HOSPITAL - CAMP LITTLE ROCK, ARK.

DESIGNED BY [Signature]

DATE [Date]

REVISIONS

DRAWING NO. [Number]

BY [Initials]

CHKD. [Initials]

16-131

16.1.3. HS-10: U.S. Marine Hospital Apartments

Contributing to the Memphis Marine Hospital Campus Historic District

Individually Listed on the NRHP under #SG10003905

Summary: The U.S. Marine Hospital Building is a 1933-1937 hospital building. This building has been preliminarily individually listed on the NHRP as of 2019 as the U.S. Marine Hospital. Because HS-10 retains its significance and integrity, it is recommended as a contributing building to the proposed Memphis Marine Hospital Campus Historic District.

Description: Located at 360 Metal Museum Dr., Resource HS-10 is a hospital service building in the Colonial Revival style. The building is located centrally in the proposed Marine Hospital Campus District.

Based on available historic research, this building was constructed between 1931-1937 to replace a ca. 1883-1884 Italianate hospital building. The design was supervised by the Office of the Supervising Architect of the U.S. Department of the Treasury under the leadership of Louis A. Simon.²⁰³ These dates are consistent with historic aerials and the building's Colonial Revival style. It was constructed in two phases. The first phase was a surgical unit designed by local Memphis architectural firm Regan & Weller under the supervision of the Office of the Supervising Architect of the U.S. Department of the Treasury. After the Marine Hospital received more funding in 1933, the Office of the Supervising Architect of the U.S. Department of the Treasury extended the scope of the project. The second phase was a three-block addition that would house the hospital wards designed by the agency, which became the second phase of the project. The first phase of the project was completed in 1935, and the second phase was completed in 1937.

The hospital is an exemplary representation of designs typical for the Office of the Supervising Architect for the U.S. Treasury under the leadership of Louis A. Simon. Simon advocated for public design that was programmatic and reflected the site, particularly the region's building traditions.²⁰⁴ Likely the Marine Hospital was constructed in a Colonial Revival style to reflect the building traditions of the southeast.

Of concrete and masonry construction, HS-10 is a monumental three-story hospital with three wings, an attic, and a basement in a highly ordered Colonial Revival style. It is laid in

²⁰³ Lauren Crews, "U.S. Marine Hospital," Historic Preservation Certification Application Part 1—Certification of Significance, National Park Service, undated.

²⁰⁴ Ayse Tezel, "360 Metal Museum Drive," Memphis, TN: Memphis Landmarks Commission Report NR#: 19-001, accessed March 11, 2024, <https://www.shelbycountyttn.gov/Archive/ViewFile/Item/6501>; Antoinette J. Lee, "The Public Building Program in the Eras of Affluence and Depression, 1926-1939," *Architects to the Nation: The Rise and Decline of the Supervising Architect's Office* (Oxford University Press, 2000), 237-275.

Flemish bond and is surmounted by a hipped roof punctured by arched dormers and a domed cupola above the entrance portico. The addition has a large limestone cornice below the roofline and a limestone water table above the first story.

The southern elevation of the Phase II wing serves as the main street-facing façade. This façade has twenty-five bays that are divided into three blocks. The central section has a five-bay projection that is interrupted by a three-bay, two-story entrance portico that is surmounted by a gabled roof punctured by a fanlight on the gabled end. The portico is supported by two giant order Tuscan columns linked by a limestone balustrade. The portico sits above an arcade with segmental arches on the first story that shelters a paneled wooden six-light double-door entrance that is surmounted by a four-light transom and two six-over-six windows framed. All other windows are six-over-six wooden sash windows over limestone sills and brick jack arches.

The two adjoining wings extend from the central block at angles. Identical, the southerly façade of each of the end sections is five bays and interrupted by a two-story, three-bay inset porch punctured by six-light wood-paneled double doors surmounted by a four-light transom. Each porch is supported by two limestone Tuscan columns above a first-story arcade with segmental arches.

The adjoining wings also have identical configurations on their respective southeasterly and southwesterly elevation. The first story is punctured by three six-over-six wooden sashes with limestone sills and jack brick arches. The second and third stories are interrupted by a two-story, three-bay loggias supported by a giant order limestone Tuscan column. Each story is punctured by banks of four eight-over-eight wooden sash windows over wooden panels.

The five-bay northeastern elevation of the eastern side block is interrupted by a three-bay, hipped-roof central projection that is punctured by a 2019 shed roof dormer that is clad in slate and painted charcoal to minimize visual impact. The projection is punctured by banks of two banks on three six-over-six wooden sash windows with limestone sills and brick jack arches. The easternmost bay of this elevation is punctured by a six-over-six wooden sash, and the is westernmost bay is obscured by a metal fire escape. Based on available architectural drawings, the northwest elevation of the western block is identical.

The northern elevation of the central block of the Phase II addition intersects with the Phase I surgical unit by a single-story passage. Of concrete and masonry construction, the Phase II addition is a y-shaped that is laid in Flemish bond and is surmounted by a hipped roof punctured by original arched dormers and 2019 shed and gabled-roof dormers painted charcoal to minimize visual impact. The western elevation has a simple rhythm of six-over-six wood sash windows with limestone sills and brick jack arches. It features complicated brickwork, including quoining at adjoining corners. Based on available architectural drawings, the western elevation is identical. The adjoining wing connects to

the central block at its northern elevation. The eastern elevation of the wing is two bays. The first floor has a six-light single-leaf paneled door and an enclosed opening indicated by changes in brick. The second and third stories are punctured by six-over-six wood sash windows over sills. Based on available architectural drawings and photographs, the western elevation of the western wing is likely identical.

The northern elevation is less ordered than the other elevations of the Phase I surgical unit, likely a utilitarian expression of its original medical function. It rests on an exposed daylight basement. Unlike the other elevations, it has an irregular pattern of fenestration. In addition to the six-over-six wood sashes with sills, it also features a picture window and three-over-three windows. The basement is accessed by wood-paneled six-light single-leaf doors surmounted by three-light transoms. The elevation is interrupted by original concrete and masonry chimneys.

Discussion of Integrity: Resource HS-10 possesses integrity of location because it has not been moved. Although the campus has been subdivided, the original boundaries of the campus are still legible, contributing to its integrity of setting. The building retains Colonial Revival architectural details typical of the Office of the Supervising Architect during this period, such as its cupola, exterior chimneys, and the entrance portico with giant order Tuscan columns and fanlights. The building retains a remarkable amount of original material, including the slate roof and wood sash windows. Thus, the building retains the integrity of setting, design, workmanship, association, and feeling. As a good and intact building associated with the Marine Hospital campus, it is considered a contributing resource to the historic district.

Figure 69: U.S. Marine Hospital Apartments south facade, looking north.



Figure 70: U.S. Marine Hospital Apartments south façade and western elevation of the western wing, looking northwest.



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Figure 71: U.S. Marine Hospital Apartments east elevation of the eastern wing and main block, looking west.

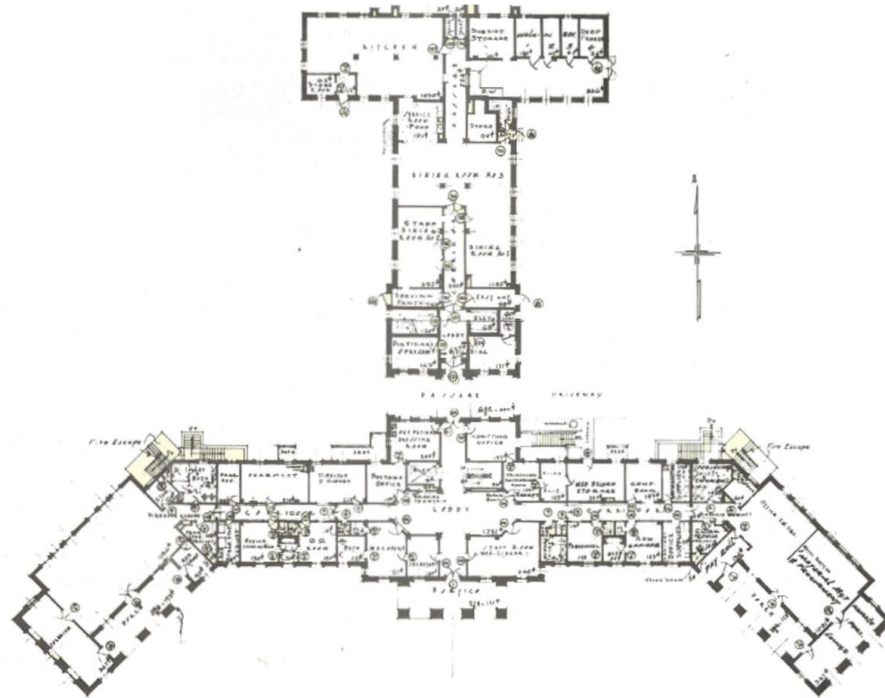


Figure 72: U.S. Marine Hospital Apartments east elevation of the main block, looking southeast.



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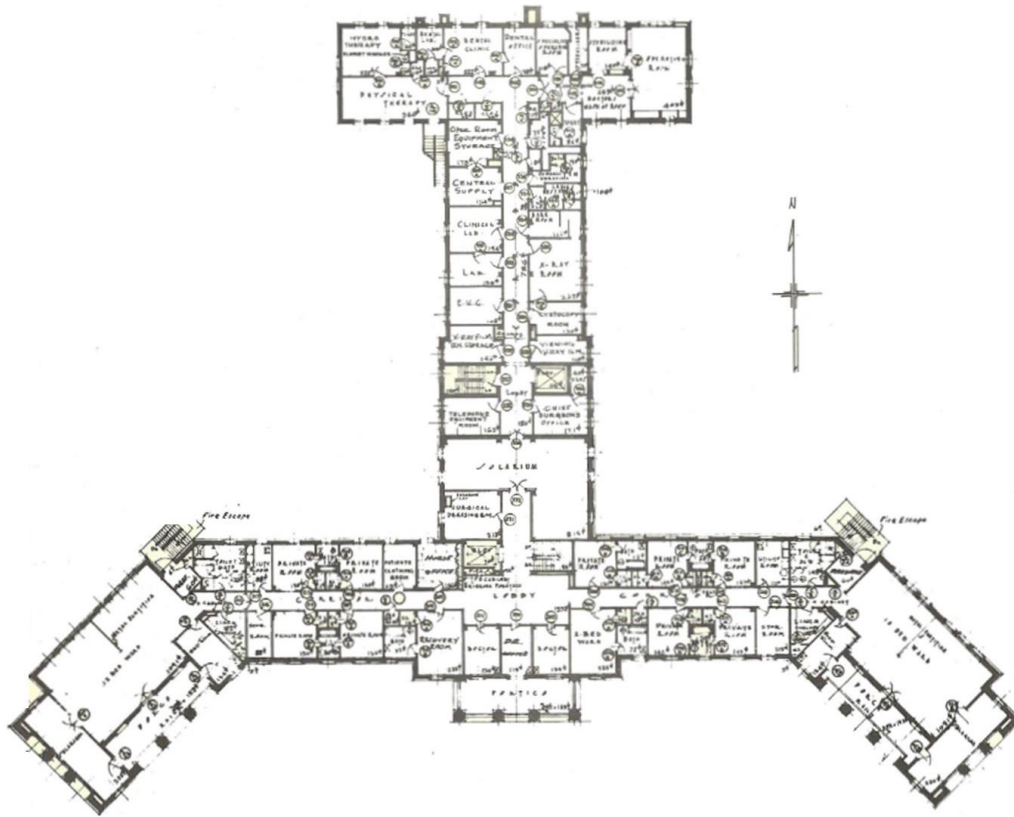
Figure 73: U.S. Marine Hospital First Floor Plan.



Published in Lauren Crews, "U.S. Marine Hospital Draft," Historic Preservation Certification Application Part 1—
Certification of Significance, Looney Ricks Kiss, Inc., Memphis, TN, October 6, 2017.

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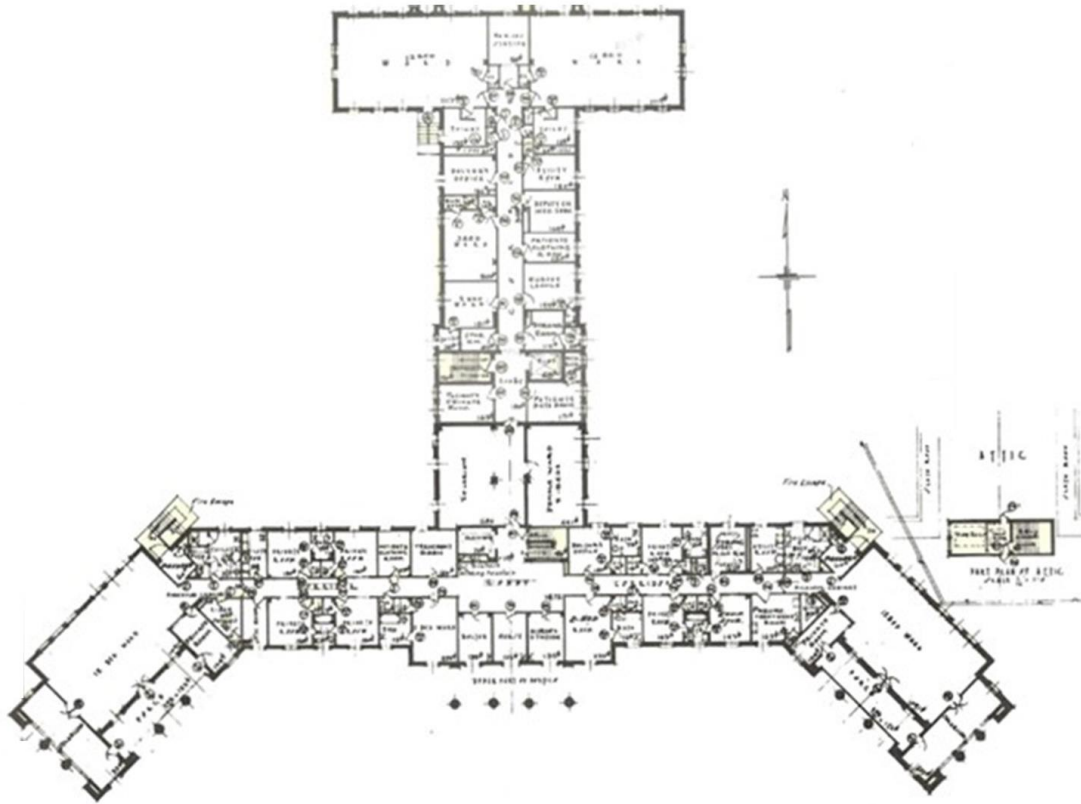
Figure 74: U.S. Marine Hospital Second Floor Plan.



Published in Lauren Crews, "U.S. Marine Hospital," Historic Preservation Certification Application Part 1—
Certification of Significance, Looney Ricks Kiss, Inc., Memphis, TN, October 6, 2017.

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Figure 75: U.S. Marine Hospital Third Floor Plan



*Published in Lauren Crews, "U.S. Marine Hospital," Historic Preservation Certification Application Part 1—
Certification of Significance, Looney Ricks Kiss, Inc., Memphis, TN, October 6, 2017.*

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16.1.4. HS-11: U.S. Marine Hospital Steam Laundry

Contributing to the Memphis Marine Hospital Campus Historic District

Individually Listed on the NRHP under NR#100003905

Summary: The Steam Laundry (HS-11) is an industrial building with a partial daylight basement constructed in 1939 for use as a laundry, shops, and garages. The construction of the laundry was overseen by the office of the Supervising Architect during its transition to the Work Progress Administration. The building is of more utilitarian Twentieth-Century Modernist style, although many of its architectural elements such as its red brick complement the architectural expression of the main hospital building. After the Marine Hospital closed in the late 1960s, the city of Memphis subdivided the campus. The U.S. Government retained the eastern parcel including HS-10 for military use. The U.S. Government sold the property to private developers in 2002. In 2019, it underwent rehabilitation for use as a multi-family residential property known as the Marine Hospital Residences. As of 2021, the building contains residential units.²⁰⁵ The Memphis Landmarks Commission made efforts to list the Marine Hospital campus as a district in 1979; however, the 1930s buildings, including HS-11, failed to meet Criteria Consideration G of the National Register Criteria for Evaluation. Since 1979, HS-11 has met the requirements for the Criteria Consideration G consideration.²⁰⁶ This building has been preliminarily individually listed on the NHRP as of 2019 as the Steam Laundry.²⁰⁷ HS-11 retains its integrity and is recommended as a contributing building to the proposed Memphis Marine Hospital Campus Historic District.

Description: Located at 338 Metal Museum Dr., Resource HS-11 is a hospital service building in a Twentieth-Century Modernist style. The building is located on the eastern side of the campus. Based on available historic research, this building was constructed in 1939.²⁰⁸ These dates are consistent with historic aerials and the building's Twentieth-Century Industrial style.

Of concrete and masonry construction, this building is of red brick laid in English bond and is surmounted by a flat roof obscured from view by a brick parapet. Although simple in its

²⁰⁵ Memphis Heritage, "Marine Hospital Insiders' Tour," YouTube Video, 11:09, November 2, 2020, <https://www.youtube.com/watch?v=BswHtbj13uE&t=2797s>.

²⁰⁶ Kay Benton, "U.S. Marine Hospital Historic District," National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, November 1979.

²⁰⁷ "Pending List 20190330," National Register of Historic Places, National Park Service, last updated April 3, 2019, <https://www.nps.gov/subjects/nationalregister/pending-list-20190330.htm>.

²⁰⁸ "Hospital Work To Start," *The Commercial Appeal*, January 19, 1939. <https://www.newspapers.com/article/the-commercial-appeal/142899266/>.

architectural ornamentation, this laundry has a complicated massing. From its main southern façade, the building appears to be one-story with a double-height volume at the rear. It is flanked by two bay garages on the east and west that have four light aluminum rollup doors. The façade is punctured by banks of three nine-light wood sashes, creating a ribbon window effect, and three white metal double-leaf two-light doors with four-light transoms. The doors are accentuated by a brick quoining detail and lit by metal overhanging lights. The overhead massing is punctured by clerestory black metal windows.

The eastern elevation and western elevations are punctured by three twenty-four-light metal windows. The northern elevation has a daylight concrete basement made of cut concrete. It is punctured by a multi-light black metal window and two black metal double-leaf paneled doors with twelve-light transoms. It is interrupted by a one-story boiler house projection. The U.S. Department of the Treasury 1939 map indicates that the western façade originally had an exterior staircase, indicating that the grading of the site has likely changed, affecting the building's footprint. The boiler room is accessed by an exterior door opening partially obscured from view from the ROW by the smokestack. Above the boiler room, a porch that is surmounted by a metal shed roof projects from the western garage bay. It is punctured by vertical sliding windows that are partially obscured from view.

Discussion of Integrity: Resource HS-11 possesses integrity of location because it has not been moved. Although the campus has been subdivided, the original boundaries of the campus are still legible. The building's original use as an industrial hospital service building is still legible, particularly through architectural features such as the smokestack and the clerestory windows. A 1939 campus plan indicates that the building originally had an exterior staircase on the west elevation; however, an undated historic plan does not indicate that the building had an exterior staircase.²⁰⁹ Despite this possible change, the building retains its complicated massing. The owners retained as much historic material as possible, installing replicas of the original doors and windows as necessary.²¹⁰ Stakeholders also ensured the building retains architectural details that make it compatible with other buildings on the site, such as brick quoining details and the transom windows. Thus, the building retains the integrity of setting, design, workmanship, association, and feeling. As a good and intact service building associated with the Marine Hospital campus, it is considered a contributing resource to the historic district.

²⁰⁹ "U.S. Marine Hospital, Memphis, Tennessee," 1939, TSLA Map Collection 2003-015-023, Tennessee State Library and Archives, Tennessee Virtual Archive; Lauren Crews, "U.S. Marine Hospital," Historic Preservation Certification Application Part 1—Certification of Significance, National Park Service, undated.

²¹⁰ Memphis Heritage, "Marine Hospital Insiders' Tour," YouTube Video, 11:09, November 2, 2020, <https://www.youtube.com/watch?v=BswHtbJ13uE&t=2797s>.

Figure 76: U.S. Marine Hospital Steam Laundry south elevation, looking north.



Figure 77: U.S. Marine Hospital Steam Laundry east and north elevations, looking southwest.



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Figure 78: U.S. Marine Hospital Steam Laundry east elevation, looking west.

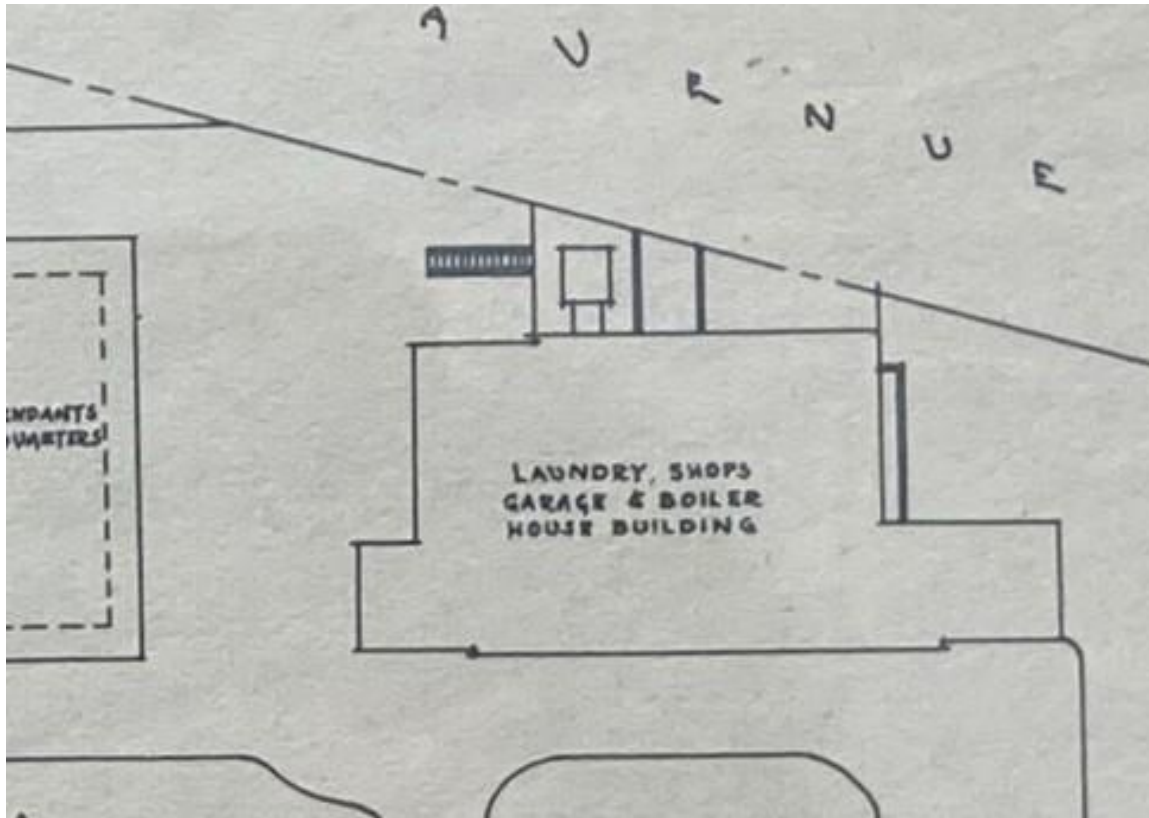


Figure 79: U.S. Marine Hospital Steam Laundry north elevation, looking southeast.



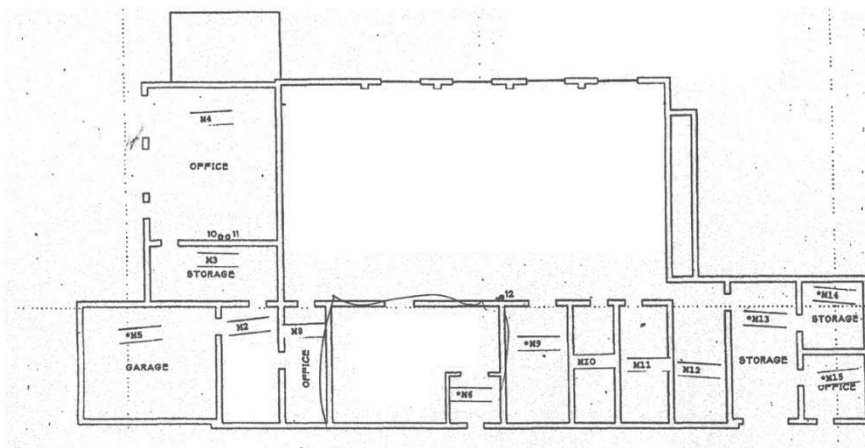
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Figure 80: Detail from "U.S. Marine Hospital, Memphis, Tennessee," 1939.



TSLA Map Collection 2003-015-023, Tennessee State Library and Archives, Tennessee Virtual Archive.

Figure 81: Undated Steam Laundry Plan.



Published in Lauren Crews, "U.S. Marine Hospital," Historic Preservation Certification Application Part 1— Certification of Significance, National Park Service, undated (accessed via Tennessee Historical Commission files).

16.1.5. HS-12: U.S. Marine Hospital Nurses' Quarters

Contributing to the Memphis Marine Hospital Campus Historic District

Summary: The Nurses' Quarters (HS-12) is a two-story hospital staff dormitory constructed in 1937 to house nurses employed by the U.S. Public Health Service. Designed by the Office of the Supervising Architect of the U.S. Treasury under the leadership of Louis A. Simon, it is of a heavily ordered Colonial Revival style that elegantly complements the architectural expression of the main hospital building. In 1976, the City of Memphis leased the western portion of the Marine Hospital campus including HS-12 to the National Ornamental Metal Museum. The museum rehabilitated the building for museum use from ca. 1977-1979.²¹¹ Although HS-12 is not currently listed in NHRP, the Memphis Landmarks Commission made efforts to list the Marine Hospital campus as a district in 1979; however, the 1930s buildings, including HS-12, failed to meet Criteria Consideration G of the National Register Criteria for Evaluation. Since 1979, HS-12 has met the requirements for the Criteria Consideration G consideration. As a good and intact building associated with the Marine Hospital, it is recommended as a contributing building to the proposed Memphis Marine Hospital Campus Historic District.

Description: Located at 374 Metal Museum Dr., Resource HS-12 is a hospital service building in the Colonial Revival style. The building is located on the southwest side of the Marine Hospital campus. Based on available historical research, this building was constructed in 1937. *The Commercial Appeal* reported the new hospital dedication in June 1937. The article described the Nurses' Quarters as "12 bedrooms, two suites with baths for the chief nurse and the dietitian and living room and kitchenette. The basement is used for a recreation room and is large enough for dancing."²¹² A 1939 U.S. Department of the Treasury site plan depicts the building at its present location, labeled as the "Nurses' Quarters" (Figure 64). These dates are consistent with historic aerials and the building's style.

HS-12 is a symmetrical rectangular red brick building that is seven bays wide and three bays deep. It is laid in the English bond with a soldier course at the base of the building and is surmounted by a slate hipped roof that is punctured by interior end chimneys and three copper hip roof dormers. The building is punctured by six-over-six wooden sashes over concrete sills. The main eastern façade is interrupted by a three-bay, two-story temple-front entrance portico. It is surmounted by a plain entablature and a gabled roof that is

²¹¹ "History of the Metal Museum," (Memphis, TN: Metal Museum, N.D.).

²¹² "U.S. Marine Hospital Units to Remain Open to Public Today," *The Commercial Appeal*, published June 12, 1937, <https://www.newspapers.com/article/the-commercial-appeal/142461005/>.

accentuated by a leaded fanlight on the gable end. The entrance portico is supported by four square wooden columns and shelters a replacement metal door with sidelights that is framed by an original wood entablature. Most of the windows are framed by wood-paneled shutters. The western elevation is interrupted by a one-bay entrance porch surmounted by a metal roof and accessed by likely replacement metal stairs. It shelters a plain entrance surmounted by an arched fanlight.

Discussion of Integrity: Resource HS-12 possesses integrity of location because it has not been moved. Although the campus has been subdivided, the original boundaries of the campus are still legible. Originally housing for nurses, the Metal Museum was rehabilitated as a museum building; however, the museum retains Colonial Revival features typical of the Office of the Supervising Architect during this period such as its highly ordered two-story portico with giant order Tuscan columns and its fanlights, which relate it to the other resources in the Marine Hospital campus and contribute to its integrity of setting, design, workmanship, association, and feeling. The museum has erected two outbuildings and one structure near the building; however, the new construction is small in scale and sensitive in design, and, therefore, minimally impacts the integrity of setting. The building retains a remarkable amount of original material, including its original slate roof and wood sash windows. As a good and intact building associated with the Marine Hospital campus, it is considered a contributing resource to the historic district.

Figure 82: U.S. Marine Hospital Nurses' Quarters east elevation, looking west.



Figure 83: U.S. Marine Hospital Nurses' Quarters south elevation, looking north.



Figure 84: U.S. Marine Hospital Nurses' Quarters west elevation, looking southeast.



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Figure 85: U.S. Marine Hospital Nurses' Quarters north elevation, looking south.



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16.1.6. HS-13: U.S. Marine Hospital Junior Officers' Quarters

Contributing to the Memphis Marine Hospital Campus Historic District

Summary: The Junior Officers' Quarters (HS-12) is a two-story duplex constructed in 1937 to house the families of officers employed by the U.S. Public Health Service. Designed by the Office of the Supervising Architect of the U.S. Treasury under the leadership of Louis A. Simon, it is of a heavily ordered Colonial Revival style that elegantly complements the architectural expression of the main hospital building. In 1976, the City of Memphis leased the western portion of the Marine Hospital campus including HS-13 to the National Ornamental Metal Museum. Since the museum acquired the property, it has rehabilitated HS-13 as an artists' residence. Although HS-13 is not currently listed in NHRP, the Memphis Landmarks Commission made efforts to list the Marine Hospital campus as a district in 1979; however, the 1930s buildings, including HS-13, failed to meet Criteria Consideration G of the National Register Criteria for Evaluation.²¹³ Since 1979, HS-13 has met the requirements for the Criteria Consideration G consideration. As a good and intact building associated with the district, it is recommended as a contributing building to the proposed Memphis Marine Hospital Campus Historic District.

Description: Located at 374 Metal Museum Dr., Resource HS-13 is a hospital service building in the Colonial Revival style. The building is located on the southwest side of the Marine Hospital campus. Based on available historical research, this building was constructed in 1937. *The Commercial Appeal* reported the new hospital dedication in June 1937. It reported that the Junior Officers' Quarters contained two units each comprised of "three bedrooms, a sleeping porch, two baths, living room, kitchen and dining room and a basement for laundering."²¹⁴ A 1939 U.S. Department of the Treasury site depicts the building at its present location, labeled as the "Jr. Officers' Quarters" (Figure 64).²¹⁵ These dates are consistent with historic aerials and the building's style. HS-12 is a symmetrical rectangular red brick building that is six bays wide and three bays deep. It is laid in the English bond with a soldier course at the base of the building and is surmounted by a simple cornice and a slate hip roof that is punctured by interior end chimneys and two copper eyebrow vents. The building retains original copper gutters.

²¹³ Kay Benton, "U.S. Marine Hospital Historic District," National Register Inventory/Nomination Form. Memphis Landmarks Commission, Memphis, TN, November 1979.

²¹⁴ "U.S. Marine Hospital Units to Remain Open to Public Today," *The Commercial Appeal*, published June 12, 1937, <https://www.newspapers.com/article/the-commercial-appeal/142461005/>.

The southern street-facing façade is interrupted by a two-bay inset porch surmounted by a brick segmental arch. It shelters two doors partially obscured by original wooden screen doors. The façade is punctured by six-over-six wood frame sashes with concrete sills and jack arches. The eastern elevation's primary architectural ornamentation is a centrally placed second-story circular fanlight. It is also punctured by six-over-six wooden sashes with sills and brick jack arches. The first-floor northernmost bay is punctured by a bank of two windows. The western elevation is identical. The southern elevation is interrupted by a two-story porch surmounted by a copper flat roof that spans almost its entirety. The four central bays are enclosed with wood cladding. It is punctured by four-over-four wooden sash windows and six-light paneled wood doors partially obscured by replacement metal storm doors. The sides of the enclosed porch have six-light paneled doors. The northernmost and westernmost bays are supported by square wooden posts that are connected by a geometrical balustrade and shelter a twenty-four-light double-leaf doors on the first second story and a four-over-four window on the second story.

Discussion of Integrity: Resource HS-13 possesses integrity of location because it has not been moved. Although the campus has been subdivided, the original boundaries of the campus are still legible. The museum has erected two outbuildings and one structure near the building; however, the new construction is small in scale and sensitive in design, and, therefore, minimally impacts the integrity of setting. The building retains Colonial Revival architectural details typical of the Office of the Supervising Architect during this period, such as its hipped roof, eyebrow vents, and fanlights. The building retains a remarkable amount of original material, including its original slate roof and wood sash windows. Thus, the building retains the integrity of setting, design, workmanship, association, and feeling. As a good and intact building associated with the Marine Hospital campus, it is considered a contributing resource to the historic district.

Figure 86: U.S. Marine Hospital Junior Officers' Quarters south façade, looking northeast.



Figure 87: U.S. Marine Hospital Junior Officers' Quarters west elevation, looking east.



Figure 88: U.S. Marine Hospital Junior Officers' Quarters east elevation, looking northwest.

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Figure 89: U.S. Marine Hospital Junior Officers' Quarters north elevation, looking south.



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16.1.7. Assessment of Effects

Pursuant to 36 CFR 800.5, the Criteria of Effects have been applied for the proposed project to the NRHP-eligible U.S. Marine Hospital Campus Historic District. The proposed project is localized around the Memphis and Arkansas Bridge and I-55. All proposed ROW and easement acquisitions would occur to directly adjacent parcels along the project boundary. ROW and easement acquisition would not be taken from the NRHP-eligible property. The Marine Hospital campus is approximately 750 feet from the east end of the project area and approximately 500 feet from the east foot of the Memphis and Arkansas Bridge at its nearest point along the northern boundary. The close proximity of the bridge and the low height of the surrounding buildings mean that it is highly visible from the campus, particularly the western boundary on the high bluff of the Mississippi River. A finding of **No Adverse Effect** is anticipated.

Example of Adverse Effect	Assessment
Physical destruction of or damage to all or part of the property	The proposed project would not take any new ROW from the Marine Hospital campus. All work would be restricted to the existing ROW along the northern boundary. Therefore, there would not be any direct physical impact to any part of the district.
Alterations of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines	The proposed project includes the removal and replacement of the Memphis and Arkansas Bridge and associated roadwork. The potential grading, resurfacing, improved signage and markings, restriping, and safety and railing installation would not cause alterations to any contributing resources in the eligible district. The project is not anticipated to alter the historic property in a way that is inconsistent with the <i>Secretary of the Interior's Standards for the Treatment of Historic Properties</i> .
Removal of the property from its historic location	The proposed bridge replacement project would not result in the removal of any contributing or non-contributing resources from the eligible district. This example does not apply.
Change of the character of the property's use or	The proposed project would not change the use of the property, which was historically a medical center and is

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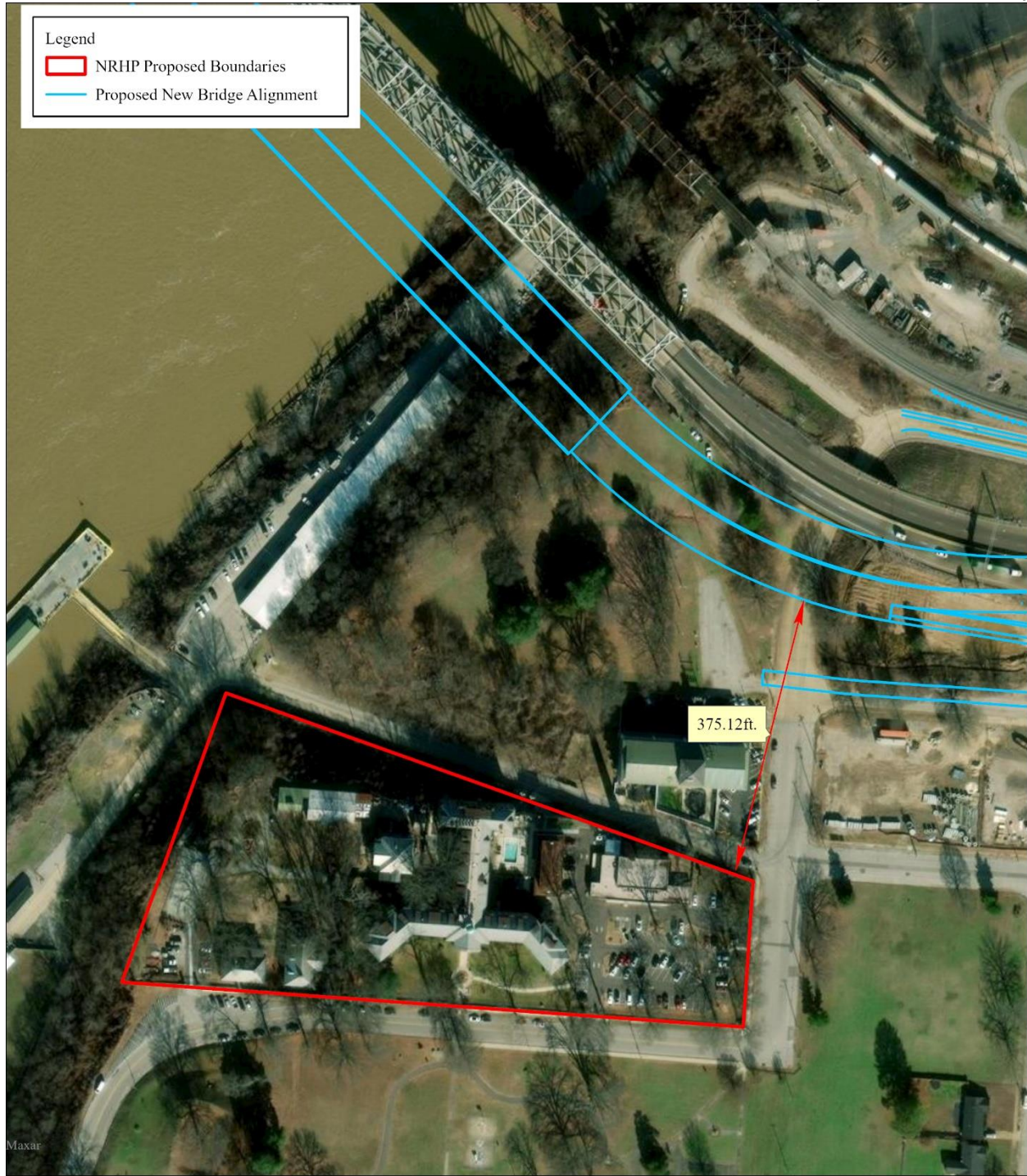
Example of Adverse Effect	Assessment
physical features within the property's setting that contribute to its historic significance	currently a multi-family residence and museum. The property is eligible for listing under Criterion A and C for significance in medicine and architecture. ROW or easement acquisition is not anticipated from the NRHP-eligible resource. Since the architecture and design of the campus and its buildings would not be disrupted, integrity of setting and feeling are not negatively impacted.
Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features	The proposed project would require road alterations along I-55 as a result of the bridge replacement. Current improvements being made to I-55 as part of the Crump Interchange project already detoured traffic to accommodate the roadwork. Additional improvements may include grading, resurfacing, improved signage and markings, restriping, and safety and railing installation. The proposed work would involve lane closures and the use of large machinery. The atmospheric and audible elements introduced during the proposed construction would be limited to the minimum necessary and are not permanent. The road closures and machinery would introduce temporary visual and audible elements that would not permanently diminish the property's significance. The bridge replacement would have a visual impact to the district as it is very close to the bridge. However, the Memphis and Arkansas Bridge was constructed later and was not a part of the historic viewshed of the U.S. Marine Hospital. This, along with other localized developments, have already altered the viewshed and the removal and replacement of the Memphis and Arkansas Bridge would not further impact the historical integrity of the district's setting.
Neglect of a property which causes its deterioration, except where such neglect or deterioration are recognized qualities or a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization	The proposed bridge replacement would not cause neglect of the campus. This example does not apply.



Example of Adverse Effect	Assessment
Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforcement restrictions or conditions to ensure long-term preservation of the property's historic significance	No properties within the district boundary would come under federal ownership as a result of this project; therefore, this example does not apply.

16.1.8. Applicability of Section 4(f)

The proposed project would not incorporate any land from the NRHP-listed boundary into a transportation facility, nor would it adversely affect the resource. The proposed project would not substantially impair any activities, features, or attributes that qualify the historic resource as eligible for the NRHP. Under the Section 106 process, the proposed project would have no adverse effect to the historic resource. For these reasons, it is anticipated that the proposed project would not have a Section 4(f) use of the Memphis Marine Hospital Campus Historic District.



**Map 15: Proposed Memphis Marine Hospital Campus District and Proposed New Bridge Alignment
America's River Crossing Bridge Replacement (I-55)**

Pin: 132733.01
Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 50 100 150 200 Feet

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17. NEWLY SURVEYED RESOURCE HS-14: KWAM RADIO TOWER

Dacus Lake Road and Bridgeport Road, West Memphis, Arkansas

Summary: The KWAM Radio Tower is recommended eligible for listing in the NRHP as a structure under Criterion A for the period between 1946 and 1959. This is at the local and state level in the areas of Communication, Entertainment, and Performing Arts.

Description: Located outside West Memphis city limits, resource HS-14 is centrally located on a rectangular parcel of land on the south side of Dacus Lake Road near I-55 and Bridgeport Road. The property is a low-lying area in the floodplain of the Mississippi River. The largest of four, uniform cross-section, guyed transmission towers on the site, HS-14 is the oldest, constructed in 1946, and the only one associated with the period of significance.²¹⁶ The older of the two tuning huts was constructed in 1964 after a fire destroyed the original, and is considered not contributing to the resource. Located in the southwest corner of the property, it is a concrete block structure, elevated approximately 20 feet above ground level by four main steel piers and several smaller steel pipe columns. The structure is square in plan oriented square with the property line and has a flat, membrane roof. A steel staircase descends from the south side. The north elevation is partially obscured by a newer elevated structure constructed between 2010 and 2012 on the north side.²¹⁷ A large down turned vent is centered on the elevation, and a four-over-two window with iron bars over the lower sash is adjacent to the right. The west elevation also has a four-over-two window with iron bars left-of-center, with a smaller indiscernible window on the right side. The other elevations were not visible from the ROW. The smallest of the four towers, constructed between 1973 and 1984,²¹⁸ is adjacent to the newer structure off of its northeast corner. The second oldest tower was built in 1963²¹⁹ and is located near the northeast corner of the property. The last and third oldest tower is centered along the rear, southern property line and was likely constructed in 1988.²²⁰ A chain link fence extends along the front of the property, limiting access. Dense vegetation blocks views of the site from Dacus Lake Road.

²¹⁶ FCC, "KWEM," History Cards, Federal Communications Commission. 1981. Accessed online via https://licensing.fcc.gov/cgi-bin/prod/cdbs/forms/prod/getimportletter_exh.cgi?import_letter_id=45336&.pdf

²¹⁷ Historic Aerials, 2010 and 2012

²¹⁸ Historic Aerials, 1973 and 1984

²¹⁹ FCC History Card

²²⁰ This tower shows up on aerials between 1986 and 1997. FCC construction permits were granted in 1986 and 1988; FCC "KWAM," AM Station Profile

Eligibility: HS-14, the main KWAM Radio Tower, is recommended eligible for listing in the NRHP as a structure under Criterion A in the areas of Communication, Entertainment, and Performing Arts for the period between 1946 and 1959. This is significant at the local and state levels. The additional towers and tuning huts are considered not contributing as they are not affiliated with the original KWEM and were constructed outside the period of significance as later additions to the site.

KWAM is a radio station that began as KWEM. The first KWEM broadcast went on-air February 23, 1947.²²¹ The original station is at 231 E Broadway Blvd. in West Memphis, Arkansas. This is currently a branch of Regions Bank but was historically the Merchants and Planters Bank Building.²²² HS-14 is the transmission tower and tuning hut originally constructed for KWEM, sighted "south of the viaduct between the Harahan Bridge and the U.S. Engineers Office."²²³ The Army Corps of Engineers' buildings are no longer present on that stretch of the Mississippi River, but the original tower and tuning hut remain. While the station itself has always been located elsewhere, KWEM was highly influential for the music industry, especially that of Memphis. The station was one of a few playing live music in the 1950s and would play music from just about anyone with a sponsor, or \$15-20 could broadcast their music and have their voice heard.²²⁴ This included the first exposure and radio broadcast for many artists coming out of Memphis, such as Elvis Presley, Johnny Cash, B.B. King, Howlin' Wolf, Ike Turner, and Elmore James.²²⁵ Several artists were regulars, with Howlin' Wolf headlining his own daily show from 1949-1952. This exposure ultimately led to him working with Sam Phillips and signing with the recording studio, Sun Studio, in Memphis.²²⁶

KWEM was sold in 1951 and was moved first to another location at 1316 Broadway in 1954, then to the Tennessee side at 64 Buntyn Street (Flicker Street) in Memphis.²²⁷ Live music stopped being broadcast in 1955. KWEM officially changed to KWAM in 1959, indicating a further change in direction.²²⁸ It is the U.S. standard for broadcasting designations that "K" is reserved for west of the Mississippi River, and "W" for east of the Mississippi. KWAM was

²²¹ Ray Poindexter, *Arkansas Airwaves*, (1974) pg. 317, chrome-extension://efaidnbmnnnibpcajpcglclefindmkaj/https://www.worldradiohistory.com/Archive-Station-Albums/Arkansas-Airwaves-Poindexter-1974.pdf; Adam Miller, "KWEM," *Encyclopedia of Arkansas*, (2023)

²²² Miller; Poindexter, pg.317

²²³ Poindexter, pg.317

²²⁴ Alan Blinder, "Emerging shadows cast across a river," *The New York Times*, (2014)

²²⁵ Blinder; Miller; Mike Suriani, "KWEM radio in West Memphis back on the air after 54-year silence." Channel 3 News, WREG Memphis, (2014). <https://wreg.com/news/kwem-radio-in-west-memphis-back-on-the-air-after-54-year-silence/>

²²⁶ Miller

²²⁷ Poindexter, pg.337; "KWEM Moves," *The Memphis Press-Scimitar*, (1954) pg.8; FCC History Card

²²⁸ FCC History Card; Henry Mitchell, "That 'new sound' is wham, but country tunes remain," *The Commercial Appeal*, (1959)

allowed to keep the “K” designation in their callsign since their transmitter was still, “in the flood area on the Arkansas side.”²²⁹ In 1963 the station changed to a religious format, broadcasting sermons and Sunday school lessons.²³⁰ New transmission equipment was installed allowing them to broadcast at 10,000 watts, reaching a larger area, but a fire destroyed it soon after.²³¹ The station changed hands several more times in the following decades, still broadcasting as talk-radio on AM 990.²³²

For a property to be considered eligible under Criterion A, it must be associated with an event or pattern of events. HS-14 served as the primary tower and transmitter for KWEM during the period of significance and is still in use by the later iterations of the station. It was built in 1946 in anticipation of the station going live.²³³ KWEM is significant for its contribution to the modern music industry. The airwaves carrying the voices of Johnny Cash and Ike Turner for the first time were broadcast through this site, exposing them to the greater Memphis area and jumpstarting their careers.²³⁴ Howlin’ Wolf was a regular on KWEM, with his own daily broadcast. He was discovered along with Elvis Presley through their appearances on KWEM and lead to them working with Sam Phillips and Sun Studio Records.²³⁵ KWEM is often overshadowed by the history of Beale Street and Sun Studio in Memphis, but it is KWEM where many greats of the time got their start.

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²²⁹ Poindexter, pg.337

²³⁰ Poindexter, pg.337

²³¹ FCC History Card; “Friends,” *The Tennessean*, (1964) <https://www.newspapers.com/article/the-tennessean-friends/88054278/>

²³² “Former Fox News radio host Todd Starnes Purchase Memphis AM,” InsideRadio, (2021) https://www.insideradio.com/free/former-fox-news-radio-host-todd-starnes-purchases-memphis-am/article_f88a8f9e-332a-11ea-bf17-ff38e6f50358.html

²³³ FCC History Card

²³⁴ Suriani, “KWEM Radio in West Memphis back on the air after 54-year silence,” Channel 3 News, <https://wreg.com/news/kwem-radio-in-west-memphis-back-on-the-air-after-54-year-silence/>

²³⁵ Miller

Figure 90: Howlin' Wolf's car advertising radio station KWEM in West Memphis (Crittenden County); circa 1950



Accessed via Encyclopedia of Arkansas.

Figure 91: Howlin' Wolf at radio station KWEM in West Memphis (Crittenden County); circa 1950.



Accessed via Encyclopedia of Arkansas.

For a property to be considered eligible under Criterion B, it must be associated with a person or people of exceptional historic significance. Although the KWEM radio tower is associated with the likes of Elvis, Johnny Cash, and Howlin' Wolf, the significance lies in the station's contribution to the start of their careers. Each artist is individually significant in the context of music history, and for many of the previously mentioned artists, KWEM was the beginning of their productive lives as musicians. While these artists are associated with the tower, it is not the primary association for them. The tower's primary significant association is to KWEM, and the events supporting the individual artists. Therefore, it is not considered eligible under Criterion B.

For a property to be considered eligible under Criterion C, it must be exemplary in the construction methods, materials, or style of the period, be the work of a master, or be of high artistic value. The tower and tuning hut in West Memphis is a typical example of a radio transmission tower but is not significant in any aspect as the method, materials, and type of construction remain largely unchanged since the 1930s.²³⁶ It is a common radio tower and is not the work of a master, nor does it possess any artistic value. Previous transmission equipment was destroyed in a fire in 1964, but the property is unlikely to yield any further historic or pre-historic information. Therefore, it is not recommended eligible under Criterion D.

Evaluation of Integrity: HS-14 maintains integrity of location and setting as it has not been moved and remains in a rural context. Design, materials, and workmanship are not impacted by the addition of later towers as they are also historic and do not impede on the primary historic resources. While the station known as KWEM has changed over the years and developed into the current KWAM, the towers maintain integrity of association as they are still currently in use for radio transmission. Cumulative integrity results in a remaining integrity of feeling as the site and structures retain their context and character defining features.

Proposed Boundary: The proposed boundary for HS-14 would be the existing property lines laid out by Crittenden County, being in the area of land bound by Dacus Lake Road, Bridgeport Road, and the eastern access road.²³⁷ Including the three existing parcels owned by Starnes Media Group, this boundary is used as it covers all associated structures, including the other historic towers and the non-historic tower and tuning hut since KWAM is actively broadcasting and still using all of the equipment.

²³⁶ Edmund Laport, *Radio Antenna Engineering*, (1952) pg.79, Accessed online via World Radio History <https://www.worldradiohistory.com/BOOKSHELF-ARH/Technology/Technology-Radio/Radio-Antenna-Engineering-Laport-1952.pdf>

²³⁷ Crittenden County Parcel Map. Accessed via ArCountyData.com <https://www.arcountydata.com/maps/map?county=CRITAX&ne=-90.065539,35.4416472&sw=-90.5065256,34.8330222>



Map 16: Proposed KWAM Tower NRHP Boundary
America's River Crossing Bridge Replacement (I-55)
Pin: 132733.01
Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 100 200 300 400 Feet

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Figure 92: Looking south down Bridgeport Rd from corner of Dacus Lake Road.



Figure 93: Main KWAM tower, looking southeast from Dacus Lake Road and Bridgeport Road.



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Figure 94: Full property including all four towers and both tuning huts. Looking southeast from Dacus Lake Road.



Figure 95: Both tuning huts and the rear two towers, looking southeast.



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17.1.1. Assessment of Effects

Pursuant to 36 CFR 800.5, the Criteria of Effects have been applied for the proposed project to the NRHP-eligible KWAM Radio Tower. The proposed project involves the removal of the Memphis and Arkansas bridge and the construction of a new bridge on the southwest side to carry I-55 across the Mississippi River. All proposed ROW and easement acquisitions would occur to directly adjacent parcels to the project boundary. ROW and easement acquisition would not be taken from the NRHP-eligible property; however, the replacement of the Memphis and Arkansas Bridge would cause visual impact to the resource. The KWAM radio tower is approximately 1,300 feet from the western boundary of the project area and approximately 1,900 feet from the west foot of the Memphis and Arkansas Bridge; it is highly visible from the towers but is minimally visible from the site at ground level. Vegetation creates a buffer along the north side of the site, further limiting views of the bridge. A finding of **No Adverse Effect** is anticipated.

Example of Adverse Effect	Assessment
Physical destruction of or damage to all or part of the property	The proposed project would not be take any new ROW from the KWAM tower property. All work would be restricted to the existing ROW along the northern boundary of the adjacent parcels. Therefore, the project would not cause physical destruction or damage to the radio tower.
Alterations of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines	The proposed project includes necessary maintenance, safety measures, and road widening necessary to improve road conditions adjacent to the bridge. The potential grading, resurfacing, improved signage and markings, restriping, and safety and railing installation would not cause alterations to any contributing resources on the property. The project is not anticipated to alter the historic property in a way that is inconsistent with the <i>Secretary of the Interior's Standards for the Treatment of Historic Properties</i> .
Removal of the property from its historic location	The proposed bridge replacement project would not result in the removal of any contributing or non-contributing resources from the property. This example does not apply.

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Example of Adverse Effect	Assessment
Change of the character of the property's use or physical features within the property's setting that contribute to its historic significance	The proposed project would not change the use of the property, which is historically and currently radio broadcast transmission. The property is eligible for listing under Criterion A for significance in communication, entertainment, and performing arts. ROW or easement acquisition is not anticipated from the NRHP-eligible resource. The structures and site would remain semi-rural, and integrity of setting would not be impacted by the adjacent improvements. Thus, the proposed bridge replacement is not anticipated to impact the property's character of use or physical setting.
Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features	The proposed project would require road alterations along I-55 as a result of the bridge replacement. During construction, traffic would be detoured to accommodate the roadwork. Additional improvements may include grading, resurfacing, improved signage and markings, restriping, and safety and railing installation. The proposed work would involve lane closures and the use of large machinery. The atmospheric and audible elements introduced during the proposed construction would be limited to the minimum necessary and are not permanent. The road closures and machinery would introduce temporary visual and audible elements that would not permanently diminish the property's significance. The replacement of the bridge would have a minimal visual impact due to the buffer of vegetation around the site. The site also has a distance buffer of 1,300 feet from the western boundary of the project area and approximately 1,900 feet from the west foot of the Memphis and Arkansas Bridge. This is not considered an adverse effect.
Neglect of a property which causes its deterioration, except where such neglect or deterioration are recognized qualities or a property of religious and cultural significance to an	The proposed bridge replacement would not cause neglect of the property. The proposed project would decrease congestion, increase road safety, and maintain and stabilize the road within the project boundary. This example does not apply.

Example of Adverse Effect	Assessment
Indian tribe or Native Hawaiian organization	
Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforcement restrictions or conditions to ensure long-term preservation of the property's historic significance	The property would not come under federal ownership as a result of this project; therefore, this example does not apply.

17.1.2. Applicability of Section 4(f)

The proposed project would not incorporate any land from the NRHP-listed boundary into a transportation facility, nor would it adversely affect the resource. The proposed project would not substantially impair any activities, features, or attributes that qualify the historic resource as eligible for the NRHP. Under the Section 106 process, the proposed project would have no adverse effect to the historic resource. For these reasons, it is anticipated that the proposed project would not have a Section 4(f) use of the KWAM Radio Tower.

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Map 17: Proposed KWAM Tower NRHP Boundary and Proposed New Bridge Alignment

America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and

West Memphis, Crittenden County, Arkansas

USGS 7.5 Northwest Memphis Quadrangle and

USGS 7.5 Southwest Memphis Quadrangle



0 150 300 450 600 Feet

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18. NEWLY SURVEYED RESOURCE: FRENCH FORT HISTORIC DISTRICT(HS-15 THROUGH HS-159)

Fort Pickering, Memphis, Tennessee

Summary: The French Fort neighborhood is recommended eligible for listing in the NRHP as a district under Criteria A and C in the areas of Community Planning and Development, Ethnic Heritage, Social History, and Architecture at the local and state levels for the period between 1963 and 1973.

Description: The neighborhood of French Fort is located in South Memphis, Tennessee, and is bound by W Illinois Ave. to the north, Chickasaw Heritage Park and Riverside Blvd. to the west, BNSF Railroad train tracks to the south, and Interstate 55 to the east. There are 145 single-family houses within the proposed boundary. The neighborhood was developed in four phases, the first being the Riverview Area in 1962 with Esplanade Place forming the primary loop of the subdivision. The first addition to French Fort of 1966 includes two cul-de-sacs on the west side of Esplanade Place, Chartres Place and Rampart Place. The second addition, added in 1967, consists of a smaller secondary loop formed by Bourbon Place and Deumaine Place off the south side of Esplanade Place. The final, third addition, platted in 1969, includes W Illinois Ave. and Napoleon Place. Riverside Blvd. and Wisconsin Ave. provide access to the neighborhood from the west and east. Current roadway improvements limit access from the north. Streets are curvilinear with few straightaways, bound by concrete curbs with a grass verge and concrete sidewalks on each side. Streetlights are regularly spaced on one side of each street. Non-historic metal signs with adhesive vinyl elements are located on north and west side of Riverside Blvd. at the corners of Esplanade Pl and W Illinois Ave. An original brick entrance feature is on the southeast corner of W Illinois Ave and Riverside Blvd. Houses are all set back from the front property line with an apron and Driveway for off-street parking. Yards and landscaping are carefully manicured with sparse plantings and trees fronting the street, including various species of pines, oaks, and more ornamental plantings such as crape myrtle. Mailboxes located in front of each property frequently reflect details characteristic of the corresponding house. Fencing is typically located on the side and rear of each property, constructed of either chain-link, wrought iron, or wood materials. Primary house types constructed in the neighborhood include the Ranch and Split-Foyer styles. Most of the houses in the district feature wrought iron elements with cast iron details such as storm doors, window grates, columns, and handrails. Side setbacks vary throughout. Individual descriptions of each resource follow this evaluation along with maps and photographs of the neighborhood.

Historic Context: The name of the French Fort neighborhood is the only remaining vestige of the early French settlement in present-day Memphis. The location of this first

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settlement, Fort Assumption, is speculated to be the fourth Chickasaw bluff along the east side of the Mississippi River.²³⁸ It was completed in 1739 on the Catholic holiday, the Feast Day of the Assumption. While the fort and immediate vicinity was only occupied for several months, the French laid claim to the area for the next eighty years.²³⁹ The proper city of Memphis to the north was established under John Rice and John Ramsey from land grants of the North Carolina colony in 1822, before Tennessee was established as a state.²⁴⁰ Laid out in a grid along the bluff, Memphis was established on the tract originally owned by Rice, as shown in a newspaper article by Perre Magness.²⁴¹

French Fort sits on what was once Ramsay's tract. By 1837, the Ramsay grant was partitioned, and the towns of South Memphis and Fort Pickering were established in 1840.²⁴² John C. McLemore (for whom McLemore Ave. is named) established Fort Pickering from his portion of the Ramsay tract. The town was named for a small station and trading post that was established on the site in 1798 and named after Secretary of War Timothy Pickering. McLemore conveyed a portion to the La Grange and Memphis Railroad Company, establishing a long association between Fort Pickering and the railroad industry.²⁴³ South Memphis and Fort Pickering were seen as rivals to Memphis economically through real estate and the development of the railroad.²⁴⁴ Memphis grew exponentially through the 1840s, establishing itself as the main urban center of the area. South Memphis and Fort Pickering were both annexed into the city in 1849.²⁴⁵ Memphis continued growing through the 1850s until the American Civil War. The fortification of Fort Pickering, while not seeing action, was enlarged by 1864²⁴⁶ and demolished by 1866.²⁴⁷

The 1896 Harahan Bridge carried trains across the Mississippi River, allowing further western expansion of commerce. The area of Fort Pickering, directly adjacent to the river crossing, had become a largely African American residential neighborhood. By the late 1930s, the neighborhood was thoroughly developed, characterized by dense, rectilinear

²³⁸ Broutin, de Verges, and Saucier, *Carte particulière d'une partie de la Louisianne ou les fleuve et rivières...* (1743)

²³⁹ Perre Magness, "Fort Assumption," *Tennessee Encyclopedia*. (2018)

²⁴⁰ John Harkins, "Memphis," *Tennessee Encyclopedia*. (2018); J.M. Keating, *History of the City of Memphis and Shelby County, vol. 1*. (Syracuse: D. Mason & Co, 1888.), pg. 222

²⁴¹ Frederick Goedecke, "Plan of Memphis." (1861-1865); Perre Magness. "Land Grants Gave Rise to Memphis," *The Commercial Appeal*. (1996) <https://www.newspapers.com/article/the-commercial-appeal-land-grants-gave-r/135197931/>.

²⁴² Perre Magness, "Land Grants Gave Rise to Memphis," *The Commercial Appeal*, (1996), pg.24

²⁴³ J.M. Keating, *History of the City of Memphis and Shelby County, vol. 1*. (Syracuse: D. Mason & Co, 1888.), 212

²⁴⁴ Keating, pgs. 224-225

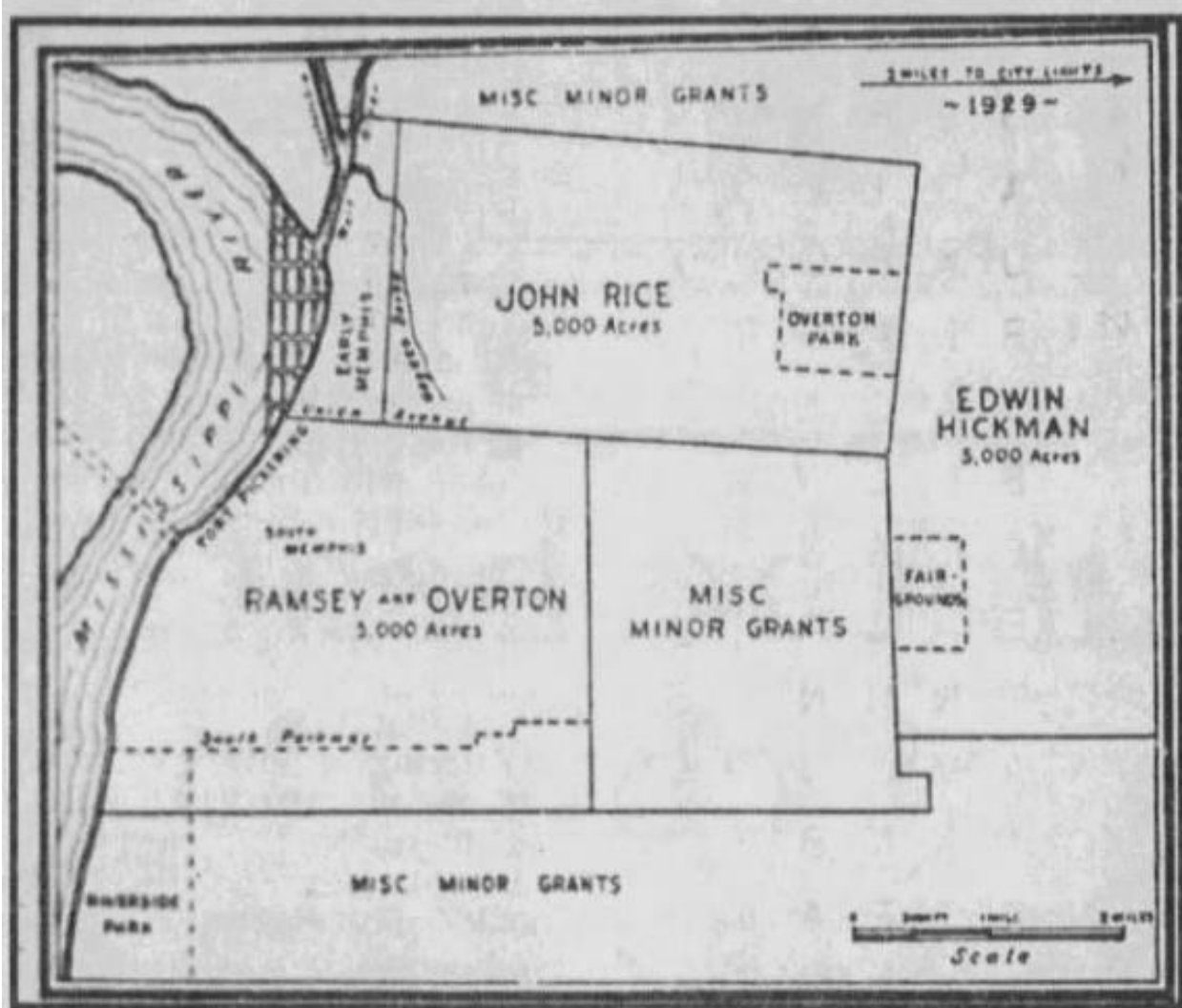
²⁴⁵ Keating, pg. 277

²⁴⁶ Harkins; Charles Spangenberg, "Sketch of fortifications at Memphis, Tennessee." (1864)

²⁴⁷ Weaver & Associates LLC, "Fort Pickering."

blocks of shotgun houses, bound by the river to the west and the railroads on the other three sides.²⁴⁸

Figure 96: A map from *The Biography of a River Town* by Perre Magness shows early land grants of what would become Memphis



Accessed online via Newspapers.com.

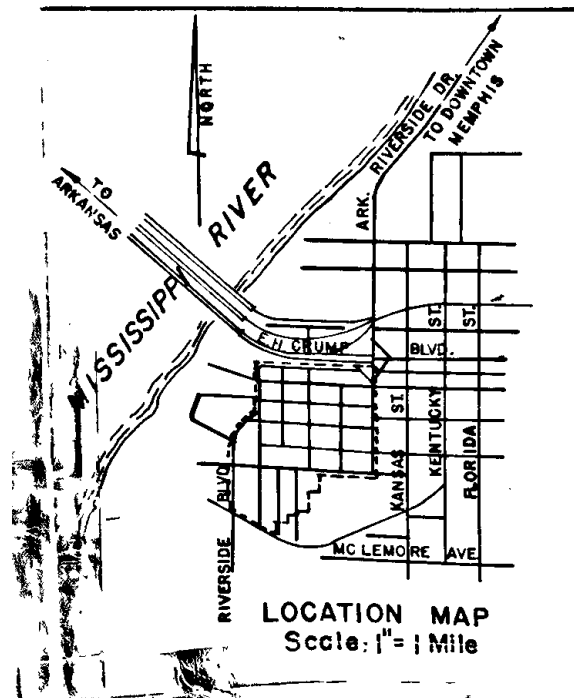
The area of Fort Pickering remained a small, tight-knit community as Memphis continued to develop. The rise of the train industry secluded the neighborhood from its surrounding context, likely supported by segregation and racial biases during the Jim Crow-era. The nearby Desoto Park (now Chickasaw Heritage Park) was expanded in the 1940s²⁴⁹ beginning

²⁴⁸ Historic Shelby County aerial imagery, (1938)

²⁴⁹ Historic Shelby County aerial imagery, (1949)

a period of redevelopment for Fort Pickering. The newly completed Memphis and Arkansas Bridge and development of E.H. Crump Blvd. indicated the rise of the automobile in the coming decades. By the 1960s Fort Pickering was considered a “slum and blighted area” by the city of Memphis and became a focus of urban renewal.²⁵⁰ The Memphis Housing Authority worked with developers and builders to raze the city blocks between Pennsylvania Ave. and Riverside Blvd. to the east and west, W Iowa Ave. (E.H. Crump Blvd.) to the north, and the train tracks to the south.²⁵¹ This land was cleared between 1960 and 1962,²⁵² displacing an unknown number of family and residents. French Fort was born out of this redevelopment, known officially as the “Riverview Urban Renewal Project Tennessee R-15.” Local and federal funding were used for the project, necessitating the inclusion of a covenant that prohibited deed restrictions “upon the basis of race, religion, color or national origin.”²⁵³ This allowed many owners who previously lived in the demolished shotgun houses to remain in the area and own property.

Figure 97: Location Map of French Fort, from Plat Book 27, pg. 67



Accessed via Shelby County Property Assessor

²⁵⁰ Shelby County Register of Deeds, “Restricted covenants for the portion of the Riverview Urban Renewal Project...”, (1964) pg. 382

²⁵¹ “Corrected Subdivision of south part of Riverview area: project no. Tenn. R-15,” (1964)

²⁵² Historic Shelby County aerial imagery, (1962)

²⁵³ Shelby County Register of Deeds, pg. 385

Eligibility: French Fort is recommended eligible for listing in the NRHP as a district under Criteria A and C in the areas of Community Planning and Development, Ethnic Heritage, Social History, and Architecture at the local level.

For a property to be considered eligible for listing under Criterion A, it must be associated with either a significant event or pattern of events/trend in American history. The site of French Fort is intertwined with various events through the history of Memphis, but its significance lies in the existing neighborhood. Per the National Park Service guidelines for the evaluation and documentation of historic residential suburbs, there are five key points for how a suburb meets Criterion A: reflecting historic trends to the growth of local metro areas, association to key trends such as “industries during World War II, or the racial integration of suburban neighborhoods”, introducing new community planning principles, associations with the heritage of a certain demographic, or association with a group of individuals important to the local context.²⁵⁴

French Fort is unique to Memphis in its development. Much of the greater metro area of Memphis is a continuation of the original rectilinear grid, such as the areas of Riverside, Central Gardens, and Orange Mound, another historically African American neighborhood. Early suburban development is often an extension of the original city plan by extending the main arteries and roadways with little thought to planning.

The National Housing Act of 1934 created the Federal Housing Administration to help rebuild the real estate market after the Great Depression, including the publishing of several guidelines for development.²⁵⁵ These design principles became indicative of late twentieth-century trends, continuing into contemporary suburban development. French Fort was laid out with many of these characteristics. Curvilinear streets reflect Victorian-era sentiments of the picturesque and City Beautiful movement, designed to be aesthetically pleasing and break up the monotony of the typical urban rectilinear grid of most major urban centers. Breaking these patterns “improves the vista, diverts through traffic, and increases the privacy of the residential area.”²⁵⁶

Many mid-twentieth century developments included parcels of land set aside for community space such as parks and community pools. At the corner of Riverside Blvd. and West Illinois Ave., 470 acres were set aside for a community shopping district that was never realized.²⁵⁷ This property and the land behind the houses on the west side of Riverside Blvd. are now dedicated public space. This guaranteed immediate access to the adjacent Chickasaw Heritage Park, providing a park without needing to directly integrate it

²⁵⁴ David Ames and Linda Flint McClelland. *National Register Bulletin: Historic Residential Suburbs*. National Park Service, (2002), pg. 93

²⁵⁵ Ibid, pg. 48

²⁵⁶ Federal Housing Administration. Technical Bulletin No. 5: Planning Neighborhoods for Small Houses, (1938)

²⁵⁷ Shelby County Register of Deeds, pg.391

into the neighborhood layout. French Fort was historically, and is currently, an isolated pocket on the outskirts of the Memphis metropolitan area along with Chickasaw Heritage Park and the Marine Hospital complex. Memphis continued to grow into the twenty-first century, and French Fort was subsequently protected from further encroaching development thanks to the main transportation arteries that originally segregated it.

Deed restrictions were common for post-war developments as developers sought to maintain a form of control. These restrictive covenants were intended to help maintain the original design intentions of the development, including building density, form-based design guidelines, street setbacks, yards, lot improvement percentages, driveways, property use, and restrictions on further subdivision. In the era of segregation in the United States, these deed restrictions often included racial biases pertaining to who was allowed to purchase, own, or inhabit many developments.

Up the river from Memphis in St. Louis, the 1948 U.S. Supreme Court case of *Shelley V. Kramer* was a turning point for housing projects both public and private. The Court ruled that the state and federal governments could not enforce racially discriminating covenants in the court system under the Equal Protection Clause of the Fourteenth Amendment.²⁵⁸ Even without explicit deed restrictions, racial prejudice was still in force through the Civil Rights movement. French Fort is believed to be one of the first housing developments in Memphis to explicitly state: "No covenant, agreement, lease, conveyance or other instruments shall be effected or executed... whereby the land described herein is restricted upon the basis of race, religion, color or national origin, in the sale, lease or occupancy thereof, and said parties shall comply with all state and local laws... prohibiting discrimination or segregation by reason of race, religion, color, or national origin... and it is specifically declared that this covenant shall run with the land forever."²⁵⁹

Incorporating this article into the founding of the neighborhood took the *Shelley V. Kramer* decision and pushed it further. French Fort was not a neighborhood built complacent to the segregation of the 1950s and 1960s but was actively applying the principles being advocated by Martin Luther King Jr. a few blocks to the east at the Mason Temple in 1968. French Fort is significant in its contribution to the trend of suburbanization, but even more so, it is significant for the opportunities it provided for many working-class African Americans. While not restricted as an exclusively African American neighborhood, it quickly became one. The community was a sense of pride for many residents and grew through public gatherings and involvement. An inaugural Yard of the Month award winner still lives in the same house today.²⁶⁰

²⁵⁸ "Shelley v. Kraemer, 334 U.S. 1,"

²⁵⁹ Shelby County Register of Deeds, pg.385

²⁶⁰ "Winners of the Yard-of-the-Month Contest," *The Commercial Appeal*, (1966), pg.68

Figure 98: "Winners of Yard of-the-Month," The Commercial Appeal, August 7, 1966



Accessed via Newspapers.com.

For a property to be considered eligible for listing under Criterion C, it must either embody distinctive characteristics of a type, period, or method of construction, represent the work of a master," "possess high artistic value, or represent a significant and distinguishable entity whose components may lack individual distinction. According to NPS guidelines, suburbs are significant under Criterion C if they are a group of residences exhibiting distinctive characteristics, reflect principles of design key to the history of community planning, or embody high artistic values through planning or design of elements.²⁶¹ French Fort is composed of 145 single-family houses, self-contained as an individual entity, or district. The district is considered significant in its high level of integrity. Each residence is a typical example of a mid-twentieth century suburban dwelling, predominately of the Ranch and Split-Foyer styles. Character defining features include attached carports and decorative iron details. Some individually possess high artistic value within these greater styles; however, the district as a whole is not significant in this aspect, nor is its planning or design associated with that of a master.

²⁶¹ Ames and McClelland, pg. 93

Three separate builders developed French Fort: Cooper Realty Co., Blaylock & Brown, and Ayres Construction Co. Each built two model houses on Esplanade Place as six main examples homeowners could order from.²⁶² Playing off the history of Fort Assumption, the developers of French Fort were heavily influenced by French New Orleans style, “noted in the brick houses tastefully decorated with wrought iron.”²⁶³ The influence is paired with the typical styles, methods, and materials of the 1960s and 1970s. Brick veneer of different forms and colors are the primary exterior cladding material, with secondary cladding of synthetic materials such as vinyl or aluminum siding and wooden sheet products simulating wooden siding or vertical tongue and groove boards. Wrought iron posts, columns, handrails, decorative storm doors, and window grates with cast iron embellishments are a character defining feature of the neighborhood and is oft associated with imagery of New Orleans architecture. Many houses have at least one of these elements present.

The neighborhood as a whole is exemplary of a 1960s suburban development. The curvilinear streets provide pleasing vistas both from the public ROW, and out from the private spaces of each property. Streetlights are regularly spaced along one side of each road, with sidewalks promoting pedestrian traffic within the neighborhood. The pedestrian walkway out of the neighborhood was located between Napoleon Pl. and Chartres Pl., now disrupted by the recent interstate improvements.²⁶⁴ The only other external pedestrian traffic is directed to the adjacent Chickasaw Heritage Park, further reinforcing the sense of community by providing a communal outdoor space. Street fixtures such as mailboxes typically reflect the style of the associated house, utilizing stylistic elements in their construction, such as the use of forms, decorative iron motifs, and cladding materials like brick. Contemporary plastic signs on wooden posts are located at the north and south entrances to the neighborhood on Riverside Blvd. at the corners of W Illinois Ave. and Esplanade Place. The northern entrance to the neighborhood, the original primary access now cut off by current interstate improvements, features a historic entrance marker made of brick, with the name “French Fort” in iron letters. In the words of the developer, this was intended to “give off the appearance of a stockade and the gateway will be like an old French fort,”²⁶⁵ a physical callback to the area’s origin.

²⁶² “Deumaine or Dominguez, it’s same to developer,” *The Commercial Appeal*, (1965), pg.46; *Advertisement for French Fort*. From *The Commercial Appeal*, (1965) pg.58.

²⁶³ Advertisement for French Fort

²⁶⁴ “Corrected Subdivision of south part of the Riverview area: Project No. Tenn. R-15,” (1964)

²⁶⁵ “French ‘Fort’ being built in Memphis” *The Memphis Press-Scimitar*, (1964), pg.8
<https://www.newspapers.com/image/800026048>

Figure 99: Entrance fixture for French Fort neighborhood, northeast corner of Riverside Blvd. and W Illinois Ave., looking south.



Evaluation of Integrity: French Fort maintains integrity of location and setting as it is still semi-isolated by the historic development of I-55 and the railroad. While it is surrounded by industrial areas and encroached upon by the interstate, these are historical conditions that are integral to the development of the neighborhood. Integrity of design, materials, and workmanship is exceptional. Most houses retain original cladding materials, fenestration, and key elements such as decorative ironwork. While there are many additions throughout, many variations in the typical form are original to many houses or historic in their own right. Non-historic additions are minimally impactful from the ROW and do not hinder the integrity of most properties. Streets, sidewalks, yards, and setbacks are all maintained as planned and laid out in the original covenants, with the exception of the pedestrian bridge demolished during the recent improvements to I-55. Integrity of feeling and association upheld with the consideration and curation of the residents. Many current residents are still either the first owner of their house, a second owner, or the heir of a first owner.²⁶⁶

²⁶⁶ Ascertained through on-site conversations with residents while surveying and looking at Shelby County property records.

Proposed Boundary and Justification: The proposed boundary for French Fort Historic District consists of the parcels of land bound by I-55 to the east, the railroads to the south, Chickasaw Heritage Park to the west, and the north side of W Illinois Ave. to the north. This includes all properties on the east and west side of Esplanade Place, Deumaine Place, Bourbon Place, and Riverside Blvd. (north and east of Wisconsin Ave.). The houses on the south side of W Illinois Ave. are included, as are all properties on either side of Napoleon Place, Chartres Place, and Rampart Place. Wisconsin Ave. bound by I-55 and Esplanade Place is also included. This boundary encompasses all areas that were originally platted as part of the French Fort neighborhood and includes all character-defining features of the historic district.

Contributing vs. Non-Contributing: According to the National Park Service guidelines for a historic district, a contributing property is defined as a property that: “adds to the historic associations, historic architectural qualities, or archeological values for which a property is significant because: it was present during the period of significance, relates to the documented significance of the property, and possesses historic integrity or is capable of yielding important information about the period; or it independently meets the National Register criteria.”²⁶⁷

Noncontributing buildings are defined as being not present during the period of significance, a loss in association due to alterations, disturbances, additions, or other changes negatively impacting integrity, or it is not independently eligible.²⁶⁸

Recommendations for contributing properties in French Fort are indicative of the period of significance and maintain a high level of integrity, by keeping character defining features such as decorative ironwork, an integrated carport or garage, and simple rectangular or L forms. Noncontributing recommendations were made based primarily on the basis of integrity and the loss of character defining features. Common alterations include rear additions, enclosed carports, replacement windows, and the replacement of cladding on a portion of the house. Individually, these changes do not detract from the overall integrity of the district, and houses with minor changes are recommended as contributing. Houses with alterations have been recommended as non-contributing depending on the severity and extensiveness of these alterations.

Of the non-contributing properties in French Fort, two are non-historic, built within the last 15 years. There are a total of 145 resources in the proposed French Fort Historic District, of which 125 resources are recommended as contributing and 20 are recommended as non-contributing. The following maps show all contributing and non-contributing resources.

²⁶⁷ NPS, How to Complete the National Register Form, pg. 16

²⁶⁸ NPS, How to Complete the National Register Form, pg. 16



Map 18: Proposed French Fort Historic District NRHP Boundary
America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 200 400 600 800 Feet

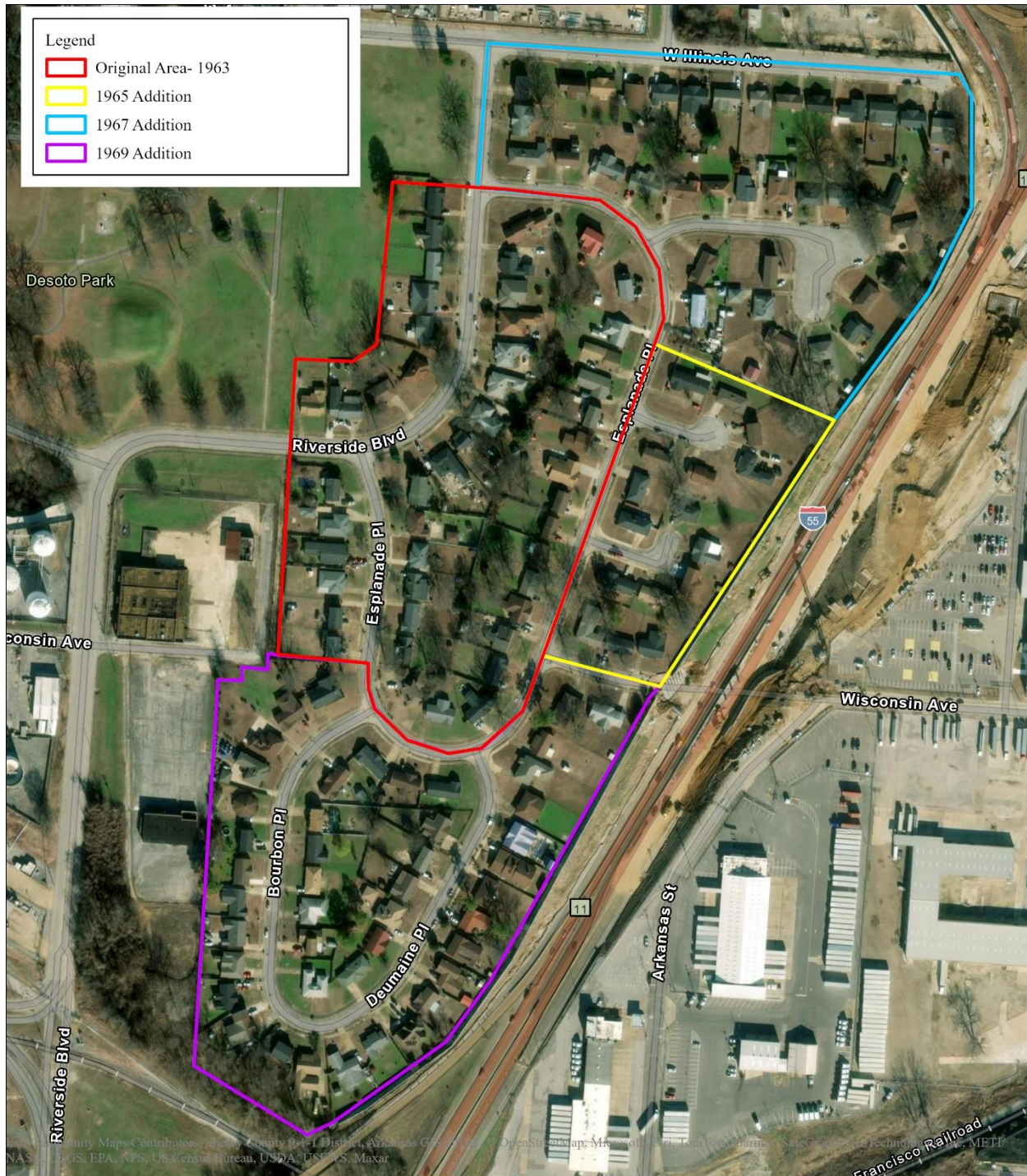
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Build
With
Us



TDOT
Department of
Transportation



Map 19: French Fort Neighborhood Phases of Development
America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 100 200 300 400 Feet

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Map 21: Proposed French Fort Historic District- 1965 Addition

America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 50 100 150 200 US Feet

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Map 22: Proposed French Fort Historic District- 1967 Addition

America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 50 100 150 200 US Feet

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Map 23: Proposed French Fort Historic District- 1969 Addition
America's River Crossing Bridge Replacement (I-55)

Pin: 132733.01

Memphis, Shelby County, Tennessee and
West Memphis, Crittenden County, Arkansas
USGS 7.5 Northwest Memphis Quadrangle and
USGS 7.5 Southwest Memphis Quadrangle



0 50 100 150 200 US Feet

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18.1.1. Newly Inventoried Property HS-15: 185 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 185 W Illinois Ave., Resource HS-15 is a single-family residential house constructed in the Ranch style. The house is located near the center of the west property line on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1973. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a brick veneer exterior on a concrete slab foundation. A rear-facing gable projects from the east half of the south elevation, with a shed roof covering the west half. This appears to be original to the form. The façade is composed of five bays: the east-most bay is the only one in plane, with bays two and three forming a recessed porch, and bays four and five forming a carport. The porch and carport are both contained under the main roof. The porch has an original triple six-over-six wood double-hung window with storm windows. Original decorative ironwork composed of three cast vine-pattern panels evenly spaced with two narrow bars covers the windows. The oval-light six-panel front door and storm door is at the east end of the porch, perpendicular to the windows on the side of the first bay. Under the carport, the recessed elevations are clad in aluminum siding with two replacement six-panel doors and storm doors.

The east elevation has aluminum siding in the gable with an octagonal aluminum vent just under the ridge. An original, double, two-over-two horizontal double-hung window with storm windows is centered on the elevation under the left end of the gable. Two original single two-over-two horizontal windows with storm windows are equally spaced to the left. The west elevation also has aluminum siding in the gable with an octagonal aluminum vent just under the ridge. A two-light awning window is just to the right of the right leg of the gable at interior ceiling height. A gabled outbuilding clad in fiber-cement board siding with an asphalt shingle roof is centered along the back, southern property line.

Evaluation of Integrity: Resource HS-15 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. HS-15 is considered contributing to the French Fort Historic District due to its high integrity.

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Figure 100: 185 W Illinois Ave. northeast oblique, looking southwest.



Figure 101: 185 W Illinois Ave. north facade, looking south.



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Figure 102: 185 W Illinois Ave. northwest oblique, looking southeast.



Figure 103: 185 W Illinois Ave., outbuilding behind house, looking south.



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18.1.2. Newly Inventoried Property HS-16: 193 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 193 W Illinois Ave., Resource HS-16 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1975. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a brick veneer exterior on a concrete slab foundation. A front-facing gable clad in simulated vertical tongue and groove wooden panels projects from the center of the façade, spanning over the middle three bays and is supported by four Tuscan columns. The original rhombus-light front door and original decorative iron storm door are centered on the façade in the central bay. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in each of the adjacent bays under the gable. The left-most bay is comprised of a carport, one bay in depth with a single Tuscan column supporting the roof in the corner. A fifteen-light wooden door with a screen door is centered on the southern wall. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered to the right of the carport in the same bay. A single original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in the last bay. The east elevation and interior of the carport is clad in simulated vertical tongue and groove wooden panels with a large aluminum louvered vent in the gable. A single six-over-six wooden double-hung window with iron bars is on the east wall. The west elevation has the same simulated vertical tongue and groove panels and aluminum louvered vent under the gable. A small gable roof structure located close to the southwest corner of the property is visible from aerial imagery but was not visible from the ROW.

Evaluation of Integrity: Resource HS-16 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary cladding materials have not been altered. HS-16 is considered contributing to the French Fort Historic District due to its high integrity.

Figure 104: 193 W Illinois Ave. northeast oblique, looking southwest.



Figure 105: 193 W Illinois Ave. north facade, looking south.



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Figure 106: 193 W Illinois Ave. northwest oblique, looking southeast.



Figure 107: Outbuilding behind 193 W Illinois Ave., looking southeast.



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18.1.3. Newly Inventoried Property HS-17: 199 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 199 W Illinois Ave., Resource HS-17 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1975. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof and a tan-brick veneer exterior on a concrete slab foundation. A rear-facing gabled projection extends from the rear southwest side, with a large screen porch addition filling into the southeast corner under a shed roof. The façade is composed of five bays, the largest being a carport that makes up the northeast corner under the main roof, supported with a decorative iron column and two decorative iron brackets in each corner on the façade. The next two bays each have an original single six-over-six wooden double-hung window with a storm window and original decorative iron grate, evenly spaced. The next bay has the shallow recessed entry with a two-panel front door with a side-light and original decorative ironwork over both the door and sidelight. The door is left of center with the remainder of the recess clad in simulated vertical tongue and groove wood panels. The last bay has another six-over-six wooden double-hung window with a storm window and original decorative iron grate.

The entire east elevation including under the carport is clad in simulated vertical tongue and groove wood panels. A new six-panel door was installed to the rear of the east elevation. An aluminum louvered vent is under the peak of the roof. The west elevation is clad in the same tan-brick veneer as the façade with the same simulated vertical tongue and groove panels and aluminum vent under the gable. The end of the rear-facing gable extends past the right-end of the primary gable. A vertical two-light sliding window with a decorative iron grate is centered on the elevation at interior ceiling height. A gabled outbuilding is visible in aerial imagery but could not be seen from the ROW due to a wooden privacy fence.

Evaluation of Integrity: Resource HS-17 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary cladding materials

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have not been altered. HS-17 is considered contributing to the French Fort Historic District due to its high integrity.

Figure 108: 199 W Illinois Ave. northeast oblique, looking southwest.



Figure 109: 199 W. Illinois Ave. north facade, looking south.



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Figure 110: 199 W Illinois Ave. northwest oblique, looking southeast.



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18.1.4. Newly Inventoried Property HS-18: 207 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 207 W Illinois Ave. Resource HS-18 is a single-family residential house constructed in the Gabled-L form with Spanish Revival details. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1973. This date is consistent with historic aerials and the building's style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle cross-gable roof with a brick veneer exterior on a concrete slab foundation. The foot of the L is forward facing and makes up the left half of the façade. Two original nine-over-six wooden double-hung windows with storm windows, solid-filled arched transoms, and decorative iron grates over both the windows and transoms, are equally spaced on the façade with double the space in between. Centered under the gable and evenly spaced between the transoms are three faux beam ends projecting about six inches from the façade. The six-panel decorative-transom front door is located on the left end of the leg of the L, close to the corner. Three original eight-over-eight double-hung windows with storm windows and original decorative iron grates are evenly spaced to the right. A large brick-clad chimney is centered on the west elevation of the leg, extending approximately two feet above the ridge. The west elevation of the foot has another nine-over-six window and grate to match the façade, minus the arch. The east elevation has a horizontal two-light sliding window at interior ceiling height at each corner. A larger eight-over-eight double-hung window is centered on the elevation with two small six-over-six double-hung windows to the left. All windows on this elevation have storm panels and simple iron bars.

Evaluation of Integrity: Resource HS-18 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary cladding materials have not been altered. HS-18 is considered contributing to the French Fort Historic District due to its high integrity.

Figure 111: 207 W Illinois Ave. northeast oblique, looking southwest.



Figure 112: 207 W Illinois Ave. north elevation, looking south.



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Figure 113: 207 W Illinois Ave. northwest oblique, looking southeast.



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18.1.5. Newly Inventoried Property HS-19: 213 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 213 W Illinois Ave., Resource HS-19 is a single-family residential house constructed in the Ranch style. The house is located near the center of the west property line on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1975. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a fiber-cement board and brick-veneer exterior on a concrete slab foundation. A front-facing gable clad in fiber-cement board siding projects from the center of the façade, spanning over the middle three bays and is supported by four decorative wrought-iron columns. The original two-panel front door and original decorative iron storm door are centered on the façade in the central bay. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in each of the adjacent bays under the gable, surrounded by fiber-cement board siding. The left-most bay is comprised of a carport, one bay in depth with a single angled decorative wrought-iron column supporting the roof in the corner. A slab door with a decorative iron storm door is centered on the southern wall. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered to the right of the carport in the same bay, surrounded with pink brick veneer. A single original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in the last bay, also surrounded with pink brick veneer. The east elevation and interior of the carport is clad in fiber-cement board siding with a large aluminum louvered vent in the gable. A single six-over-six wooden double-hung window with iron bars is on the east wall, with a half-light door and decorative iron storm door to the left. The west elevation has the pink brick veneer with vinyl siding and aluminum louvered vent under the gable.

Evaluation of Integrity: Resource HS-19 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form have not been altered. Most original cladding material remains, but some has been replaced with modern materials. HS-19 is considered contributing to the French Fort district because it retains its character-defining features.

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Figure 114: 213 W Illinois Ave. northeast oblique, looking southwest.



Figure 115: 213 W Illinois Ave. north facade, looking south.



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Figure 116: 213 W Illinois Ave. northwest oblique, looking southeast.



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18.1.6. Newly Inventoried Property HS-20: 219 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 219 W Illinois Ave., Resource HS-20 is a single-family residential house constructed in the Ranch style with Spanish Revival details. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1975. This date is consistent with historic aerials and the buildings' Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a tan-brick veneer exterior on a concrete slab foundation. A front-facing gable clad in tan-brick veneer is centered and in plane with the façade, with a faux exposed beam end under the ridge and at the end of each leg of the gable. The six-panel front door and original decorative iron storm door is centered under the gable in an arch with vertical wood boards under the arch above the door. Nine-over-six double-hung windows with storm windows and vertical-wood-board-clad arches flank each side of the front door. To the left of the gable is a carport open on two sides, with interior walls clad in simulated vertical tongue and groove wooden panels. A single decorative iron column supports the roof in the northeast corner. To the right of the gable on the façade is a single six-over-six double-hung wooden window with several mullions having fallen off. The east façade is clad entirely in the simulated tongue and groove panels with a louvered aluminum vent under the ridge. The west elevation is clad in the tan-brick veneer with the tongue and groove panels and aluminum vent under the gable. A new asphalt shingle side-gable metal shed is in line with the carport, backed up to the rear of the property.

Evaluation of Integrity: Resource HS-20 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original cladding have not been altered. HS-20 is considered contributing to the French Fort district due to its high level of integrity.

Figure 117: 219 W Illinois Ave. northeast oblique, looking southwest.



Figure 118: 219 W Illinois Ave. north facade, looking south.



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Figure 119: 219 W Illinois Ave. northwest oblique, looking southeast.



Figure 120: Outbuilding behind 219 W Illinois Ave., looking south.



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18.1.7. Newly Inventoried Property HS-21: 227 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 227 W Illinois Ave., Resource HS-21 is a single-family residential house constructed in the Gabled-L form. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1973. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle cross-gable roof with a brick veneer exterior on a concrete slab foundation. A front-facing gable roof porch is centered on the façade, supported by three decorative wrought-iron columns. It spans over the replacement six-panel oval-light front door with a replacement decorative metal storm door and a double one-over-one replacement vinyl double-hung window. To the left of the gable is an identical double one-over-one replacement vinyl double-hung window. To the right of the gable is a sixteen-panel rollup garage door. The leg of the L extends from the southeast side of the rear. The east elevation has two one-over-one replacement vinyl double-hung windows evenly spaced on the leg of the L, and a double one-over-one replacement vinyl double-hung window under the gable end. Inside the gable at both the east and west elevation is clad in vinyl siding with a small aluminum louvered vent under the ridge. Two two-light horizontal sliding windows are equally spaced at interior ceiling height on the west elevation. The inside of the L form was not visible from the ROW.

Evaluation of Integrity: Resource HS-21 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling have been diminished slightly as original fenestration has been lost and the secondary exterior cladding material has been replaced. However, the house retains its characteristic features, such as decorative ironwork, and these minor changes do not detract from the overall design of the house. HS-21 is considered contributing to the French Fort district due to its high level of integrity.

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Figure 121: 227 W Illinois Ave. northeast oblique, looking southwest.



Figure 122: 227 W Illinois Ave. north facade, looking south.



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Figure 123: 227 W Illinois Ave. northwest oblique, looking southeast.



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18.1.8. Newly Inventoried Property HS-22: 233 W Illinois Avenue

Non-contributing to the French Fort Historic District

Description: Located at 233 W Illinois Ave., Resource HS-22 is a single-family residential house constructed in the Gabled-L form. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1975. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle cross-gable roof with a white-washed brick veneer exterior on a concrete slab foundation. The leg of the L extends from the southwest side of the rear with an additional gable addition projecting from the center of the rear. According to historic aerials, this was added between 1981 and 1984. The left third of the façade is an enclosed carport clad in vinyl exterior siding with a thirty-two-panel rollup garage door set in an opening with clipped chamfered corners. The middle third of the façade has two equally spaced one-over-one vinyl double-hung replacement windows. The last third has the recessed entry and another one-over-one vinyl double-hung replacement window equally spaced between the door and corner. The recessed entry is tight to the oval-panel replacement front door and sidelight with the shallow walls clad in vinyl siding. The east elevation is clad totally in vinyl siding with an aluminum louvered vent under the ridge and a new six-panel door on the left end. Evidence of the original carport opening can be seen in the set back of the vinyl cladding. The west elevation making up the foot of the L is clad in brick, with vinyl siding under the gable, with an aluminum louvered vent under the ridge. A small vertical vinyl sliding window is just inside the right-end of the gable. The property is completely enclosed within a non-historic iron fence with details that match historic examples in the neighborhood.

Evaluation of Integrity: Resource HS-22 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling do not remain as original fenestration has been lost and the secondary exterior cladding material has been replaced. HS-22 is recommended not contributing to the French Fort district. The changes to the windows and doors and enclosure of the carport removed several character-defining features of the house. The later addition of the iron fence is not characteristic of the neighborhood even though it has similar details.

Figure 124: 233 W Illinois Ave. northeast oblique, looking southwest.



Figure 125: 233 W Illinois Ave. north facade, looking south.



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Figure 126: 233 W Illinois Ave. northwest oblique, looking southeast.



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18.1.9. Newly Inventoried Property HS-23: 241 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 241 W Illinois Ave., Resource HS-23 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1975. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a brick-veneer exterior on a concrete slab foundation. A large rear-facing gable addition spans most of the rear from the southwest side and in-plane with the west elevation. According to historic aerials, this was added between 1986 and 1990. A front-facing gable clad in simulated vertical tongue and groove wooden panels projects from the center of the façade, spanning over the middle three bays and is supported by four decorative wrought-iron columns. The replacement six-panel fanlight front door and original decorative iron storm door are centered on the façade in the central bay. An original six-over-six wooden double-hung window with a storm window and half-height decorative iron grate is centered in each of the adjacent bays under the gable. The left-most bay is comprised of a carport, one bay in depth with a single decorative wrought-iron column supporting the roof in the corner. A slab door with a decorative iron storm door is centered on the southern wall. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered to the right of the carport in the same bay. A single original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in the last bay. The east elevation and interior of the carport is clad in simulated vertical tongue and groove wooden panels with a large aluminum louvered vent in the gable. A fifteen-light door with a screen door is on the east wall. The west elevation has brick veneer with simulated vertical tongue and groove wooden panels and aluminum louvered vent under the gable. A non-historic iron fence surrounds the property, matching the historic details of the ironwork on the house.

Evaluation of Integrity: Resource HS-23 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place and the original ironwork characteristic of the neighborhood has not been removed and is in good condition. The large addition on the rear has changed the historic massing, but does not have a negative visual impact because it is minimally visible from the

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ROW. HS-23 is recommended contributing to the French Fort Historic District due to its high level of integrity.

Figure 127: 241 W Illinois Ave northeast oblique., looking southwest.



Figure 128: 241 W Illinois Ave. north facade, looking south.



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Figure 129: 241 W Illinois Ave. northwest oblique, looking southeast.



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18.1.10. Newly Inventoried Property HS-24: 247 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 247 W Illinois Ave., Resource HS-24 is a single-family residential house constructed in the Ranch style with Colonial Revival details. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1971. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a brick-veneer exterior on a concrete slab foundation. An original small rear-facing gable projection is one bay in width on the southwest side, in-plane with the west elevation. A front-facing gable clad in aluminum siding projects from the center of the façade, spanning over the middle three bays and is supported by four decorative wrought-iron columns, elevated slightly above the main roofline. A cornice of dentils runs along the façade and the gable projection. The six-panel front door and original decorative iron storm door are centered on the façade in the central bay with a Colonial Revival architrave: a lintel with dentils supported by two fluted pilasters. An original double nine-over-six wooden double-hung window with a storm window is centered in each of the adjacent bays under the gable. A single original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in the left-most bay. The last bay is comprised of a carport, one bay in depth with a single decorative wrought-iron column supporting the roof in the corner. The east elevation has brick veneer with aluminum siding and an aluminum louvered vent under the gable. The west elevation is clad in brick veneer with a double six-over-six wood double-hung window centered on the façade and the interior of the carport is clad in simulated vertical tongue and groove wooden panels. A slab door with a decorative iron door is on the west wall. Under the gable is clad in aluminum siding with a small aluminum vent. A metal-clad gambrel roof shed is in the southwest corner of the property.

Evaluation of Integrity: Resource HS-24 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place and the original ironwork characteristic of the neighborhood has not been removed and is in good condition. HS-24 is recommended contributing to the French Fort district due to its high level of integrity.

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Figure 130: 247 W Illinois Ave. northeast oblique, looking southwest.



Figure 131: 247 W Illinois Ave. north facade, looking south.



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Figure 132: 247 W Illinois Ave. northwest oblique, looking southeast.



Figure 133: Outbuilding behind 247 W Illinois Ave., looking southeast.



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18.1.11. Newly Inventoried Property HS-25: 251 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 251 W Illinois Ave., Resource HS-25 is a single-family residential house constructed in the Contemporary style with a front-gabled form. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1971. This date is consistent with historic aerials and the building's Contemporary style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle front-gable roof with overhanging eaves, a Roman-brick veneer exterior, and a concrete slab foundation. A small addition with vinyl German-novelty siding was added to the rear southwest corner. According to historic aerials, this was added before 1981. A low-slope porch roof spans the middle half of the façade, supported by three decorative iron columns. Centered on the façade under the porch is an original triple two-over-one horizontal wood double-hung window. The six-panel front door is to the left with a decorative iron storm door. To the left of the porch is another original triple two-over-one horizontal wood double-hung window. To the right is a sixteen-panel roll-up garage door. The east elevation has two original one-over-one wood double-hung windows equally spaced on the left half of the elevation, with a double one-over-one wood double-hung window the same distance to the right. All windows on these elevations have aluminum storm windows. Two small ceiling-height sliding windows are evenly spaced on the west elevation. An open shed roof extension clad in asphalt shingles extends from the rear addition on the west side.

Evaluation of Integrity: Resource HS-25 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place and the original ironwork characteristic of the neighborhood has not been removed and is in good condition. HS-25 is recommended contributing to the French Fort district due to its high level of integrity.

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Figure 134: 251 W Illinois Ave. northeast oblique, looking southwest.



Figure 135: 251 W Illinois Ave. north facade, looking south.



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Figure 136: 251 W Illinois Ave. northwest oblique, looking southeast.



Figure 137: 251 W Illinois Ave. rear addition and outbuilding, looking southeast.



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18.1.12. Newly Inventoried Property HS-26: 259 W Illinois Avenue

Contributing to the French Fort Historic District

Description: Located at 259 W Illinois Ave., Resource HS-26 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1970. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a brick veneer exterior on a concrete slab foundation. A front-facing gable clad in simulated vertical tongue and groove wooden panels projects from the center of the façade, spanning over the middle three bays and is supported by four square wood columns. A decorative iron medallion is centered in the gable. The replacement half-light two-panel front door and original decorative iron storm door are centered on the façade in the central bay. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in each of the adjacent bays under the gable. The left-most bay is comprised of a carport, one bay in depth with a single metal pipe column supporting the roof in the corner. A door with a decorative iron storm door is centered on the southern wall. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered to the right of the carport in the same bay. A single original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in the last bay. The east elevation and interior of the carport is clad in simulated vertical tongue and groove wooden panels with a large aluminum louvered vent in the gable. A single six-over-six wooden double-hung window with iron bars is on the east wall with another door and decorative iron door to the left. The west elevation has the same simulated vertical tongue and groove panels and aluminum louvered vent under the gable.

Evaluation of Integrity: Resource HS-26 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, and the form and original primary cladding materials have not been altered. The ironwork characteristic of the neighborhood appears to be original. HS-26 is recommended contributing to the French Fort district due to its high integrity.

Figure 138: 259 W Illinois Ave. northeast oblique, looking southwest.



Figure 139: 259 W Illinois Ave. north facade, looking south.



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Figure 140: 259 W Illinois Ave. northwest oblique, looking southeast.



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18.1.13. Newly Inventoried Property HS-27: 265 W Illinois Avenue

Contributing to the French Fort Historic District

Located at 265 W Illinois Ave., Resource HS-27 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the south side of W Illinois Ave. According to tax assessor records, the house was constructed in 1970. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-and-a-half-story house is oriented north and has an asphalt shingle side-gable roof with a brick veneer exterior on a concrete slab foundation. There is a large, shed roof dormer on the southeast rear slope of the roof, stretching two-thirds of the building's length. The façade is composed of six bays with the fan-light six-panel front door and original decorative iron storm door in the third bay. Bays one, two, four, and five are all composed of a single one-over-one replacement vinyl double-hung window. The sixth bay is comprised of a carport, one bay in depth with two decorative iron columns supporting the roof, one in the corner, and another in the middle of the right side. A door with a decorative iron storm door is centered on the southern wall. The east elevation has the same brick veneer with the simulated vertical tongue and groove panels and aluminum louvered vent under the gable. The west elevation and interior of the carport is clad in simulated vertical tongue and groove wooden panels with a large aluminum louvered vent in the gable. A single six-over-six wooden double-hung window with iron bars is on the east wall. In plane with the roof, the last bay has a slab door centered on it with vinyl German-novelty siding.

Resource HS-27 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling have been minimally impacted as the original windows have been replaced with contemporary vinyl windows, but the original cladding materials, form, and character-defining ironwork remain unchanged. HS-27 is recommended contributing to the French Fort district due to its high integrity. The replacement windows do not negatively impact the overall feeling of the property.

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Figure 141: 265 W Illinois Ave. northeast oblique, looking southwest.



Figure 142: 265 W Illinois Ave. north facade, looking south.



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Figure 143: 265 W Illinois Ave. northwest oblique, looking southeast.



Figure 144: Outbuilding behind 265 W Illinois Ave., looking southeast.



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18.1.14. Newly Inventoried Property HS-28: 886 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 886 Riverside Blvd., Resource HS-28 is a single-family residential house constructed in the Split-Foyer style. The house is centrally located on a rectangular shaped parcel on the corner of W Illinois Ave and Riverside Blvd. According to tax assessor records, the house was constructed in 1970. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented west and has an asphalt shingle side-gable roof with brick veneer cladding on the first floor and simulated vertical tongue and groove wooden paneling on the second floor, on a concrete slab foundation. The recessed entry is just left-of-center on the façade and centered vertically, with brick clad concrete steps leading to a concrete stoop with a decorative iron handrail centered on the six-panel front door and decorative iron storm door. The first floor is clad in brick veneer with two sixteen-panel roll-up garage doors evenly spaced to the right of the stairs. The second floor is clad in simulated vertical tongue and groove wooden paneling, with a double six-over-six wooden double-hung window to the right of the entry, and one stacked above each of the garage doors to the right. The north elevation has the same cladding at each level with an aluminum vent under the ridge and two horizontal aluminum sliding windows evenly spaced at the interior first-floor ceiling height. The south elevation repeats the same cladding also with an aluminum vent, and a single two-over-two horizontal double-hung window just right of center on the second floor. The rear, east elevation has a two-light horizontal sliding window centered on the first floor with a single six-panel and decorative iron door to the left, and a double glass door with a double decorative iron door to the right. On the second floor are four windows evenly spaced: a single two-over-two horizontal double-hung window, a two-light horizontal sliding window, a short two-over-two horizontal double-hung window, and a double two-over-two horizontal double-hung window.

Evaluation of Integrity: Resource HS-28 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain. All original windows are preserved, including the original ironwork. The form has not been altered and the original cladding materials are still being used. HS-28 is recommended contributing to the French Fort district due to its high level of integrity.

Figure 145: 886 Riverside Blvd. southwest oblique, looking northeast.



Figure 146: 886 Riverside Blvd. west facade, looking east.



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Figure 147: 886 Riverside Blvd. northwest oblique, looking southeast.



Figure 148: 886 Riverside Blvd. northeast oblique, looking southwest.



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18.1.15. Newly Inventoried Property HS-29: 894 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 894 Riverside Blvd., Resource HS-29 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the east side of Riverside Blvd. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented west and has an asphalt shingle cross-gable roof with a brick veneer exterior on a concrete slab foundation. A large rear-facing gable addition spans two-thirds of the rear with the northern edge in plain with the north elevation. A gable-roof porch clad in aluminum siding projects from the center of the façade, spanning over the middle three bays and is supported by four decorative iron posts. A rectangular louvered vent is centered under the ridge. The replacement oval-light front door and replacement storm door are centered on the façade in the central bay. An original double nine-over-six wooden double-hung window with a storm window and iron grate is centered in each of the adjacent bays under the gable. A single original six-over-six wooden double-hung window with a storm window and iron grate is centered in the first bay. The right-most bay is comprised of a two-bay carport, with two decorative iron posts supporting the roof in the corner and the middle of the south side. A breezeway bisects the back of the structure past the carport, with a six-panel door centered on the right mass. The north elevation is clad in brick veneer with simulated vertical tongue and groove panels and a rectangular louvered vent under the gable. Two six-over-six wooden double-hung windows with storm windows are equally spaced and centered under the gable. The south elevation is clad in brick veneer with the interior of the carport clad in simulated vertical tongue and groove wooden panels with a rectangular louvered vent in the gable.

Evaluation of Integrity: Resource HS-29 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place with original ironwork, and original primary cladding materials have not been altered. Although there is an addition on the rear, it is minimally visible from the ROW. HS-29 is recommended contributing to the French Fort district due to its high level of integrity.

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Figure 149: 894 Riverside Blvd. northwest oblique, looking southeast.



Figure 150: 894 Riverside Blvd. west facade, looking east.



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Figure 151: 894 Riverside Blvd. southwest oblique, looking northeast.



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18.1.16. Newly Inventoried Property HS-30: 1195 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1195 Esplanade Pl., Resource HS-30 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the corner of Riverside Blvd. and Esplanade Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented south and has an asphalt shingle hip roof with a brick veneer exterior on a concrete slab foundation. The façade can visually be divided into quarters beginning from the left: an original six-over-six wooden window with a solid wooden panel underneath is at the left corner and another at the other side of the quarter, the second quarter contains the three-light six-panel front door and a bay window to the right with a wood six-over-six window in the center and a four-over-four window on each side, the third quarter is a carport, and the last has a single six-over-six wooden window with a storm window. The carport interior is clad in simulated vertical tongue and groove wood paneling with a six-panel door and screen door centered on the elevation. A horizontal sliding window is centered on either side of the door. The west elevation has two equally spaced six-over-six double-hung windows. The east elevation has no fenestration. A gable porch roof extends from the rear northwest corner over a half-light door. A double six-over-six wooden double-hung window is centered on the rear elevation, with a single six-over-six wooden double-hung window equally spaced on either side. An eyebrow attic vent sits just below the ridge, in line with the double window.

Evaluation of Integrity: Resource HS-30 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, and the form and original primary cladding materials have not been altered. HS-30 is recommended contributing to the French Fort district due to its high level of integrity.

Figure 152: 1195 Esplanade Pl. southwest oblique, looking northeast.



Figure 153: 1195 Esplanade Pl. south facade, looking north.



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Figure 154: 1195 Esplanade Pl. southeast oblique, looking northwest.



Figure 155: 1195 Esplanade Pl. northwest oblique, looking southeast.



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18.1.17. Newly Inventoried Property HS-31: 1185 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1185 Esplanade Pl., Resource HS-31 is a single-family residential house constructed in the Split-Foyer style. The house is centrally located on a rectangular shaped parcel on the north side of Esplanade Pl. According to tax assessor records, the house was constructed in 1970. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented south and has an asphalt shingle side-gable roof with the first floor clad in brick veneer, the second floor clad in fiber-cement board on the façade and simulated vertical tongue and groove wooden paneling on the second floor at the east and west elevations, on a concrete slab foundation. The recessed entry is just right-of-center on the façade and centered vertically, with brick clad concrete steps leading to a concrete stoop with a decorative iron handrail centered on the double six-panel front door and double decorative iron storm door. The first floor has two sixteen-panel roll-up garage doors evenly spaced to the left of the stairs. The second floor has a picture window with two lights underneath to the right of the entry, and a horizontal sliding window stacked above each of the garage doors to the left. The west elevation has an aluminum vent under the ridge and two horizontal aluminum sliding windows evenly spaced at the interior second-floor ceiling height. The east has an aluminum vent, and two horizontal sliding windows with decorative iron grates just right of center on the second floor. A vertical wood-board clad asphalt shingle gable roof shed is directly behind the northeast corner.

Evaluation of Integrity: Resource HS-31 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain. All original windows are preserved, including the original ironwork. The form has not been altered and most of the original cladding materials remain. HS-31 is recommended contributing to the French Fort district due to its high level of integrity.

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Figure 156: 1185 Esplanade Pl. southwest oblique, looking northeast.



Figure 157: 1185 Esplanade Pl. south facade, looking north.



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Figure 158: 1185 Esplanade Pl. southeast oblique, looking northwest.



Figure 159: Outbuilding behind 1185 Esplanade Pl., looking northwest.



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18.1.18. Newly Inventoried Property HS-32: 1179 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1179 Esplanade Pl., Resource HS-32 is a single-family residential house constructed in the Ranch style. The house is centrally located on a trapezoidal shaped parcel on the north side of Esplanade Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southwest and has an asphalt shingle cross-gable roof with a white roman-brick veneer. Two front-facing gabled projections extend from the corners of the façade in plane with the end elevations. The left gable sits above the ridge height of the main mass and has a two-bay wide garage with a twenty-four-panel two-faux-fanlight garage door, and an octagonal oxeye window with decorative iron grate both centered under the ridge. The six-panel and circular half-light front door has two half-light one-panel sidelights and a decorative iron storm door over both and is slightly left-of-center on the façade. Centered to the left is a single six-over-six wooden double-hung window with a storm panel. Equidistant to the right is a triple window with a six-over-six wooden double-hung window with a storm window flanked by two four-over-four wooden double-hung windows with storm windows. The right gable has a single twelve-over-six wooden double-hung window with a storm window and a half-circle aluminum attic vent centered under the ridge. The west elevation has an aluminum louvered attic vent under the ridge, and the east elevation also has a vent with the area under the gable clad in simulated vertical tongue and groove wooden paneling. Two aluminum horizontal sliding windows and a six-over-six wooden double-hung window with a storm panel are equally spaced under the gable. A larger gabled addition is nearly centered on the rear, built in 1990 according to county records and historic aerials. A large contemporary shed clad in vertical wood boards with an asphalt shingle gable roof sits along the north property line directly back from the northeast corner of the house.

Evaluation of Integrity: Resource HS-32 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain. All original windows are preserved, and the rear addition is not visible from the ROW. HS-32 is recommended contributing to the French Fort district as the changes do not alter the feeling of the resource and it maintains most of its character defining features.

Figure 160: 1179 Esplanade Pl. west oblique, looking east.



Figure 161: 1179 Esplanade Pl. southwest facade, looking northeast.



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Figure 162: 1179 Esplanade Pl. south oblique, looking north.



Figure 163: Outbuilding behind 1179 Esplanade Pl., looking north.



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18.1.19. Newly Inventoried Property HS-33: 1175 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 1175 Esplanade Pl., Resource HS-33 is a single-family residential house constructed in the Ranch style. The house is centrally located on a trapezoidal shaped parcel on the northeast side of Esplanade Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southwest and has an asphalt shingle side-gable roof with a tan-brick veneer. Two small gable additions connected with a shed roof are visible on the rear via aerial imagery. Two shed roofs project from the facade. One is in plane with the west end of the structure extending over an enclosed two-bay carport supported by three square columns. The infilled wall is clad in simulated vertical tongue and groove wooden paneling. A six-over-six vinyl double-hung window is centered in the left bay with a contemporary six-light half-panel door and wrought iron storm door abutting the right edge of the right bay. The other shed roof is roughly centered on the façade, supported by four square columns on tan-brick piers with the two-panel front door with a decorative iron storm door centered in the middle bay. Each adjacent bay has a replacement six-over-six vinyl double-hung window centered. Centered to the left and right of the porch are an additional replacement six-over-six vinyl double-hung window. The west elevation has a new tan-brick veneer wall with two vinyl horizontal sliding windows equally spaced where the carport was enclosed. The original mass is clad in aluminum siding with simulated vertical tongue and groove wooden paneling under the gable with an aluminum louvered attic vent under the ridge. The east elevation is clad in the original tan-brick veneer with simulated vertical tongue and groove wooden paneling under the gable and an aluminum louvered attic vent under the ridge.

Evaluation of Integrity: Resource HS-33 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling do not remain as the original carport was enclosed, multiple additions have altered the simple form, and all fenestration has been replaced. HS-33 is recommended not contributing to the French Fort district as the previous alterations have diminished the integrity of feeling due to a loss of character defining features such as the original six-over-six windows, decorative ironwork, and carport.

DRAFT - DELIBERATIVE

Figure 164: 1175 Esplanade Pl. south oblique, looking north.



Figure 165: 1175 Esplanade Pl. southwest facade, looking northeast.



DRAFT - DELIBERATIVE

Figure 166: 1175 Esplanade Pl. west oblique, looking east.



DRAFT - DELIBERATIVE

18.1.20. Newly Inventoried Property HS-34: 242 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 242 Napoleon Pl., Resource HS-34 is a single-family residential house constructed in the Ranch style. The house is centrally located on a trapezoidal shaped parcel on the north side of Napoleon Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented south and has an asphalt shingle side-gable roof with a brick veneer exterior on a concrete slab foundation. A front-gable porch clad in simulated vertical tongue and groove wooden paneling projects from the center of the façade, spanning over the middle three bays and is supported by four decorative iron posts. The front door and original decorative iron storm door are centered on the façade in the central bay. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in each of the adjacent bays under the gable. The left-most bay is comprised of a carport, one bay in depth with a thin wooden wall partially enclosing it from the west end. A slab door with a decorative iron storm door is centered on the southern wall. An original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered to the right of the carport in the same bay. A single original six-over-six wooden double-hung window with a storm window and decorative iron grate is centered in the last bay. The west elevation and interior of the carport is clad in simulated vertical tongue and groove wooden paneling with a large aluminum louvered vent in the gable and a six-panel door at the left end of the carport enclosure. The infill wall is clad in slightly smaller paneling and framed with flat wooden boards. In the carport, a single six-over-six wooden double-hung window with iron bars is on the east wall, with a half-light door and decorative iron storm door on the north wall. The west elevation has the brick veneer with in simulated vertical tongue and groove wooden paneling and an aluminum louvered vent under the gable. A small gable addition projects from the rear northeast corner. Three contemporary outbuildings are present: a metal gambrel roof structure is against the east elevation aligned from the north, and a front-gable metal shed is in each northern corner of the property. A decorative iron gate is adjacent to the carport, matching one of the styles of the neighborhood.

Evaluation of Integrity: Resource HS-34 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, almost all the original ironwork characteristic of the neighborhood remains

and is in good condition, and the form has not been altered, and all original cladding material remains. The partially enclosed carport is a reversible and unobtrusive change that is not visible from the ROW and does not have a significant visual impact. HS-34 is recommended contributing to the French Fort district due to its high level of integrity.

Figure 167: 242 Napoleon Pl. southeast oblique, looking northwest.



DRAFT - DELIBERATIVE

Figure 168: 242 Napoleon Pl. south facade, looking north.



Figure 169: 242 Napoleon Pl. southwest oblique, looking northeast.



DRAFT - DELIBERATIVE

Figure 170: Iron gate and outbuilding behind 242 Napoleon Pl., looking northeast.

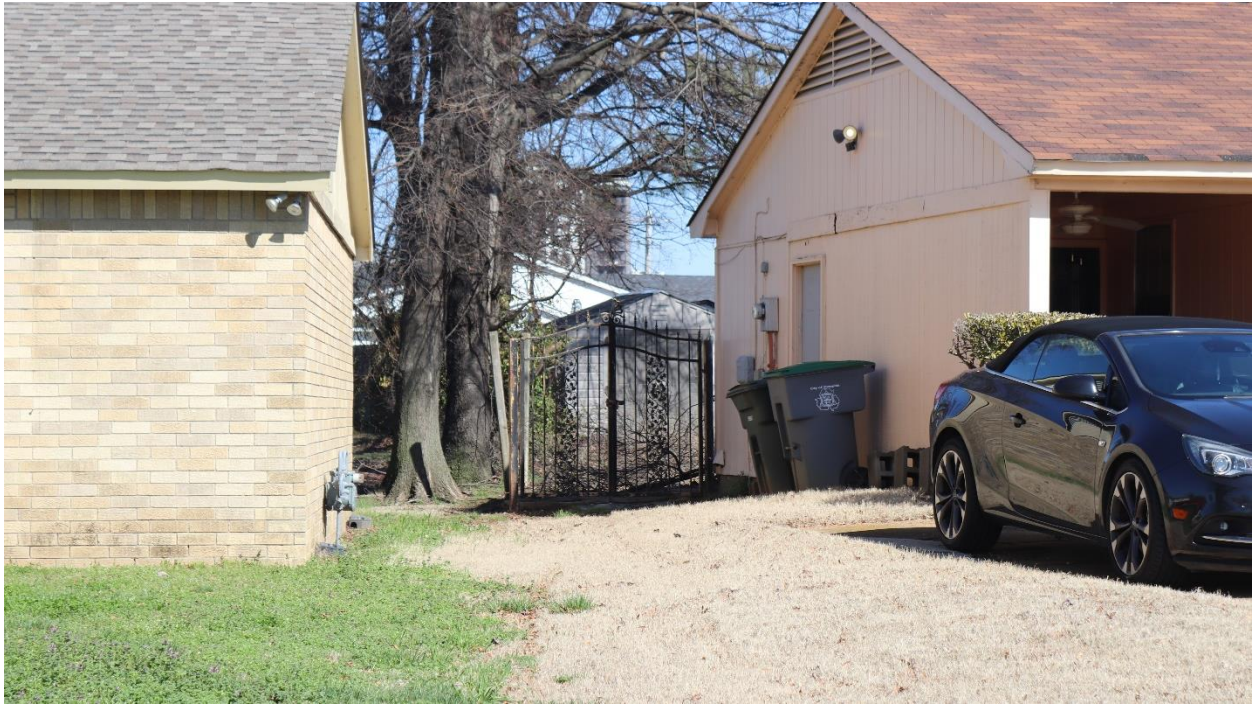


Figure 171: Outbuilding next to 242 Napoleon Pl., looking northwest.



DRAFT - DELIBERATIVE

18.1.21. Newly Inventoried Property HS-35: 236 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 236 Napoleon Pl., Resource HS-35 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the north side of Napoleon Pl. According to tax assessor records, the house was constructed in 1971. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented south and has an asphalt shingle hip roof with overhanging eaves, a Roman-brick veneer exterior, and a concrete slab foundation. The right half of the façade is a shallow integrated porch leading to the six-panel front door and decorative storm door on the east wall. A one-bay wide carport makes up the corner of the mass, supported by a decorative iron post on either side in plane with the façade, and another centered along the west side. A triple six-over-six wooden double-hung window with a large decorative iron grate is centered on the recessed façade. The left half of the façade has two evenly spaced six-over-six wood double-hung windows with decorative iron grates. The west elevation has two evenly spaced six-over-six wood double-hung windows with decorative iron grates with a smaller six-over-six wood double-hung window with a decorative iron grate just to the right of the left larger window. A small mass makes up the northeast corner of the structure under the carport clad in brick veneer facing outward, and fiber-cement board siding facing the carport with a horizontal wood board door on the south elevation. The east elevation of the main structure is also clad in fiber-cement board under the carport with a decorative iron storm door in the rear and a six-over-six wood double-hung window with a decorative iron grate to the left of it.

Evaluation of Integrity: Resource HS-35 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, all the original ironwork characteristic of the neighborhood remains and is in good condition, the form has not been altered, and all original cladding material remains. HS-35 is recommended contributing to the French Fort district due to its high level of integrity.

DRAFT - DELIBERATIVE

Figure 172: 236 Napoleon Pl. southeast oblique, looking northwest.



Figure 173: 236 Napoleon Pl. south facade, looking north.



DRAFT - DELIBERATIVE

Figure 174: 236 Napoleon Pl. southwest oblique, looking northeast.



DRAFT - DELIBERATIVE

18.1.22. Newly Inventoried Property HS-36: 228 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 228 Napoleon Pl., Resource HS-36 is a single-family residential house constructed in the Contemporary style with a front-gabled form. The house is centrally located on a rectangular shaped parcel on the north side of Napoleon Pl. According to tax assessor records, the house was constructed in 1970. This date is consistent with historic aerials and the building's Contemporary style.

Of frame construction, the one-story house is oriented south and has an asphalt shingle front-gable roof with a brick veneer and simulated vertical tongue and groove wood paneling exterior on a concrete slab foundation. An original gabled wing extends from the northwest rear in plane with the west elevation, spanning two-thirds of the rear elevation. Centered on the façade is an integrated porch making up almost one-third of the façade, with the slab front door and decorative iron storm door set into the left side of the recess. A rectangular aluminum louvered vent is centered just under the ridge, with a long horizontal vinyl sliding window centered at the same height as the door. To the left of the recess is a double one-over-one horizontal vinyl double-hung window with simulated vertical tongue and groove wood paneling above. To the right of the recess is a sixteen-panel rollup garage door also with simulated vertical tongue and groove wood paneling above. The west elevation has two one-over-one vinyl double-hung windows and a double one-over-one vinyl double-hung window evenly spaced from the rear corner. The east elevation has a single slab door with a decorative iron storm door right-of-center. A large one-car detached garage with a metal gable roof clad in faux metal board and batten sits in the northeast corner of the property.

Evaluation of Integrity: Resource HS-36 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling partially remain as the original ironwork characteristic of the neighborhood has not been removed and is in good condition, the form has not been altered, and the original cladding material remains. The windows are likely replacement windows with altered muntin patterns. HS-36 is recommended contributing to the French Fort district as it still maintains a high level of integrity given the minimal changes.

DRAFT - DELIBERATIVE

Figure 175: 228 Napoleon Pl. southeast oblique, looking northwest.



Figure 176: 228 Napoleon Pl. south facade, looking north.

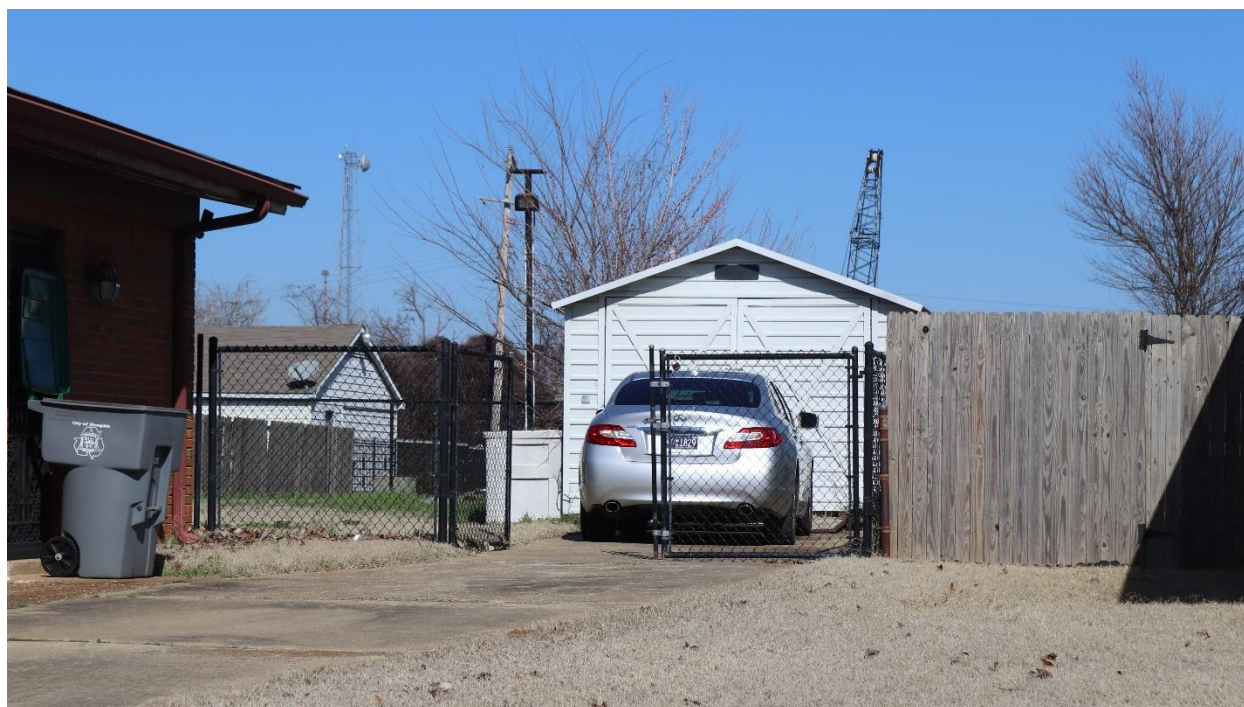


DRAFT - DELIBERATIVE

Figure 177: 228 Napoleon Pl. southwest oblique, looking northeast.



Figure 178: Outbuilding behind 228 Napoleon Pl., looking northwest.



DRAFT - DELIBERATIVE

18.1.23. Newly Inventoried Property HS-37: 220 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 220 Napoleon Pl., Resource HS-37 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the north side of Napoleon Pl. According to tax assessor records, the house was constructed in 1971. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented south and has an asphalt shingle cross-hip roof with a brick veneer exterior on a concrete slab foundation. Two large rear hipped wings are joined, creating a square form. The west wing is original to the form; the other was added in 1996 according to county records and historic aerials. A hip-roof porch spans over the second and third bays of the façade, supported by three decorative iron posts and brackets with a wrought-iron handrail and pickets. The front door is centered on the first bay of the porch with a decorative wrought-iron storm door. Centered in the right-side bay is a triple window with a large picture window flanked by two small two-over-two horizontal aluminum double-hung windows. To the left of the porch is another triple window with storm windows. To the right of the porch is a two-bay wide garage with a paneled rollup door. Large permanent screens have been built in front of the doors. Centered on the west elevation is another triple window with a large picture window flanked by two small two-over-two horizontal aluminum double-hung windows and storm windows. The tops of two additional windows can be seen further on the rear of the structure, but muntin pattern and material could not be determined. The east elevation has a decorative iron storm door over an exterior door. A large wooden shed with an asphalt shingle roof is located in the northeast corner of the property. In the northwest corner of the property is an octagonal structure with an asphalt shingle roof that appears to be a screened in enclosure.

Evaluation of Integrity: Resource HS-37 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, all the original ironwork characteristic of the neighborhood remains and is in good condition, and all original cladding material remains. The original windows are in place but are covered with aluminum storm windows. The large rear addition does alter the form, but it is not visible from the ROW. HS-37 is recommended contributing to the French Fort district due to its high level of integrity.

Figure 179: 220 Napoleon Pl. southeast oblique, looking northwest.



DRAFT - DELIBERATIVE

Figure 180: 220 Napoleon Pl. south facade, looking north.



Figure 181: 220 Napoleon Pl. southwest oblique, looking northeast.



DRAFT - DELIBERATIVE

18.1.24. Newly Inventoried Property HS-38: 214 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 214 Napoleon Pl., Resource HS-38 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the north side of Napoleon Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented south and has an asphalt shingle hip roof with a brick veneer exterior on a concrete slab foundation. The façade is composed of five bays. The first two bays each have a six-over-six double-hung wooden window with a storm window and a simulated vertical tongue and groove wood panel beneath. The original rhombus-light front door and decorative iron storm door is centered on the façade in the middle bay. To the right is a bay window with a central six-over-six double-hung wooden window with a storm window and a four-over-four double-hung wooden window with a storm window on each wing. The last bay is a carport supported by a decorative iron column in the corner and fluted square column in the middle of the east side. Inside the carport is clad in simulated vertical tongue and groove wood paneling with a half-light three paneled door and decorative iron door on the south elevation in the left corner. The main east elevation has a slab door centered on the wall past the carport. The west elevation has two six-over-six double-hung wooden windows with storm windows, evenly spaced.

Evaluation of Integrity: Resource HS-38 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, all the original ironwork characteristic of the neighborhood remains and is in good condition, and all original cladding material remains. HS-38 is recommended contributing to the French Fort district due to its high level of integrity.

DRAFT - DELIBERATIVE

Figure 182: 214 Napoleon Pl. southeast oblique, looking northwest.



Figure 183: 214 Napoleon Pl. south facade, looking north.



DRAFT - DELIBERATIVE

Figure 184: 214 Napoleon Pl. southwest oblique, looking northeast.



DRAFT - DELIBERATIVE

18.1.25. Newly Inventoried Property HS-39: 204 Napoleon Place

Contributing to the French Fort Historic District

Located at 204 Napoleon Pl., Resource HS-39 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the north side of Napoleon Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a brick-veneer exterior on a concrete slab foundation. The façade is roughly divisible in half, with an additional bay on the right. The left has two horizontal aluminum sliding windows, the left one approximately twice the width, but same height as the right. The right side is covered with a shed porch roof supported by four decorative iron columns. The three square-panel front door and storm door are centered in the first bay with a triple six-light aluminum picture window centered in the middle bay. The additional bay is a carport supported by a decorative iron column in the corner and another in the middle of the east side. Under the carport is clad in aluminum siding and a half-light slab door with a decorative iron storm door is on the south elevation in the left corner. The west elevation has a small aluminum sliding window centered with two large vertical sliding windows equally spaced on either side. Aluminum siding clads the gables at both the west and east elevations. The east also has six-panel door centered on the elevation to the rear of the carport. A metal gambrel roof shed clad in vertical wood boards is in the northeast corner of the property.

Resource HS-39 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place and the original ironwork characteristic of the neighborhood has not been removed and is in good condition. HS-39 is recommended contributing to the French Fort district due to its high integrity.

Figure 185: 204 Napoleon Pl. southeast oblique, looking northwest.



Figure 186: 204 Napoleon Pl. south facade, looking north.



DRAFT - DELIBERATIVE

Figure 187: 204 Napoleon Pl. southwest oblique, looking northeast.



DRAFT - DELIBERATIVE

18.1.26. Newly Inventoried Property HS-40: 200 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 200 Napoleon Pl., Resource HS-40 is a single-family residential house constructed in the Ranch style. The house is centrally located on a triangular shaped parcel on the northeast side of Napoleon Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southwest and has an asphalt shingle side-gable roof with a white Roman-brick veneer exterior on a concrete slab foundation. A large narrow addition was built off the rear northeast corner. The façade is composed of eight bays with a shed roof porch centered on the façade supported by four decorative iron columns and brackets, spanning over bays two, three, and four. The first two bays each have a six-over-six wood double-hung window with a storm window and a decorative iron grate. Bays three and four each also each have a six-over-six wood double-hung window with a storm window and a decorative iron grate. The original half-light half-panel front door and original decorative iron storm door are centered in the fifth bay. Bay six has a six-over-six wood double-hung window with a storm window and a decorative iron grate, and bays seven and eight are a two-bay wide carport, supported with one decorative iron column in the exterior corner and decorative iron brackets at each corner. Under the carport is clad in simulated vertical tongue and groove wooden paneling with a decorative iron storm door over an indeterminate door in the right corner of the west elevation and another door with a small aluminum fixed window equally spaced on the south elevation. The gables at the east and west elevations are clad in simulated vertical tongue and groove wooden paneling with a large aluminum louvered vent under the ridge. The west elevation has two small, fixed aluminum windows at the left end of the gable. The east elevation could not be seen from the ROW.

Evaluation of Integrity: Resource HS-40 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original cladding materials remain. The form has been altered by the large rear addition, but it is not visible from the ROW. HS-40 is recommended contributing to the French Fort district due to its high level of integrity.

DRAFT - DELIBERATIVE

Figure 188: 200 Napoleon Pl. south oblique, looking north.



Figure 189: 200 Napoleon Pl. southwest facade, looking northeast.



DRAFT - DELIBERATIVE

Figure 190: 200 Napoleon Pl. west oblique, looking east.



DRAFT - DELIBERATIVE

18.1.27. Newly Inventoried Property HS-41: 196 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 196 Napoleon Pl., Resource HS-41 is a single-family residential house constructed in the Hipped-L form. The house is located near the front property line on a triangular shaped parcel on the northeast side of Napoleon Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's style.

Of frame construction, the one-story house is oriented southwest and has an asphalt shingle hipped-L roof with overhanging eaves, a Roman-brick veneer exterior, and a concrete slab foundation. The foot of the L is forward facing and makes up the left-most third of the façade. A double replacement one-over-one vinyl double-hung window is centered under the ridge of the roof. Wooden pilasters are affixed to each corner of the facade and wrap around to each elevation. The fourteen-panel one-light front door is located on the right side of the middle third of the leg of the L, with a glass storm door and a square pilaster on either side. A large original picture window with a storm window has two horizontal sliding windows underneath, centered to the left of the door. Evenly spaced to the right in the last third are two original double two-over-two horizontal windows with storm windows, evenly spaced from the door. The southeast elevation of the foot of the L has two sixteen-panel rollup doors evenly spaced, with a contemporary six-panel door and glass storm door set into the left side of the left rollup door. The northeast elevation has a wooden stoop centered on a six-panel door with a glass storm door, adjacent to the northeast corner. A small one-over-one vinyl window is adjacent to the right, and a one-over-one vinyl double-hung window is adjacent to the northwest corner. The other elevations were not visible from the ROW. A large contemporary outbuilding clad in vertical wood board siding with a metal roof is in the southeast corner of the property.

Evaluation of Integrity: Resource HS-41 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as most of the original windows are in place, and the form and original primary cladding materials have not been altered. HS-41 is recommended contributing to the French Fort district due to its high level of integrity.

Figure 191: 196 Napoleon Pl. southwest oblique, looking northeast.



Figure 192: 196 Napoleon Pl. northwest oblique, looking east.



DRAFT - DELIBERATIVE

Figure 193: 196 Napoleon Pl. north elevation, looking east.



DRAFT - DELIBERATIVE

18.1.28. Newly Inventoried Property HS-42: 192 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 192 Napoleon Pl., Resource HS-42 is a single-family residential house constructed in the Ranch form. The house is located near the front property line on a trapezoidal shaped parcel at the east end of Napoleon Place. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle side-gable roof with a tan-brick veneer. A front-facing gable projection spans the right-most bay of the façade, with a half-circle aluminum vent and a nine-over-six aluminum window with a storm window centered under the ridge. The left-most bay of the façade is a one-bay deep carport supported by a decorative iron column in the corner. The second bay has a single six-over-six aluminum double-hung window with a storm window. Centered in the middle of the central bay is the double front door with a double decorative iron storm door. The fourth bay has a triple window with a larger six-over-six aluminum window with a storm window flanked by two smaller four-over-four aluminum windows with storm windows. Under the carport is clad in aluminum siding, with a contemporary iron storm door in the corner on the rear wall, and a six-over-six aluminum window with a storm window in the corner on the right-hand side. The primary northeast elevation is clad in aluminum siding with a large aluminum louvered vent under the ridge, and a slab door on the rear. The southwest elevation is clad in tan-brick veneer with aluminum siding and a large aluminum louvered vent under the ridge. Two horizontal sliding windows and a six-over-six window with a storm window are evenly spaced under the gable. A large contemporary shed clad in vertical board siding with an asphalt shingle roof is in the northeast corner of the property.

Evaluation of Integrity: Resource HS-42 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all of the original windows are in place, the original ironwork characteristic of the neighborhood is in place and in good condition, and the form and original primary cladding materials have not been altered. HS-42 is recommended contributing to the French Fort district due to its high level of integrity.

DRAFT - DELIBERATIVE

Figure 194: 192 Napoleon Pl. west oblique, looking east.



Figure 195: 192 Napoleon Pl. northwest facade, looking southeast.



DRAFT - DELIBERATIVE

Figure 196: 192 Napoleon Pl. northeast oblique, looking southeast.



Figure 197: Outbuilding behind 192 Napoleon Pl., looking east.



DRAFT - DELIBERATIVE

18.1.29. Newly Inventoried Property HS-43: 188 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 188 Napoleon Pl., Resource HS-43 is a single-family residential house constructed in the Ranch style. The house is centrally located on a rectangular shaped parcel on the southeast side of the Napoleon Place cul-de-sac. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle hip roof with a brick veneer exterior on a concrete slab foundation. The façade can visually be divided into six bays. An original six-over-six wooden window with a decorative iron grate and a solid wooden panel underneath is centered in the first bay. The second bay has no fenestration, and the third has another original six-over-six wooden window with a decorative iron grate and a solid wooden panel underneath. Bay four has a three-rhombus-panel door with a decorative iron storm door. The fifth bay has a bay window with a six-over-six window in the center and a four-over-four window on each side, all with decorative iron grates. The last bay is a carport supported by square columns in the corner and the middle of the southwest side. The carport interior is clad in simulated vertical tongue and groove wood paneling with a half-light two-panel door and decorative iron door in the corner of the rear elevation. The northeast elevation has two equally spaced six-over-six double-hung windows with iron bars. A six-panel door is on the southwest elevation to the rear of the carport.

Evaluation of Integrity: Resource HS-43 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork is in place and in good condition, and the form and original primary cladding materials have not been altered. HS-43 is recommended contributing to the French Fort district due to its high level of integrity.

Figure 198: 188 Napoleon Pl. west oblique, looking east.



Figure 199: 188 Napoleon Pl. northwest facade, looking southeast.



DRAFT - DELIBERATIVE

Figure 200: 188 Napoleon Pl. north oblique, looking south.



DRAFT - DELIBERATIVE

18.1.30. Newly Inventoried Property HS-44: 180 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 180 Napoleon Pl., Resource HS-44 is a single-family residential house constructed in the Ranch style with Colonial Revival details. The house is centrally located on a rectangular shaped parcel on the southeast side of the Napoleon Pl. cul-de-sac. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle gable roof with a brick veneer exterior on a concrete slab foundation. A gabled projection extends from the northeast corner of the rear, with aside-gable open porch added at the end. The façade is composed of five bays with the roof over the middle three bays raised above the roof on either side creating a front porch supported by four wood Tuscan columns. The first bay has a wood six-over-six double-hung window with iron bars. Bays two and four each have a bay window composed of a four-over-four wooden double-hung window in each face. The front door could not be determined but is in the central bay with a decorative iron storm door. The last bay is double-width with a single six-over-six wood double-hung window centered in it. Under the gables at each end and under the elevated central roof, is clad in aluminum siding. The northeast elevation has a six-over-six wood double-hung window with iron bars under the left end of the gable, and a smaller six-over-six wood double-hung window with horizontal iron bars to the right. The southwest elevation has two six-over-six wood double-hung windows with iron bars centered under the gable, one window-width apart.

Evaluation of Integrity: Resource HS-44 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork is in place and in good condition, and the form and original primary cladding materials have not been altered. HS-44 is recommended contributing to the French Fort district due to its high level of integrity.

DRAFT - DELIBERATIVE

Figure 201: 180 Napoleon Pl. west oblique, looking east.



Figure 202: 180 Napoleon Pl. northwest facade, looking southeast.



DRAFT - DELIBERATIVE

Figure 203: 180 Napoleon Pl. north oblique, looking south.



DRAFT - DELIBERATIVE

18.1.31. Newly Inventoried Property HS-45: 205 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 205 Napoleon Pl., Resource HS-45 is a single-family residential house constructed in the Ranch style. The house is located near the front property line on a pentagonal shaped parcel on the south side of the Napoleon Pl. cul-de-sac. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle hip roof with a brick veneer exterior on a concrete slab foundation. A hipped projection extends from the northeast corner of the rear, terminating at a pyramidal roof structure. Centered on the façade is a double one-over-one wood window. To the left is a double-leaf entrance filled with double decorative iron storm doors. Centered between these and the corner is a twelve-over-eight wood double-hung window. Another twelve-over-eight wood double-hung window is mirrored to the other side of the façade. A decorative iron medallion is centered on the wall between the central and right-most windows. The east elevation has two small six-over-six wood double-hung windows spaced one window-width apart and centered on the wall. A one-bay opening is likely a carport, with an enclosed mass clad in simulated vertical tongue and groove wood paneling. The west elevation has two horizontal sliding windows one-width apart centered on the wall. Two large, contemporary outbuildings are in the southeast corner of the property: a front-gable structure clad in wood paneling with a metal roof, and a gambrel roof structure clad in vertical wood boards with a metal roof.

Evaluation of Integrity: Resource HS-45 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork is in place and in good condition, and the original primary cladding materials have not been altered. The rear addition alters the form, but it is not immediately visible from the ROW and does not impact the visual appearance. HS-45 is recommended contributing to the French Fort district due to its high level of integrity.

Figure 204: 205 Napoleon Pl. northwest oblique, looking southeast.



Figure 205: 205 Napoleon Pl. north facade, looking south.



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Figure 206: 205 Napoleon Pl. northeast oblique, looking southwest.



Figure 207: Outbuildings behind 205 Napoleon Pl., looking southwest.



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18.1.32. Newly Inventoried Property HS-46: 209 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 209 Napoleon Pl., Resource HS-46 is a single-family residential house constructed in the Ranch style. The house is located near the front property line on a triangular shaped parcel on the south side of the Napoleon Pl. cul-de-sac. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle side-gable roof with a tan-brick veneer. A front-facing gable projection spans the right-most bay of the façade, with a half-circle aluminum vent and a one-over-one vinyl window centered under the ridge. The two left-most bays of the façade are a one-bay deep carport supported by a square column in the corner. The third bay has a single one-over-one vinyl double-hung window. Centered in the middle of the façade is the front door with sidelights and a glass storm door over both. The fifth bay has a triple window with a larger one-over-one vinyl window flanked by two smaller one-over-one vinyl windows. Under the carport is clad in simulated vertical tongue and groove wood paneling, with a six-over-six vinyl fixed window on the left and contemporary glass storm door in the corner on the rear wall. A vinyl one-over-one double-hung window is in the corner on the right-hand side. Under the gable of the east elevation is clad in simulated vertical tongue and groove wood paneling with a large aluminum louvered vent under the ridge. The remaining elevations were not visible due to an eight-foot-tall wooden privacy fence.

Evaluation of Integrity: Resource HS-46 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain mostly intact as the form and original primary cladding materials have not been altered. The windows have been replaced but is nondetrimental to the integrity. HS-46 is recommended contributing to the French Fort district due to its high level of integrity.

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Figure 208: 209 Napoleon Pl. east oblique, looking west.



Figure 209: 209 Napoleon Pl., northeast façade looking southwest.



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18.1.33. Newly Inventoried Property HS-47: 215 Napoleon Place

Contributing to the French Fort Historic District

Description: Located at 215 Napoleon Pl., Resource HS-47 is a single-family residential house constructed in the Ranch form. The house is located near the front property line on a triangular shaped parcel on the west side of the Napoleon Pl. cul-de-sac. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is clad in white-brick veneer, oriented east and has an asphalt shingle hip roof with the middle three bays being a hipped projection. Two original rear hipped wings at each corner are connected with an original shed roof sloping away from the ridge of the primary roof. The eight-panel front door with decorative storm door is slightly right-of-center in the central bay, with a nine-over-six wood double-hung window with a storm window and decorative iron grate centered in each bay to the left and right. On the main mass, there is a six-over-six wood double-hung window with a storm window and decorative iron grate centered in each bay to the left and right of the projection. The south elevation has two six-over-six wood double-hung window with a storm window and decorative iron grates closely spaced from the center of the façade. A small six-over-six wood double-hung window with a storm window and decorative iron grate is centered on the north elevation with a full-size six-over-six wood double-hung window with a storm window and decorative iron grate closely spaced to the right. A large, detached carport with a pyramidal roof is in the northwest corner of the property. It is three bays in width, and three bays in depth, with the rear bay enclosed and clad in aluminum siding. A six-panel door is centered in the first and third bays of the east elevation on the enclosed bay.

Evaluation of Integrity: Resource HS-47 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain mostly intact as the original windows and ironwork are intact and in good condition, and original primary cladding materials have not been altered. The form has been changed by the rear additions, but they have minimal visual impact from the ROW. They do not overwhelm the form of the original house and are compatible with the design of the original house. HS-47 is recommended contributing to the French Fort district due to its high level of integrity.

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Figure 210: 215 Napoleon Pl. northeast oblique, looking southwest.



Figure 211: 215 Napoleon Pl. southeast oblique, looking northwest.



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Figure 212: Garage behind 215 Napoleon Pl., looking southwest.



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18.1.34. Newly Inventoried Property HS-48: 217 Napoleon Place

Non-contributing to the French Fort Historic District

Description: Located at 217 Napoleon Pl., Resource HS-48 is a single-family residential house constructed in the Split-Foyer style. The house is centrally located on a rectangular shaped parcel on the corner of Napoleon Pl. and the cul-de-sac. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented east and has an asphalt shingle side-gable roof with a brick veneer and simulated vertical tongue and groove wooden paneling exterior on a concrete slab foundation. The recessed entry divides three even bays on the façade from a larger bay on the right, with brick clad concrete steps leading to a concrete stoop with a decorative iron handrail centered on the six-panel front door with decorative half-light one-panel sidelights and glass storm door. The first floor is clad in brick veneer with a carport in the first bay supported by two square columns in the corner and middle of the south side, and a sixteen-panel rollup door in the second. The third bay has a double six-over-six wood double-hung window. No fenestration is on the first floor to the right of the entry. The second floor is clad in simulated vertical tongue and groove wooden paneling with a double six-over-six wood double-hung window centered in each bay. To the right of the entry is a triple six-over-six wood double-hung window. The south elevation is clad in brick veneer under the carport, with simulated vertical tongue and groove wooden paneling at the second floor. A six-over-six wood double-hung window is adjacent to the left corner with another one window-width in from the right-corner. The north elevation is also clad in simulated vertical tongue and groove wooden paneling with brick veneer on the first floor, with two horizontal aluminum sliding windows equally spaced. The rear, west elevation shows the carport bay is an addition as the wall enclosing it is a different brick. The left-most bay has double six-panel doors with decorative iron storm doors aligned with the right side of the bay. A double two-over-two horizontal aluminum double-hung window is centered in the bay at the second floor. The second bay has an aluminum horizontal sliding window also aligned at the right side of the bay, with a single two-over-two horizontal aluminum double-hung window centered in the bay above. An aluminum horizontal sliding window is aligned with the left side of the next bay, with another stacked above at the second floor. A single two-over-two horizontal aluminum double-hung window is aligned with the right side at the second floor. The only fenestration in the fourth bay is a six-panel door with a decorative iron storm door aligned

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to the left side. A twenty-light fixed window is centered in the last bay at the second floor. The additional southern bay was added sometime between 1973 and 1981.²⁶⁹

Evaluation of Integrity: Resource HS-48 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling do not remain as the windows and cladding materials of the second floor have been altered. While consistent with the character of the neighborhood, the addition of the southern bay changes the form of the structure. HS-48 is recommended non-contributing to the French Fort district due to this diminishment in integrity.

Figure 213: 217 Napoleon Pl. southeast oblique, looking northwest.



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²⁶⁹ 1973 Historic Aerial, accessed online via HistoricAerials.com, <https://www.historicaerials.com/>; 1981 Historic Aerial, Accessed online via Historic Shelby County Aerial Imagery

Figure 214: 217 Napoleon Pl. northeast oblique, looking southwest.



Figure 215: 217 Napoleon Pl. west elevation, looking southeast.



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18.1.35. Newly Inventoried Property HS-49: 1155 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 1155 Esplanade Pl., Resource HS-49 is a single-family residential house constructed in the Ranch style. The house is centrally located on a square shaped parcel on the southeast corner of Esplanade Pl and Napoleon Pl. According to tax assessor records, the house was constructed in 1969. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle side-gable roof with a Roman-brick veneer. A hip-roof addition spans two-thirds of the rear southeast elevation, beginning in the east corner. This dates between 1971 and 1981. A diminished front-facing gable projection spans the right-most third of the façade, with a half-circle aluminum vent and a one-over-one aluminum window with a storm window centered under the ridge. The original decorative iron window grate is now on the interior. The left third of the façade has a thirty-two-panel rollup garage door and approximately six inches of aluminum siding on either side, and sixteen inches above. Centered in the middle of the central bay is an arch-light front door with decorative sidelights and a decorative iron storm door with decorative iron sidelights. A cloth awning is supported by two rods and centered over the door. To the left of the door is a one-over-one aluminum window with a storm window, and to the right is a triple window with a larger one-over-one aluminum window with a storm window flanked by two smaller one-over-one aluminum windows with storm windows. The northeast elevation is clad in the same aluminum siding around the garage with a perforated vertical aluminum vent under the ridge. A horizontal aluminum sliding window is centered under the gable and a one-over-one horizontal aluminum double-hung window with a storm window is centered under the rear roof. The southwest elevation is clad in brick veneer with aluminum siding and a perforated vertical aluminum vent under the ridge in the gable. A horizontal aluminum sliding window is just below the intersection of the front gable roof and main gable, with another one width to the right. A one-over-one aluminum double-hung window with storm window is evenly spaced to the right.

Evaluation of Integrity: Resource HS-49 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling do not remain as the original carport was enclosed, multiple additions have altered the simple form, and all fenestration has been replaced. Due to these diminishments in integrity, HS-49 is recommended not contributing to the French Fort district.

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Figure 216: 1155 Esplanade Pl. west oblique, looking east.



Figure 216Error! Bookmark not defined.: 1155 Esplanade Pl. northwest facade, looking southeast.



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Figure 217: 1155 Esplanade Pl. north oblique, looking south.



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18.1.36. Newly Identified Property HS-50: 1145 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 1145 Esplanade Pl. on a 0.32-acre parcel, Resource HS-50 is a single-family residential building constructed in the Split-Foyer style. The house is located on the east side of Esplanade Pl. between Napoleon Pl. and Chartres Pl. and was constructed in 1970 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-50 is a two-story Split-Foyer house with a rectangular plan and a west-facing façade. The building has a side-gabled roof clad in corrugated metal and a continuous poured concrete foundation. The house is clad in brick veneer siding on the first story and horizontal fiber cement siding on the overhanging second story. Two original wrought iron gates set in a wooden fence lead to the rear of the property on either side of the house. The façade features a recessed entryway with a double-leaf entrance filled with wrought iron security doors and transom that opens onto a raised poured concrete stoop. The stoop retains original wrought iron railings. The front doors are replacement paneled wood with single square lights and replacement glass and wrought iron storm paired doors. A two-bay garage with replacement aluminum paneled and multi-light roll-up door is on the north side of the façade. The windows are filled with replacement one-over-one double hung vinyl sashes in pairs and fixed single-light vertical sashes covered by wrought iron security bars. The north elevation has two sliding two-light vinyl sash windows in the second story. A single-story wing with a gable roof of corrugated metal and brick veneer siding is on the south elevation of the house. The east (rear) elevation is not visible from the ROW.

Two non-historic, prefabricated outbuildings are present on the northeastern corner of the property. A single-story outbuilding has a hipped metal standing-seam roof, wood composite siding, and a single wood composite door. A single-story outbuilding with a gable roof covered in faux asphalt shingle and vertical wood composite siding. A rear view from an adjacent house shows the presence of a third single-story outbuilding with a gable roof of corrugated metal and wood composite siding.

Evaluation of Integrity: Resource HS-50 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house no longer maintains integrity of materials, design, workmanship, and feeling, as all the original windows and doors have been replaced, and the ironwork on the façade entrance is replacement. The house features original architectural details typical of the 1970s Split-Foyer style, such as its asymmetrical façade and recessed entry bay; however

alterations have lessened integrity. The house is not a good or intact example of the Split-Foyer house style that characterizes the French Fort neighborhood, and it is not considered a contributing resource to the historic district.

Figure 218: 1145 Esplanade Pl. west facade, looking east.



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Figure 219: Non-historic, prefabricated outbuildings behind 1145 Esplanade Pl., looking east.



Figure 220: Non-historic, prefabricated outbuilding behind 1145 Esplanade Pl., looking southeast.



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18.1.37. Newly Identified Property HS-51: 1135 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1135 Esplanade Pl. on a 0.34-acre parcel, Resource HS-51 is a single-family residential house constructed in the Ranch style. The dwelling is located at the northeast intersection of Esplanade Pl. and Chartres Pl. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, resource HS-51 is a single-story house with an L-plan and a south/southwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in a combination of brick veneer and vertical fiber cement siding. An original wrought iron fence encloses the rear yard. The façade features a south-facing single-leaf entry sheltered under the main roof of the house, to the left of the front-facing gabled wing. The entrance opens onto a broken tile patio, sheltered from the street by an original partial-height free-standing privacy wall of brick construction. The single-leaf front door is obscured by the original glass and wrought iron storm door. A two-bay attached carport is on the east/southeast elevation, supported by a wrought iron post. The recessed walls under the carport are clad in fiber cement siding and feature a single-leaf secondary entrance filled with an original glass and iron bar storm door and an original aluminum horizontal sliding window. The windows are filled with original aluminum sash vertical sliding windows with brick sills.

The east and west elevations of the front-facing gabled wing have ribbons of three fixed vertical aluminum sashes, with no fenestrations on the south elevation of the wing. The west elevation has no fenestrations except for a hexagonal window opening that has been retrofitted to hold a window air conditioning unit. The rear (north/northeast) elevation has a half-width porch with a concrete block foundation and post with balustrade. The porch is sheltered under a flat roof awning supported by simple wood posts. A rear single-leaf entrance with an original iron and glass bar storm door is on this elevation as well. Windows are filled with original horizontal sliding aluminum sashes and one-over-one double-hung aluminum sashes. Two non-historic, prefabricated outbuildings are present on the northeastern corner of the property. Both outbuildings are single-story construction with gable roofs of faux asphalt shingles and corrugated metal. Each one has wood composite doors with three lights and composite wood siding.

Evaluation of Integrity: Resource HS-51 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house.

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Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including ribbons of vertical aluminum sash windows, an attached carport, and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 221: 1135 Esplanade Pl. south/southwest-facing façade, looking north/northeast.



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Figure 222: 1135 Esplanade Pl. southeast oblique, facing northwest.



Figure 223: Non-historic, prefabricated outbuildings behind 1135 Esplanade Pl., looking east. This photo also shows the original pedestrian walkway leading east out of the neighborhood that was later truncated at I-55.



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18.1.38. Newly Identified Property HS-52: 220 Chartres Place

Contributing to the French Fort Historic District

Description: Located at 220 Chartres Pl. on a 0.24-acre parcel, Resource HS-52 is a single-family residential house constructed in the Ranch style. The house is located on the east side of Esplanade Pl. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-52 is a single-story house with a rectangular plan and a south/southwest-facing façade. The building has a low-pitched cross-hipped roof clad in asphalt shingles and a continuous poured concrete foundation. The exterior has brick veneer siding. The façade features a recessed entrance sheltered beneath the cross-hipped roof with a single-leaf entrance filled with an original wrought iron security door that opens onto a raised poured concrete stoop with a wrought iron support pier. The front door is an original four-paneled wood door. A two-bay carport with vertical fiber cement siding and two replacement vinyl paneled doors is on the northwest elevation. A secondary entrance is accessed from the carport and is filled with an original glass and wrought iron security door. The windows are filled with original six-over-six and eight-over-eight double-hung wood sashes with brick sills. Aerial imagery shows the rear (north/northeast) elevation has a centered gabled dormer. The rear and southeast elevations are not visible from the ROW.

Evaluation of Integrity: Resource HS-52 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, such as an attached carport, an asymmetrical façade, and wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 224: 220 Chartres Pl. south/southwest-facing façade, looking north/northeast.



Figure 225: 220 Chartres Pl. southwest oblique, facing northeast.



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18.1.39. Newly Identified Property HS-53: 214 Chartres Place

Contributing to the French Fort Historic District

Description: Located at 214 Chartres Pl. on a 0.37-acre parcel, Resource HS-53 is a single-family residential building constructed in the Split-Foyer style. The house is located on the east side of Esplanade Pl. at the end of Chartres Pl. and was constructed in 1969 according to tax assessor records. This date is consistent with historic aerials and the building's architectural style.

Of frame construction, Resource HS-53 is a two-story Split-Foyer house with a rectangular plan and a southwest-facing façade. The building has a side-gabled roof clad in asphalt shingles, a combination of brick veneer and fiber cement siding, and a continuous poured concrete foundation. The mailbox sits on an original wrought iron support. The façade features a recessed entrance of fiber cement siding with a single-leaf entrance filled with a replacement vinyl paneled door with fanlight that opens onto a raised poured concrete stoop. The stoop retains original iron railings. A two-bay garage with aluminum paneled and four-light roll-up doors is on the northwest side of the façade. Windows are filled with original six-over-six double-hung wood sashes in pairs and ribbons. The northwest elevation has a single six-over-six double-hung wood sash window on the second story. The southeast elevation features two sliding windows with brick sills on the first story. The rear (northeast) elevation was not visible from the ROW.

Evaluation of Integrity: Resource HS-53 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling, as the original windows and wrought iron railings are present. The house features architectural details typical of the Split-Foyer style, an asymmetrical façade, and wrought-iron detailing. As a good and intact example of the Split-Foyer house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 226: 214 Chartres Pl. southwest-facing façade, view looking northeast.



Figure 227: 214 Chartres Pl. northwest oblique, looking west.



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18.1.40. Newly Identified Property HS-54: 215 Chartres Place

Contributing to the French Fort Historic District

Description: Located at 215 Chartres Pl. on a 0.33-acre parcel, Resource HS-54 is a single-family residential house constructed in the Ranch style with French details. The dwelling is located at the end of Chartres Pl. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-54 is a single-story house with an irregular plan and a west/northwest-facing façade. The building has a cross-hipped roof clad in asphalt shingles and a continuous poured concrete foundation. The exterior has Roman brick veneer siding. The façade features a single-leaf entrance filled with a wrought iron security door sheltered beneath the hipped roof of the central block. Dentil corning is on the façade of the main roof overhang. The entrance opens onto a full-width shallow patio with poured concrete foundation and columns. The front door is a paneled vinyl replacement. The windows have been retrofitted and are filled with replacement one-over-one double-hung vinyl sashes resting on paneled fiber cement bulkheads with brick sills. The north/northeast elevation features two double-hung six-over-six sash windows, of which the composition was not visible from the ROW. The south/southwest and rear (east/southeast) elevations are not visible from the ROW. Aerial imagery shows a cross-hipped hyphen and wing addition on the rear (southeast) elevation, and a centered gabled dormer on the main block. A historic outbuilding is present in the northeast section of the property. The outbuilding has a gabled roof of asphalt shingles with exposed rafters and vertical wood composite exterior siding. Further details were not visible from the ROW.

Evaluation of Integrity: Resource HS-54 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The integrity of materials, design, workmanship, and feeling have lessened as all the original windows and doors have been replaced, and the façade windows do not retain their original openings. Although the form has been altered by a rear addition, it is not readily visible from the ROW and does not impact the integrity. The house features original architectural details typical of the Ranch style with French details, such as its higher pitched hipped roof on the façade, dentil cornice, and wrought iron detailing. The house is a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, and it is considered a contributing resource to the historic district.

Figure 228: 215 Chartres Pl. west/northwest façade, looking east/southeast.



Figure 229: 215 Chartres Pl. northwest oblique, looking southeast.



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Figure 230: 215 Chartres Pl. rear outbuilding, looking southeast.



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18.1.41. Newly Identified Property HS-55: 219 Chartres Place

Contributing to the French Fort Historic District

Description: Located at 219 Chartres Pl. on a 0.33-acre parcel, Resource HS-55 is a single-family residential house constructed in the Ranch style. The dwelling is located at the southeast intersection of Chartres Pl. and Esplanade Pl. and was constructed in 1969 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-55 is a single-story house with a rectangular plan and a north/northeast-facing façade. The building has a side-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The exterior has brick veneer siding with a soldier course of brick at the roofline. The façade entrance is sheltered beneath the main roof with a single-leaf entrance filled with a wrought iron and glass security door and original wood paneled door. The entrance opens onto a partial width poured concrete patio supported by wrought iron railings. A single bay attached garage with paneled aluminum roll-up door is on the west elevation. Windows are filled with original six-over-six double-hung wood sashes with brick sills. The side elevations have horizontal fiber cement siding in the gable fields. The west/northwest elevation has no fenestrations. The east/southeast elevation has two double-hung windows, but limited visibility from the ROW prevented further details. The rear (south/southwest) elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-55 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows and front door are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, such as an attached garage, an asymmetrical façade, and wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 231: 219 Chartres Pl. north/northeast façade, looking south/southwest.



Figure 232: 219 Chartres Pl. northwest oblique, looking southeast.



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18.1.42. Newly Identified Property HS-56: 227 Chartres Place

Contributing to the French Fort Historic District

Description: Located at 227 Chartres Pl. on a 0.2-acre parcel, Resource HS-56 is a single-family residential house constructed in the Ranch style. The dwelling is located at the southeast intersection of Esplanade Pl. and Chartres Pl. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-56 is a single-story house with a rectangular plan and a north/northeast-facing façade. The building has a side-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with a soldier course of brick at the roof line. The façade features a single-leaf entry sheltered under a shed roof porch. The entrance opens onto a partial width poured concrete patio supported by wrought iron rails. The single-leaf front door is filled with a paneled and square-light replacement wooden door and iron and glass security door. A single bay attached carport is on the east/southeast elevation, supported by a wrought iron post. The recessed walls under the carport are clad in vertical fiber cement siding. The carport features a single-leaf secondary entrance filled with an original paneled and three-light wood door and a non-historic glass and iron bar storm door. The windows are filled with original six-over-six wood sashes with brick sills. The east/southeast elevation has vertical fiber cement siding. The west/northwest elevation has vertical fiber cement siding in the gable field and no fenestrations. The rear (south/southwest) elevation has a sliding door that opens onto a poured concrete patio. The windows are filled with a sliding horizontal window, six-over-six double-hung wood sashes, and twelve-over-six double-hung wood sashes.

Evaluation of Integrity: Resource HS-56 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including an attached carport and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 233: 227 Chartres Pl. north/northeast façade, looking south/southwest.



Figure 234: 227 Chartres Pl. northeast oblique, looking southwest.



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18.1.43. Newly Identified Property HS-57: 1111 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1111 Esplanade Pl. on a 0.19-acre parcel, Resource HS-57 is a single-family residential house constructed in the Ranch style. The dwelling is located on the east side of Esplanade Pl. between Chartres Pl. and Rampart Pl. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-57 is a single-story house with a rectangular plan and a west/northwest-facing façade. The building has a hipped roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling has an exterior of brick veneer siding. The façade features a single-leaf entry sheltered under the main roof of the house. The entrance opens onto a partial width integrated porch with a poured concrete foundation and is filled with a replacement paneled aluminum door and a replacement glass and iron storm door. A two-bay attached carport is on the north/northeast elevation, supported by wrought iron posts. The recessed walls under the carport are clad in vertical fiber cement siding and feature a single-leaf secondary entrance filled with an original vertical three-light and wood door and non-historic glass and iron storm door. A paneled wood door leads to the rear of the enclosed carport. The windows are filled with original six-over-six and nine-over-six double-hung wood sashes. Two of the windows of the façade have paneled wood composite bulkheads. The north/northeast elevation has no fenestrations, and the south/southwest elevation has two sliding horizontal windows under the roofline. The rear (east/southeast) elevation is not visible from the ROW, but aerial imagery shows a central gabled dormer.

Evaluation of Integrity: Resource HS-57 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including an attached carport and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 235: 1111 Esplanade Pl. west/northwest façade, looking east/southeast.



Figure 236: 1111 Esplanade Pl. northwest oblique, looking southeast.



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18.1.44. Newly Identified Property HS-58: 232 Rampart Place

Contributing to the French Fort Historic District

Description: Located at 232 Rampart Pl. on a 0.19-acre parcel, Resource HS-58 is a single-family residential house constructed in the Ranch style. The dwelling is located at the northeast intersection of Esplanade Pl. and Rampart Pl. and was constructed in 1969 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-58 is a single-story house with a rectangular plan and a south/southwest-facing façade. The building has a hipped roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling has an exterior of brick veneer siding. The façade features a single-leaf entry sheltered under the main roof of the house that is filled with an original glass and wrought iron storm door. The front door is a replacement vinyl paneled door. The entrance opens onto a raised single-bay stoop of poured concrete. A two-bay attached carport is on the east/southeast facade, supported by wrought iron support piers. The recessed walls under the carport are clad in vinyl siding and feature a single-leaf secondary entrance filled with an original wood and diamond-light door behind an original glass and iron bar storm door. A wood composite slab door leads to the rear of the enclosed carport. The windows are filled with original six-over-six wood sash lights resting on paneled vinyl bulkheads and a projecting window bay with three elevations sheltered beneath a hipped roof overhang, all with brick sills. The west/northwest elevation has two six-over-six double-hung wood sashes with brick sills. The east/southeast elevation has no fenestrations. The rear (north/northeast) elevation has limited visibility from the ROW and was further obstructed by a non-historic concrete block privacy wall with a concrete geometric grille on top.

Evaluation of Integrity: Resource HS-58 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials on the main house have not been altered. The carport has replacement vinyl siding, but as it is in the accessory wing, integrity is not greatly impacted. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 237: 232 Rampart Pl. south/southwest façade, looking north/northeast.



Figure 238: 232 Rampart Pl. east/southeast elevation and privacy wall, looking west/northwest.



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18.1.45. Newly Identified Property HS-59: 224 Rampart Place

Contributing to the French Fort Historic District

Description: Located at 224 Rampart Pl. on a 0.29-acre parcel, Resource HS-59 is a single-family residential house constructed in the Ranch style. The dwelling is located at the northeast intersection of Esplanade Pl. and Rampart Pl. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-59 is a single-story house with a rectangular plan and a south/southwest-facing façade. The building has a cross-hipped roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling has an exterior of brick veneer siding with a soldier course of brick at the roofline. The façade features a single-leaf entry sheltered under a projecting hipped roof supported by wrought iron piers. The entrance opens onto a partial width porch of poured concrete and is filled with a replacement paneled and oval glass door and a replacement glass and wrought iron storm door. A single bay attached carport supported by wrought iron support piers is on the west/northwest elevation. The recessed walls under the carport are clad in fiber cement siding and feature a single-leaf secondary entrance filled with a non-historic glass and iron bar storm door over an original multi-light wood door. The windows are filled with original six-over-six double-hung wood sash lights and a horizontal sliding aluminum sash light, all with brick sills and original wrought iron security bars. Located at the end of a cul-de-sac, the west/northwest, east/southeast, and rear (north/northeast) elevations are not visible from the ROW. Aerial imagery shows a gabled dormer on the rear elevation.

Evaluation of Integrity: Resource HS-59 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including a low-pitched roof, an attached carport, and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 239: 224 Rampart Pl. south/southwest façade, looking north.



Figure 240: 224 Rampart Pl. southwest oblique, looking north/northeast.



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18.1.46. Newly Identified Property HS-60: 218 Rampart Place

Contributing to the French Fort Historic District

Description: Located at 218 Rampart Pl. on a 0.22-acre parcel, Resource HS-60 is a single-family residential house constructed in the Ranch style. The dwelling is located east of Esplanade Pl. at the end of Rampart Pl. cul-de-sac and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-60 is a single-story house with an L-plan and a west/northwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in a combination of brick veneer with vertical wood composite siding in the gable field. The façade features a single-leaf entry sheltered under the projecting front gabled roof. The entrance opens onto a partial width porch of poured concrete and supported by wrought iron support piers. The single-leaf front door is obscured by the original glass and wrought iron storm door. A one-bay attached carport is on the south/southwest elevation, supported by a wrought iron post. The recessed walls under the carport are clad in fiber cement siding and feature a single-leaf secondary entrance filled with an original glass and iron bar storm door and an original glass and wood door. The windows are filled with replacement six-over-six vinyl sash lights with brick sills. The north/northeast elevation has vertical fiber cement siding in the gable field and a brick veneer wall with no fenestrations. A rear addition, added between 1973 and 1984 according to historic aerial imagery, is visible when viewing this elevation. The rear wing has an exterior of horizontal fiber cement siding with paired replacement six-over-six vinyl sashes covered by wrought iron security bars. The south/southwest elevation has vertical fiber cement siding on both the gable field and primary elevation. Part of the rear wing is visible when viewing this elevation, and the wing has a double-hung window obscured by original wrought iron security bars. The rear (east/southeast) elevation is not visible from the ROW. A non-historic, prefabricated outbuilding is present in the southeastern corner of the property. The outbuilding has a gabled roof of crimped metal, an exterior of wood composite siding, and double wood slab doors.

Evaluation of Integrity: Resource HS-60 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The replacement windows has lessened integrity of materials, design, workmanship, and feeling. The footprint has been altered with a rear addition, but it is not visible from the street and does not impact integrity. The house features architectural details typical of the Ranch

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style, including an attached carport and original wrought-iron detailing. The house is a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, and it is considered a contributing resource to the historic district.

Figure 241: 218 Rampart Pl. southwest oblique, looking northeast.



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Figure 242: 218 Rampart Pl. rear outbuilding, looking northeast.



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18.1.47. Newly Identified Property HS-61: 221 Rampart Place

Non-contributing to the French Fort Historic District

Description: Located at 221 Rampart Pl. on a 0.24-acre parcel, Resource HS-61 is a single-family residential house constructed in the Split-Foyer style. The dwelling is located east of Esplanade Pl. at the end of the Rampart Pl. cul-de-sac and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-61 is a two-story Split-Foyer house with a rectangular plan and a west/northwest-facing façade. The building has a side-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The house is clad in a combination of stone veneer, brick veneer, and fiber cement siding. The façade features a recessed double-leaf entry sheltered under the main roof of the house. The entrance opens onto a raised patio with wrought iron support piers and is filled with original paneled wood and square-light double doors, covered by original wrought iron storm doors. A single-light horizontal transom is overhead. A one-bay attached carport is on the north/northeast elevation, supported by wrought iron posts. According to historical imagery, the carport was added sometime between 1971 and 1973, at which time the second story was likely altered with added stone veneer as well. The recessed walls under the carport are clad in vertical fiber cement siding and feature a single-leaf secondary entrance filled with an original glass and iron bar storm door. An original wood slab door accesses the rear enclosed carport. The windows are in pairs and are filled with original horizontal two-over-two double-hung wood sashes with brick sills on the first story and replacement one-over-one double-hung aluminum sashes on the second story. The north/northeast elevation has an uninterrupted wall of vertical fiber cement siding. The south/southwest and rear (east/southeast) elevations are not visible from the ROW. A non-historic, prefabricated outbuilding is in the northeastern corner of the property. The outbuilding has an exterior of wood composite siding, a gabled roof of asphalt shingles, and a slab door of wood composite.

Evaluation of Integrity: Resource HS-61 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house has been altered extensively, with a full-height and full-length addition, replacement exterior siding on the original portion, both of which are historic changes and replacement windows. As a result, it has lost integrity of materials, design, workmanship, and feeling. Because of this loss of integrity, it is no longer a representative example of the Split-Foyer type in the French Fort neighborhood and is recommended as a non-contributing resource.

Figure 243: 221 Rampart Pl. west/northwest façade, looking east.



Figure 244: 221 Rampart Pl. northwest oblique and rear outbuilding, looking southeast.



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18.1.48. Newly Identified Property HS-62: 227 Rampart Place

Contributing to the French Fort Historic District

Description: Located at 227 Rampart Pl. on a 0.2-acre parcel, Resource HS-62 is a single-family residential house constructed in the Ranch style. The dwelling is located at the northeast corner of the intersection of Esplanade Pl. and Chartres Pl. and was constructed in 1969 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-62 is a single-story house with a rectangular plan and a north/northeast-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding. The façade features a single-leaf entry sheltered under a shed roof overhang. The entrance opens onto a partial-width patio of poured concrete with original wrought iron railing. The entrance is filled with a replacement paneled wood composite and fanlight door and a non-historic iron and glass storm door. A two-bay attached garage is on the west/northwest elevation. The doors were either rolled up or missing during the time of survey. The recessed walls within the garage are clad in vinyl siding and feature a single-leaf secondary entrance filled with an original paneled wood and three-light door and original wrought iron and glass storm door. The windows are filled with original two-over-two double-hung wood sashes with iron security bars and brick sills. The west/northwest elevation has vinyl siding in the gable field and an uninterrupted expanse of brick veneer exterior. The east/southeast and rear (south/southwest) elevations are not visible from the ROW. A non-historic, prefabricated outbuilding is in southeast corner of the property. The outbuilding has a gabled roof of asphalt shingles, vertical wood composite siding, and double wood composite doors.

Evaluation of Integrity: Resource HS-62 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including a sprawling layout, an attached garage, and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 245: 227 Rampart Pl. north/northeast façade, looking south.



Figure 246: 227 Rampart Pl. northwest oblique, looking southeast.



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Figure 247: 227 Rampart Pl. rear outbuilding, looking south.



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18.1.49. Newly Identified Property HS-63: 233 Rampart Place

Contributing to the French Fort Historic District

Description: Located at 233 Rampart Pl. on a 0.21-acre parcel, Resource HS-63 is a single-family residential house constructed in the Ranch style. The dwelling is located at the southeast corner of the intersection of Esplanade Pl. and Rampart Pl. and was constructed in 1969 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-63 is a single-story house with a rectangular plan and a north/northeast-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The gable fields have horizontal fiber cement siding. The dwelling is clad in a combination of brick veneer and fiber cement siding, with a soldier course of brick at the roofline. The façade features a single-leaf entrance filled with an original wood slab door and wrought iron and glass storm door. The entrance opens onto a partial width poured concrete patio with wrought iron railings, sheltered beneath the front gable roof. The house has an integrated carport connecting the main block to a single-story addition on the east/southeast elevation, which according to historical aerial imagery was added between 1973 and 1984. The addition has double wood composite slab doors and a two-over-two double-hung wood sash window on its west/northwest wall. A two-bay carport is between the house and wing, and the recessed walls within the carport are clad in horizontal fiber cement siding. A secondary entrance is within the carport and is filled with an original two-light and paneled wood door and wrought iron storm door. The windows are filled with original six-over-six double-hung wood sash lights with brick sills. The west/northwest elevation is clad in brick veneer and has no fenestrations. The east/southeast elevation has horizontal fiber cement siding and a horizontal sliding window of aluminum sash. The rear (south/southwest) elevation has original six-over-six double-hung wood sashes, sliding horizontal aluminum sashes, sliding glass and metal doors leading to a poured concrete stoop. The southeast elevation is clad in horizontal fiber cement siding and has an entrance to the enclosed addition and is filled with a wrought iron and glass storm door, obscuring the entrance door.

Evaluation of Integrity: Resource HS-63 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, and the original ironwork characteristic of the neighborhood has not been removed and is in good condition. Although the form has been altered by enlarging the footprint, the addition is consistent with the character of the neighborhood and original

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primary materials have not been altered. The house features architectural details typical of the Ranch style, including its sprawling layout, an attached carport, and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 248: 233 Rampart Pl. north/northeast façade, looking south/southwest.



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Figure 249: 233 Rampart Pl. northeast oblique, looking southwest.



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18.1.50. Newly Identified Property HS-64: 1085 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1085 Esplanade Pl. on a 0.23-acre parcel, Resource HS-64 is a single-family residential house constructed in the Ranch style. The dwelling is located at the northeast intersection of Esplanade Pl. and Wisconsin Ave. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-64 is a single-story house with an L-shaped plan and a west/northwest-facing façade. The building has a cross-hipped roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in a combination of brick veneer and vinyl siding with a soldier course of brick at the roof line. The façade features a recessed single-leaf entry on the open gable with a vaulted roof, sheltered under the main roof. The entrance opens onto a single leaf poured concrete porch with wrought iron support piers. The single-leaf front door is filled with a replacement wood composite slab door and an original wrought iron and glass storm door. The windows are filled with a picture window with one-over-one wood sash fixed-lights and horizontal two-over-two wood sash lights with brick sills. The south/southwest elevation features a later addition on the southeast corner constructed between 1971 and 1973 and expanded by 1984, according to historical aerial imagery. The three-bay carport has an enclosed corner with vinyl siding and double wood composite slab doors. The carport is enclosed with non-original wrought iron gates. The north/northeast elevation an addition added between 1973 and 1984 based on historical aerial imagery and as seen by the change in brickwork. The elevation also features two horizontal aluminum sash lights at the roofline with brick sills. The rear (east/southeast) elevation features a six-over-six double-hung wood sash and horizontal two-over-two wood or aluminum sash lights with brick sills. A secondary entrance is filled with an original wrought iron and glass security door. Historical imagery reveals Resource HS-64 has undergone additions, including the northeast gabled wing and the southeast covered carport. According to historical aerial imagery and the change in brickwork, these additions took place between 1973 and 1984.

Evaluation of Integrity: Resource HS-64 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition. The form and original primary materials have been altered with the additions and replacement of some siding. However, these do not

significantly impact the integrity as the addition is on a secondary elevation, is subordinate to the form of the original house, and is consistent with the character of the neighborhood. The house features architectural details typical of the Ranch style, including a low-pitched roof and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 250: 1085 Esplanade Pl. west/northwest façade, looking east.



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Figure 251: 1085 Esplanade Pl. southwest oblique, looking northeast.



Figure 252: 1085 Esplanade Pl. northeast addition, view looking southeast.



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18.1.51. Newly Identified Property HS-65: 234 Wisconsin Avenue

Contributing to the French Fort Historic District

Description: Located at 234 Wisconsin Ave. on a 0.19-acre parcel, Resource HS-65 is a single-family residential house constructed in the Ranch style with Colonial Revival details. The dwelling is located at the northeast intersection of Esplanade Pl. and Wisconsin Ave. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-65 is a single-story house with a rectangular plan and a south/southwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with vinyl siding in the gable fields and under the carport. The façade features a single-leaf entry sheltered under the projecting front-gabled roof. The entrance opens onto a partial width poured concrete patio supported by Classical wood columns, one of which is missing. The single-leaf front door is filled with a paneled and fan-light replacement door and a wrought iron and glass storm door. A single bay attached carport is on the west/northwest elevation, supported by a wood column. The recessed walls under the carport are clad in vinyl siding. The carport features a single-leaf secondary entrance filled with an original wrought iron and glass storm door. A wood composite slab door accesses the interior block under the carport roof. The windows are filled with original six-over-six wood sashes with brick sills. The west/northwest elevation is clad in vinyl siding and has no fenestrations. The east/southeast elevation has an uninterrupted wall of brick veneer and vinyl siding in the gable field. The rear (north/northeast) elevation is not visible from the ROW.

Resource HS-65 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including a single-story porch supported by wood columns, traditional multi-pane windows, and an attached carport. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 253: 234 Wisconsin Ave. south/southwest façade, looking north/northeast.



Figure 254: 234 Wisconsin Ave. southwest oblique, looking northeast.



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18.1.52. Newly Identified Property HS-66: 226 Wisconsin Avenue

Contributing to the French Fort Historic District

Description: Located at 226 Wisconsin Ave. on a 0.24-acre parcel, Resource HS-66 is a single-family residential house constructed in the Ranch style. The dwelling is located at the southeast intersection of Esplanade Pl. and Chartres Pl. and was constructed in 1968 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-66 is a single-story house with an irregular plan and a south-facing façade. The building has a side-gabled roof with cross hips clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in a combination brick veneer, vinyl, and fiber cement siding with a soldier course of brick at the roof line. The façade features a single-leaf entry sheltered under a shed roof porch. The entrance opens onto a partial width poured concrete patio supported by wrought iron support piers. The single-leaf front door is filled with a replacement paneled vinyl door and a replacement iron and glass security door. A single bay enclosed garage is on the east elevation. The garage is clad in horizontal and vertical fiber cement siding and has a non-historic metal roll-up door. The windows are filled with replacement one-over-one vinyl sashes with brick sills. The east elevation has vinyl siding in the gable and a one-over-one vinyl sash window on the rear wing. The west elevation is primarily clad in horizontal fiber cement siding. The retrofitted wall enclosing the garage has vertical wood composite siding. The rear (north) elevation is not visible from the ROW. According to historical imagery, the large rear hipped-roof wing was added between 1973 and 1984. Google Streetview imagery reveals the carport was retrofitted as an enclosed garage between 2021 and 2024, at which point the front door and wrought iron security door were replaced as well.

Evaluation of Integrity: Resource HS-66 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The integrity of materials, design, workmanship, and feeling have lessened as the original windows, front door, and storm door have been replaced. The form has been altered by a rear addition; however, this does not impact integrity because it is not visible from the street. Because the house features architectural details typical of the Ranch style, including a low-pitched roof and original wrought-iron detailing, it is a good and intact example of the Ranch house style that characterizes the French Fort neighborhood. It is considered a contributing resource to the historic district.

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Figure 255: 226 Wisconsin Ave. south façade, looking north.



Figure 256: 226 Wisconsin Ave. southwest oblique, looking northeast.



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Figure 257: 226 Wisconsin Ave., Google Streetview Imagery, July 2021, showing carport prior to enclosure



Accessed online via Google Maps

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18.1.53. Newly Identified Property HS-67: 227 Wisconsin Avenue

Contributing to the French Fort Historic District

Description: Located at 227 Wisconsin Ave. on a 0.4-acre parcel, Resource HS-67 is a single-family residential house constructed in the Ranch style. The dwelling is near the southeast intersection of Esplanade Pl. and Wisconsin Ave. and was constructed in 1974 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-67 is a single-story house with an irregular plan and a northeast-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with vinyl siding in the gable fields and under the carport. The façade features a single-leaf entry sheltered under the projecting front-gabled porch. The entrance opens onto a partial width poured concrete patio supported by wrought iron support piers. The single-leaf front door is filled with a wrought iron and glass storm door that obscures the front door. A single bay attached carport is on the southeast elevation, supported by wrought iron support piers. A non-historic wrought iron gate accesses the carport. The recessed walls under the carport are clad in vinyl siding. The carport features a single-leaf secondary entrance with an original wrought iron and glass storm door. A wood composite slab door accesses the enclosed rear portion of the carport. The windows are filled with original six-over-six wood sashes with brick sills. The northwest elevation is clad in brick veneer with vinyl siding in the gable field and features two horizontal sliding aluminum or wood sash lights with brick sills. The east/southeast elevation an integrated brick planter in front of the wrought iron gate to the carport. The rear (southwest) elevation is not visible from the ROW. Aerial imagery shows a non-historic, prefabricated outbuilding in the southeast corner of the property. The outbuilding has a low-pitched gabled roof of crimped metal, board and batten siding, and double wood composite slab doors. The rear yard is enclosed by a wrought iron fence, and the mailbox rests on a wrought iron decorative post.

Evaluation of Integrity: Resource HS-67 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residence. Integrity of materials, design, workmanship, and feeling remain as the original windows are in place, the original ironwork characteristic of the neighborhood is in good condition, and the form and primary materials have not been altered. The house features details typical of the Ranch style, including an attached carport, an asymmetrical façade, and wrought iron detailing. As a good and intact example of the Ranch style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 258: 227 Wisconsin Ave. north/north-east façade, looking south.



Figure 259: 227 Wisconsin Ave. rear outbuilding and decorative brick privacy wall, looking southwest.



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18.1.54. Newly Identified Property HS-68: 1063 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1063 Esplanade Pl. on a 0.28-acre parcel, Resource HS-68 is a single-family residential house constructed in the Ranch style. The dwelling is located at the southeast intersection of Esplanade Pl. and Chartres Pl. and was constructed in 1972 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-68 is a single-story house with an L-shaped plan and a northwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad brick veneer with fiber cement siding in the gable fields. The façade features a single-leaf entry sheltered under a shed roof porch. The entrance opens onto a partial width poured concrete patio supported by squared wood posts. The single-leaf front door is filled with a wrought iron and glass storm door. The windows are filled with original paired two-over-two double-hung wood sashes with brick sills. The northeast elevation has fiber been retrofitted with vertical fiber cement siding and non-original wrought iron double doors. A two-bay attached carport supported by wrought iron support piers is visible on this elevation. The recessed walls under the carport are clad in horizontal fiber cement siding. The carport, which according to historical aerial imagery was expanded on the southeast elevation between 1973 and 1984, features a wood composite slab door accessing the rear enclosed portion of the carport and a single-leaf secondary entrance filled with an original wrought iron and glass storm door. The southwest elevation has two two-over-two double-hung wood sashes with brick sills. A third window is minimally visible from the ROW, but the composition was unable to be determined from the ROW. The rear southeast elevation is minimally visible from the ROW and features double wrought iron doors and a large picture window.

Evaluation of Integrity: Resource HS-68 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition. Although the form has been altered with an addition, the original primary materials have not been altered and the addition is consistent with the character of the neighborhood. The house features architectural details typical of the Ranch style, including an attached carport, a sprawling form, and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 260: 1063 Esplanade Pl. west/northwest façade, looking east.



Figure 261: 1063 Esplanade Pl. north/northeast elevation, looking south.



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18.1.55. Newly Identified Property HS-69: 1053 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1053 Esplanade Pl. on a 0.3-acre parcel, Resource HS-69 is a single-family residential house constructed in the Ranch style. The dwelling is located north of the intersection of Esplanade Pl. and Deumaine Pl. and was constructed in 1972 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

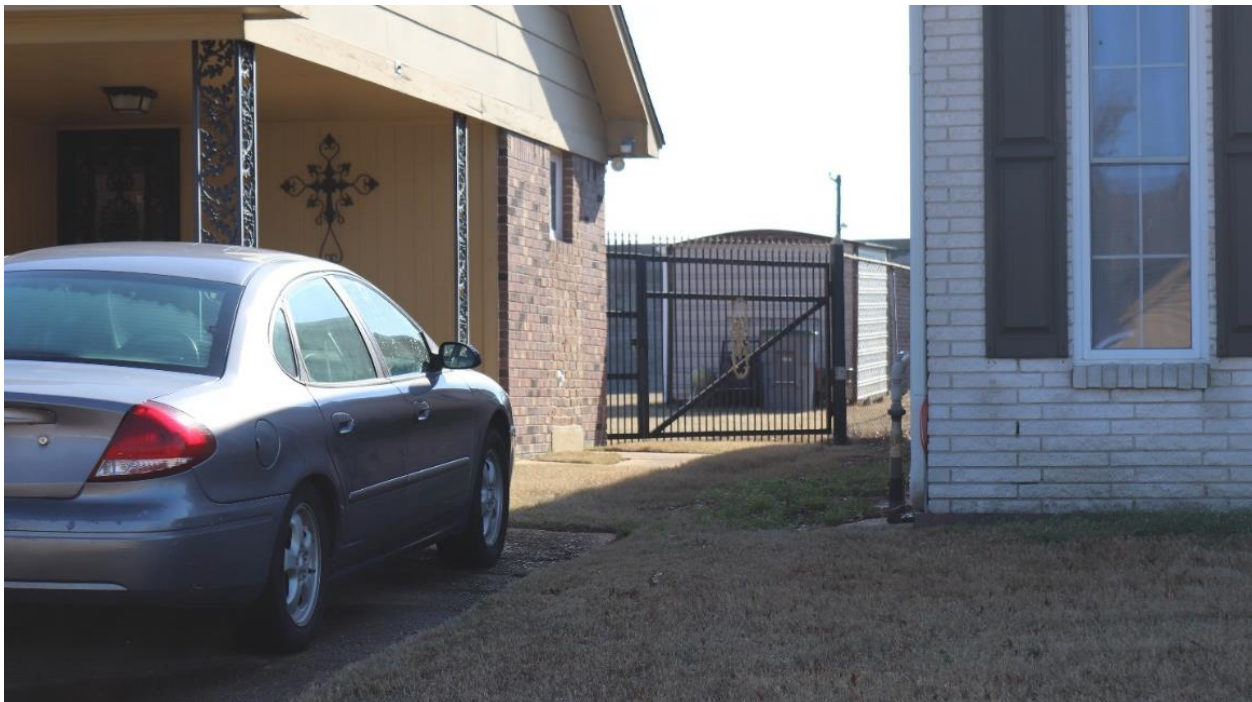
Of frame construction, Resource HS-69 is a single-story house with a rectangular plan and a northwest-facing façade. The building has a side-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with a soldier course of brick at the roof line and fiber cement siding in the gable fields. The façade features a single-leaf entry sheltered under a shed roof porch. The entrance opens onto a partial width poured concrete porch supported by wrought iron support piers. The single-leaf front door is filled with an original four-panel wood door and a wrought iron and glass storm door. A single bay attached carport is on the southwest elevation and is supported by wrought iron support piers. The recessed walls under the carport are clad in vertical fiber cement siding. The carport features a single-leaf secondary entrance filled with an original wrought iron and glass storm door. The windows are filled with original six-over-six and nine-over-six double-hung wood sashes in pairs with brick sills and wrought iron security bars. The northeast elevation has two two-over-two double-hung windows with brick sills. The southwest elevation has a retrofitted horizontal vinyl sash sliding window where a secondary entrance to the house was originally located. The rear southeast elevation is not visible from the ROW. Aerials indicate a non-historic, partial width shed addition and a rear non-historic, prefabricated outbuilding near the southern boundary of the property. The outbuilding has horizontal crimped metal siding and a gabled metal roof. The rear yard is enclosed by wrought iron fencing.

Evaluation of Integrity: Resource HS-69 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including an attached carport and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 262: 1053 Esplanade Pl. northwest elevation, looking southeast.



Figure 263: 1053 Esplanade Pl. south/southwest elevation carport and rear outbuilding, looking east.



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18.1.56. Newly Identified Property HS-70: 1030 Deumaine Place

Non-contributing to the French Fort Historic District

Description: Located at 1030 Deumaine Pl. on a 0.33-acre parcel, Resource HS-70 is a single-family residential house constructed in the Ranch style with French details. The dwelling is located at the northeast intersection of Esplanade Pl. and Deumaine Pl. and was constructed in 1972 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-70 is a single-story house with an L-shaped plan and a west/northwest-facing façade. The building has a cross-hipped roof clad in asphalt shingles and a continuous poured concrete foundation. Aerials indicate a large original rear hipped-ell wing and a shed roof addition added sometime before 1984. The exterior has roughhewn brick veneer siding. The façade features a recessed single-leaf entrance filled with a non-historic, replacement entrance of single-light and wood sidelights, a paneled wood and oval light front door, and a non-historic glass and iron storm door. The recessed entrance has diagonal wood composite siding. The entrance opens onto a one-bay poured concrete stoop that is supported by squared wood posts. The windows are filled with original narrow four-over-four double-hung wood sash lights with arched brick lintels and brick sills. The north/northeast elevation features four-over-four and six-over-six double-hung wood sash windows with brick sills, of which the composition was not visible from the ROW. The south/southwest elevation has two six-over-six double-hung wood sash windows. The rear (east/southeast) elevation is not visible from the ROW.. The rear yard is enclosed by a wrought iron fence.

Evaluation of Integrity: Resource HS-70 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Despite retaining the original windows, the house no longer maintains integrity of materials, design, workmanship, and feeling as the façade entrance has been altered. The house features original architectural details typical of the Ranch style with French details, such as its higher pitched hipped roof on the façade, long and narrow window openings, and wrought iron detailing; however, the façade entrance is a key feature for all houses, and the altered entrance and porch no longer resembles a typical Ranch-style building. The house also has a rear addition, although it is minimally visible from the ROW. The house is not a good or intact example of the Ranch house style that characterizes the French Fort neighborhood, and it is not considered a contributing resource to the historic district.

Figure 264: 1030 Deumaine Pl. west/northwest façade, looking east/southeast.



Figure 265: 1030 Deumaine Pl. southwest oblique, looking northeast.



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18.1.57. Newly Identified Property HS-71: 1038 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1038 Deumaine Pl. on a 0.3-acre parcel, Resource HS-71 is a single-family residential house constructed in the Ranch style. The dwelling is located at the southeast intersection of Esplanade Pl. and Deumaine Pl. and was constructed by 1971 according to historical aerial imagery, although the tax assessor records state a date of construction of 1972. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-71 is a single-story house with an irregular plan and a west/northwest-facing façade. The building has a gable-on-hipped roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with a soldier course of brick at the roof line. The façade features a single-leaf entry sheltered under the main roof of the house. The entrance opens onto a partial width poured concrete stoop and is filled with an original wood slab door and a wrought iron and glass storm door. To the right of the entrance is a projecting window bay with three six-over-six double-hung wood sash windows sheltered under a projecting hipped roof covering. A single bay attached carport is on the west/southwest elevation, supported by wrought iron support piers. The recessed walls under the carport are clad in board and batten siding. The carport features a single-leaf secondary entrance filled with an original wrought iron and glass storm door. The windows are filled with original six-over-six double-hung wood sashes with brick sills and wrought iron security bars. The south/southwest elevation has a secondary entrance filled with an iron bar security door and a wood slab door. The north/northeast elevation has three double-hung windows with brick sills, whose composition could not be determined from the ROW. The rear (east/southeast) elevation was not visible from the ROW; aerials indicate a large rear ell addition. The rear yard is enclosed by iron fencing.

Evaluation of Integrity: Resource HS-71 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including an attached carport and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 266: 1038 Deumaine Pl. west/northwest façade, looking east.



Figure 267: 1038 Deumaine Pl. southwest oblique, looking northeast.



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18.1.58. Newly Identified Property HS-72: 1044 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1044 Deumaine Pl. on a 0.2-acre parcel, Resource HS-72 is a single-family residential house constructed in the Ranch style. The dwelling is located at the southeast intersection of Esplanade Pl. and Chartres Pl. and was constructed in 1975 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-72 is a single-story house with a squared plan and a northwest-facing façade. The building has a cross-gabled roof clad in corrugated metal and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with vertical fiber cement siding in the gable fields and a soldier course of brick at the roof line. The façade features a single-leaf entry sheltered under the main roof of the house. The entrance opens onto a poured concrete stoop and is filled with an original wood slab door and wrought iron and glass security door. The entry has an arched surround of vertical fiber cement siding. A single bay attached carport is on the north/northeast elevation and is supported by decorative iron posts. The recessed walls under the carport are clad in vertical fiber cement siding. The carport features a single-leaf secondary entrance with an original wrought iron and glass storm door. The windows are original and replacement six-over-six double-hung wood and vinyl sashes with brick sills and arched detailing of fiber cement siding overhead. The northeast elevation has six-over-six vinyl sash windows. The southwest elevation has two double-hung windows as well. The rear (southeast) elevation is not visible from the ROW, but historical aerial imagery reveals the rear was expanded with a three non-historic additions, replacing an original rear-ell wing. According to historic aerials, the southernmost addition was added between 1994 and 2006, and the other two were added between 2008 and 2010. A non-historic, prefabricated outbuilding is in the southeast corner of the property. Only minimally visible from the ROW, the outbuilding has a corrugated metal gambrel roof and wood composite siding. Aerial imagery also shows a swimming pool in the rear yard. The rear yard is enclosed by an iron bar fence and the mailbox rests on a wrought iron support post.

Evaluation of Integrity: Resource HS-72 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as many of the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original primary materials have not been altered. The house features architectural details typical of the Ranch style, including an attached carport and original wrought-iron detailing. Although it has rear additions, these

are not readily visible from the ROW and do not impact the integrity of the house. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 268: 1044 Deumaine Pl. southwest oblique, looking northeast.



Figure 269: 1044 Deumaine Pl. north/northeast carport, looking southeast.



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Figure 270: 1044 Deumaine Pl. rear outbuilding, looking east.



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18.1.59. Newly Identified Property HS-73: 1050 Deumaine Place

Non-contributing to the French Fort Historic District

Description: Located at 1050 Deumaine Pl. on a 0.22-acre parcel, Resource HS-73 is a single-family residential house constructed in the Contemporary style with a front-gable form. The dwelling is located on the east side of Deumaine Pl. and was constructed in 1972 according to tax assessor records, although the property shows up in historic aerial imagery from 1971. A ca. 1971 construction date is consistent with the house's architectural style and the age of surrounding buildings.

Of frame construction, Resource HS-73 is a single-story house with a rectangular plan and a west/northwest-facing façade. The building has a front-cross-gabled roof of varying heights with exposed beams and is clad in asphalt shingles and a continuous poured concrete foundation. The house has an internal stone chimney as well. The exterior has a combination of brick veneer and fiber cement siding. The façade features a recessed single-leaf entrance with stone veneer surround sheltered beneath the main roof. The entrance is filled a replacement square-light and wood sidelights and replacement wood and square-light door. Fiber cement siding fills what was likely a trapezoidal window above the entrance. The entrance opens onto a partial width poured concrete patio with integrated brick planters on either side. The façade features a centered panel of horizontal paneled fiber cement siding, likely covering gable-end windows, with paired one-over-one double-hung wood sashes with brick sills. The house has an integrated two-bay garage with original high-style roll-up doors of paneled aluminum with decorative fanlights. The south/southwest elevation features single and paired one-over-one double-hung wood sash windows with brick and stone sills and non-historic double vinyl and glass doors that open onto the side yard. The north/northeast and rear (east/southeast) elevations are not visible from the ROW. Historical aerial imagery reveals the east/southeast elevation was expanded between 1973 and 1984, resulting in the varying roof heights. The home has brick privacy walls on the north/northeast and south/southwest elevations that extend to the sidewalk and integrated brick planters on either side of the driveway. The home has a wrought iron gate that accesses the south/southwest yard. Aerial imagery shows the presence of an outbuilding in the southeast section of the property. The outbuilding has a gabled roof of asphalt shingles, but further details were not visible from the ROW. The mailbox is within a decorative stone base.

Evaluation of Integrity: Resource HS-73 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house no longer maintains integrity of materials, design, workmanship, and feeling, as entrance doors and sidelights have been replaced, and the Contemporary-style windows

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have been enclosed over the entrance and on the front elevation. The house features original architectural details typical of the Contemporary style, such as its front-gabled roof, exposed roof beams, and trapezoidal and gabled window openings; however, the trapezoidal and gabled windows have been covered with fiber cement siding and the entrance no longer represents a Contemporary style house. The form has also been altered by rear additions which are visible from the street. The house is not a good or intact example of the Contemporary house style that characterizes the French Fort neighborhood, and it is not considered a contributing resource to the historic district.

Figure 271: 1050 Deumaine Pl. west/northwest façade, looking east/southeast.



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Figure 272: 1050 Deumaine Pl. southwest oblique, looking northeast.



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18.1.60. Newly Identified Property HS-74: 1056 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1056 Deumaine Pl. on a 0.22-acre parcel, Resource HS-74 is a single-family residential house constructed in the Ranch style. The dwelling is located on the east side of Deumaine Pl. and was constructed in 1971 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, resource HS-74 is a single-story house with a rectangular plan and a west/northwest-facing façade. The building has a hipped roof clad in asphalt shingles and a continuous poured concrete foundation. The house is clad in brick veneer siding. The façade features a recessed corner single-leaf entry that opens onto a partial width poured concrete patio and sheltered under the main roof. The entrance is filled with a paneled and rectangular-light replacement vinyl door. A single bay attached carport is on the north/northeast elevation, supported by wrought iron support piers. The recessed walls under the carport are clad in vertical fiber cement siding. The carport features a single-leaf secondary entrance filled with an original wrought iron and glass storm door. The windows are filled with original six-over-six double-hung wood sashes with brick sills and wrought iron security bars. The north/northeast elevation features the single bay attached carport with fiber cement siding on the recessed walls. The south/southwest elevation features three double-hung wood sash windows with brick sills, two of which have iron security bars. The rear (east/southeast) elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-74 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style, including an attached carport and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 273: 1056 Deumaine Pl. west/northwest façade, looking east.



Figure 274: 1056 Deumaine Pl. southwest oblique, looking northeast.



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18.1.61. Newly Identified Property HS-75: 1062 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1062 Deumaine Pl. on a 0.22-acre parcel, Resource HS-75 is a single-family residential house constructed in the Ranch style with Spanish Revival details. The dwelling is located on the east side of Deumaine Pl. and was constructed in 1971 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-75 is a single-story house with an L-shaped plan and a west/northwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with fiber cement siding in the gable fields and a rowlock course of brick at the roof line. On either side of the house is a brick wingwall. The façade features a central rounded arch accessing the entrance and patio, sheltered the main roof of the house. The entrance and patio composition are not visible from the ROW. The recessed façade elevation has horizontal fiber cement siding and two windows whose composition could not be determined from the ROW but are likely sliding sashes. A two-bay attached garage is on the south/southeast side of the house and features roll-up metal doors with horizontal panels and two lights. The windows are filled with original two-over-two double-hung wood sashes with brick sills and iron security bars. The north/northeast elevation has and two-over-two and four-over-four double-hung wood sashes with brick sills and iron security bars. The south/southwest elevation has a secondary entrance with an original paneled wood door. The rear (east/southeast) elevation is not visible from the ROW; aerials indicate a rear ell addition.

Evaluation of Integrity: Resource HS-75 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the arched entrance is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style with Spanish Revival details, including an original brick wingwall, an arched portico opening, and original buff-colored brick exterior. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 275: 1062 Deumaine Pl. west/northwest façade, looking east/southeast.



Figure 276: 1062 Deumaine Pl. southwest oblique, looking northeast.



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18.1.62. Newly Identified Property HS-76: 1068 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1068 Deumaine Pl. on a 0.21-acre parcel, Resource HS-76 is a single-family residential house constructed in the Ranch style. The dwelling is located on the east side of Deumaine Pl. and was constructed in 1971 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-76 is a single-story house with a rectangular plan and a west/northwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in a combination of Roman-brick veneer and fiber cement siding with a wide band of trim below the roofline. The façade features a recessed south/southwest facing single-leaf entry sheltered under the main roof. The entrance opens onto a recessed partial width poured concrete patio and is filled with an original decorative paneled wood door. A double bay attached garage is on the south/southwest elevation and features a replacement paneled roll-up metal door. The windows are filled with a ribbon of original six-over-six double-hung wood sashes with brick sills. The north/northeast elevation has a bricked over window opening on the main block of the house and at least two windows on the rear wing. Further details were not visible from the ROW. The south/southwest elevation features fiber cement siding and a brick skirt wall with a two-over-two double-hung wood sash and a ribbon of six-over-six double-hung wood sashes and brick sills. A secondary entrance is on this elevation, but visibility is limited from the ROW. The rear (east/southeast) elevation is not visible from the ROW. Aerial imagery show multiple rear additions and a non-historic, prefabricated outbuilding with a gable roof in the southeast corner of the property. The additions were built in 1987 and 2008 according to county records and historic aerials. The mailbox rests on a wrought iron post.

Evaluation of Integrity: Resource HS-76 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows and front door are in place and the original primary materials have not been altered. Although the form has been altered by rear additions, they are not readily visible from the ROW. The house features architectural details typical of the Ranch style, including an attached garage and recessed entrance. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 277: 1068 Deumaine Pl. west/northwest-facing façade, looking southeast.



Figure 278: 1068 Deumaine Pl. southwest oblique, looking northeast.



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18.1.63. Newly Identified Property HS-77: 1072 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1072 Deumaine Pl. on a 0.21-acre parcel, Resource HS-77 is a single-family residential house constructed in the Ranch style with Spanish details. The dwelling is located on the eastern side of Deumaine Pl. and was constructed in 1971 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-77 is a single-story house with an irregular plan and a west/northwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The exterior is clad in brick veneer siding. The façade features a south/southwest-facing single-leaf entry recessed under the cross gable and sheltered under the main roof of the house. The entrance opens onto a shallow partial width poured concrete patio supported by wood posts. The single-leaf front door is filled with an original wrought iron and glass storm door. A double bay attached carport is under the side-gabled roof on this elevation and is supported by wood posts. The recessed walls under the carport are clad in vertical fiber cement siding. The carport features a single-leaf secondary entrance filled with a wrought iron and glass storm door. The windows are filled with tall, narrow original nine-over-six double-hung wood sashes with brick sills, arched window openings, and wrought iron security bars. Three faux beams protrude from the front-facing gable.

The north/northeast elevation variations of sliding and double-hung windows with brick sills and wrought iron security bars whose composition could not be determined from the ROW. The south/southwest elevation of the rear wing is not visible from the ROW. The rear (east/southeast) elevation is not visible from the ROW, but historical aerial imagery reveals the rear was extended at the southeast corner between 1973 and 1984. Aerial imagery shows two non-historic, prefabricated outbuilding in the northeast and southeast corners of the property. The southeast outbuilding has a gabled roof and vertical wood composite siding. The northeast outbuilding has a gabled roof. Further details are not visible from the ROW.

Evaluation of Integrity: Resource HS-77 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition. The form has been altered with a rear addition, but the addition is minimally visible from the ROW. Original primary materials have not been

altered. The house features architectural details typical of the Ranch style with Spanish details, including arched window openings, faux beam projections on the façade, and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 279: 1072 Deumaine Pl. west/northwest façade, looking east/southeast.



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Figure 280: 1072 Deumaine Pl. southwest elevation carport, rear outbuilding looking northeast.



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18.1.64. Newly Identified Property HS-78: 1076 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1076 Deumaine Pl. on a 0.24-acre parcel, Resource HS-78 is a single-family residential house constructed in the Ranch style with Colonial Revival details. The dwelling is located on the east side of Deumaine Pl. and was constructed in 1972 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-78 is a single-story house with a rectangular plan and a west/northwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with a soldier course of brick at the roof line and fiber cement siding in the gable fields. The façade features a single-leaf entry sheltered under the projecting front-gabled porch. The entrance opens onto a partial width poured concrete patio supported by wood posts that replaced the original Classical columns. The single-leaf front door is filled with an original decorative paneled wood door and original wrought iron and glass storm door. A single bay attached carport is on the north/northeast elevation, supported by a wood post. The recessed walls under the carport are clad in vertical fiber cement siding. The carport features a single-leaf secondary entrance filled with an original wrought iron and glass storm door. Also under the carport are a wood slab door and original wrought iron and glass storm door accessing the enclosed rear carport and a six-over-six double-hung wood sash light. The windows are filled with original six-over-six wood sashes with brick sills. The north/northeast elevation has vertical fiber cement siding along the partially enclosed carport. The south/southwest elevation has vertical fiber cement siding in the gable field and no fenestrations. The rear (east/southeast) elevation is not visible from the ROW; aerials indicate a shed-roof rear addition.

Evaluation of Integrity: Resource HS-78 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style with Colonial Revival details, including a single-story porch and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 281: 1076 Deumaine Pl. west/northwest façade, looking southeast.



Figure 282: 1076 Deumaine Pl. northwest oblique, looking southeast.



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Figure 283: 1076 Deumaine Pl. advertised as a “traditional-styled house.” From The Commercial Appeal, June 11, 1972

'A-8 THE COMMERCIAL APPEAL, MEMPHIS, SUNDAY MORNING, JUNE 11, 1972



House Features Eat-In Kitchen

A large, eat-in kitchen is an outstanding feature of the show home being exhibited at 1076 Deumaine in French Fort by Ayres Construction Co.

The traditional-styled home has three bedrooms and one and one-half baths. There is a combination living room-dining room.

An attractive den provides an ideal location for informal entertaining. The home is air conditioned and has a carport.

French Fort is just south of the Memphis-Arkansas River Bridge and is convenient to downtown with employment opportunities. De

Soto Park is on the edge of the area with Riverside Park only a short distance away. The area is the closest-in location for new homes.

French Fort is named because it is said to be the location on which DeSoto first viewed the Mississippi River. Later, a French fort was established on the area.

Trend To Be Noted

A trend to separate breakfast rooms may be noticed in the new homes on display during the Festival of Homes.

PAINT SALE!

FARRELL-CALHOUN

400 N. Front—526-2211
4495 Summer Ave.—682-7681

“Look to Albert Cook for all your Plumbing Needs”

ALBERT COOK

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FRENCH FORT — This traditional home is on display at 1076 Deumaine. It is priced at \$25,500 and has three bedrooms and a large eat-in kitchen. —Staff Photo

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18.1.65. Newly Identified Property HS-79: 1080 Deumaine Place

Non-contributing to the French Fort Historic District

Description: Located at 1080 Deumaine Pl. on a 0.22-acre parcel, Resource HS-79 is a single-family residential house with no academic style. The house is located at the southeastern loop of Deumaine Pl. and was constructed in 2005 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-79 is a one-and-one-half-story house with an irregular plan and a northwest-facing façade. The building has a hipped roof with lower cross gables clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding. The façade features a single-leaf entry recessed between two projecting front gable wings and sheltered under the main roof of the house. The entrance opens onto an unsheltered partial width poured concrete patio. The single-leaf front door is filled with a vinyl and oval light door, paneled and square-light sidelights, and non-historic wrought iron storm door. The windows are filled with nine-over-nine, six-over-six, and Palladian multi-light double-hung vinyl sashes with brick sills. The northeast and southwest elevations have no fenestrations. The rear (southeast) elevation is not visible from the ROW. Aerial imagery shows the presence of an outbuilding with a gabled roof of asphalt shingle and wood composite siding. Further details could not be determined from the ROW.

Evaluation: Resource HS-79 is a newer addition to French Fort and is not of historic age. The house is not the work of a master architect, and historical research did not reveal any association with significant events or persons; therefore, Resource HS-79 is not considered a contributing resource to the historic district.

Figure 284: 1080 Deumaine Pl. northwest façade, looking southeast.



Figure 285: 1080 Deumaine Pl. northwest oblique, looking southeast.



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18.1.66. Newly Identified Property HS-80: 1084 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1084 Deumaine Pl. on a 0.21-acre parcel, Resource HS-80 is a single-family residential house constructed in the Ranch style. The dwelling is located near the intersection of Bourbon Pl. and Deumaine Pl. and was constructed in 1972 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-80 is a single-story house with an L-shaped plan and a northwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with fiber cement siding in the gable fields and a soldier course of brick at the roof line. The façade features a single-leaf entry sheltered under the main roof. The entrance opens onto a partial width poured concrete patio supported by wrought iron support piers. The single-leaf front door is filled with an original wrought iron and glass storm door. A single bay attached carport is on the northeast elevation, supported by wrought iron support piers. The recessed walls under the carport are clad in horizontal fiber cement siding. The carport features a single-leaf secondary entrance filled with a replacement wrought iron storm door. The windows are filled with original six-over-six double-hung wood sashes with brick sills and iron security bars on the lower sash.

The north/northeast elevation has horizontal fiber cement siding in the gable fields and brick veneer accessing the rear enclosed carport. The entrance is filled with an original wood slab door. The south/southwest elevation has horizontal fiber cement siding in the gable field and one six-over-six double-hung wood sash and two horizontal sliding sash windows with brick sills. The rear (southeast) elevation is not visible from the ROW, but historical aerial imagery shows the southern corner was extended between 1973 and 1984. Aerial imagery shows the presence of a gabled-roof outbuilding near the southern corner of the property but is not visible from the ROW.

Evaluation of Integrity: Resource HS-80 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residence. Integrity of materials, design, workmanship, and feeling remain as the original windows, cladding, and ironwork are intact. Although the form has been altered with an addition, it is minimally visible from the ROW. The house features architectural details typical of the Ranch style, including an attached carport and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 286: 1084 Deumaine Pl. west/northwest façade, looking east/southeast.



Figure 287: 1084 Deumaine Pl. northwest oblique, looking southeast.



DRAFT - DELIBERATIVE

18.1.67. Newly Identified Property HS-81: 1088 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1088 Deumaine Pl. on a 0.32-acre parcel, Resource HS-81 is a single-family residential house constructed in the Contemporary style. The dwelling is located near the intersection of Bourbon Pl. and Deumaine Pl. and was constructed in 1971 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-81 is a single-story house with an irregular plan and a north/northwest-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in brick veneer siding with a soldier course of brick at the roof line and vertical wood composite siding in the gable fields. The façade features a single-leaf entry sheltered under the front-gabled integrated two-bay carport supported by brick pillars and wood posts. The entrance opens onto the carport and is filled with an original wrought iron and glass security door. The façade of the carport is open and has wood railing. Under the carport are panels of fiber cement siding extending from the window and door openings to the roofline. A wood slab door is under the carport roof as well. Windows are filled with original wrought iron security bars, which obscure the window composition behind them. The north/northeast elevation has no fenestrations. The south/southwest elevation has three windows with original wrought iron security bars. The rear (east/southeast) elevation is not visible from the ROW, but historic aerial imagery reveals an addition on this elevation built between 1973 and 1984. A non-historic, prefabricated outbuilding in the southwest corner of the property. Only minimally visible from the ROW, the outbuilding has a gabled roof of asphalt shingles and wood composite siding. A wrought iron gate, likely non-historic, accesses the rear yard. The mailbox rests on a wrought iron support post.

Evaluation of Integrity: Resource HS-81 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the integrated carport remains intact, the original ironwork characteristic of the neighborhood has not been removed and is in good condition. Although the form has been altered with a rear addition, the change is consistent with the character of the neighborhood. original primary materials have not been altered. The house features architectural details typical of the French Fort neighborhood, including an integrated carport and original wrought-iron detailing. As a good and intact example of the Contemporary house style common in the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 288: 1088 Deumaine Pl. north/northwest façade, looking southeast.



Figure 289: 1088 Deumaine Pl. northeast oblique, looking south.



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18.1.68. Newly Identified Property HS-82: 1092 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1092 Deumaine Pl. on a 0.37-acre parcel, Resource HS-82 is a single-family residential house constructed in the Ranch style with Spanish Revival influences. The dwelling is located at the southeast intersection of Deumaine Pl. and Bourbon Pl. and was constructed in 1971 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-82 is a single-story house with an irregular plan and a north-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The exterior is clad in buff-colored brick veneer siding with weeping mortar and aluminum siding in the gable fields. The façade features a single-leaf entry recessed under a shed roof porch. The entrance opens onto a partial width poured concrete patio with a row of arched openings with iron security bars in the openings. The single-leaf front door is filled with an original paneled wood door and wrought iron and glass storm door. The windows are filled with original nine-over-six double-hung wood sashes with brick sills and wrought iron security bars in pairs. The east and west elevations have double-hung windows with brick sills whose composition could not be determined from the ROW. The south/southwest elevation of the rear wing is not visible from the ROW. The rear (east/southeast) elevation is not visible from the ROW. The rear (south) elevation is not visible from the ROW, but historical imagery reveals the south wing was extended eastward between 1973 and 1984 and extended southward between 1994 and 2006. A non-historic, prefabricated outbuilding is in the southeast corner of the property and has a gabled roof of asphalt shingles, a wood composite slab door, and vertical wood composite siding. The southeast outbuilding has a gabled roof and vertical wood composite siding. The rear yard is accessed on the east side of the property through a historic brick masonry fence with missing wrought iron gates.

Evaluation of Integrity: Resource HS-82 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original brick arcade arches are intact, and the ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Ranch style with Spanish Revival influences, including arched portico openings, original buff-colored brick exterior, and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 290: 1092 Deumaine Pl. north façade, looking south.



Figure 291: 1092 Deumaine Pl. northwest oblique, looking southeast.



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Figure 292: 1092 Deumaine Pl. rear outbuilding, looking south.



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18.1.69. Newly Identified Property HS-83: 1087 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1087 Bourbon Pl. on a 0.33-acre parcel, Resource HS-83 is a single-family residential house constructed in the Monterey style. The dwelling is located at the southeast intersection of Bourbon Pl. and Deumaine Pl. and was constructed in 1972 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-83 is a two-story house with a rectangular plan and a north/northeast-facing façade. The building has a side-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in a combination of brick veneer on the first story with a soldier course of brick at the first-story roof line and vinyl siding on the second story. The façade features a central double-leaf entry sheltered under a pent roof covering. The entrance opens onto a full width poured concrete patio supported by wrought iron support piers. The double-leaf front entrance is filled with original paneled and nine-light wood doors and original wrought iron and glass storm doors. The house has a second-story full-width balcony sheltered under the main roof of the house with original aluminum soffit and wrought iron railings. A central single-leaf entrance is filled with an original paneled and nine-light wood door and wrought iron and glass storm. A single-story double-bay attached garage is on the west/northwest elevation and has an exterior of vinyl siding and original paneled and fan-light aluminum roll-up door. Windows are filled with original six-over-six double-hung wood sashes with wrought iron security bars and brick sills on the second story. The east/southeast elevation has an external chimney clad in vinyl siding. The west/northwest elevation has no fenestrations on the second story. The west/northwest elevation of the single-story garage wing and rear (south/southwest) elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-83 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the second-story balcony is in place, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the form and original primary materials have not been altered. The house features architectural details typical of the Monterey style, including a second-story balcony and original wrought-iron detailing. As a good and intact example of the Monterey house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 293: 1087 Bourbon Pl. north/northeast façade, looking south/southeast.



Figure 294: 1087 Bourbon Pl. northeast oblique, looking southwest.



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18.1.70. Newly Identified Property HS-84: 1083 Bourbon Place

Non-contributing to the French Fort Historic District

Description: Located at 1083 Bourbon Pl. on a 0.35-acre parcel, Resource HS-84 is a single-family residential house constructed in the Ranch style with Colonial Revival influences. The dwelling is located at the intersection of Bourbon Pl. and Deumaine Pl. and was constructed in 1972 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-84 is a single-story house with an irregular plan and a northeast-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in a combination of brick veneer and vinyl siding and fiber cement siding in the gable fields. The façade features a single-leaf entry sheltered under the projecting front-gabled roof. The entrance opens onto a single-story partial width poured concrete patio supported by aluminum clad Classical columns. The single-leaf front door is filled with a replacement paneled and oval light vinyl door and original wrought iron and glass storm door. A double bay attached garage is on the northwest elevation with replacement paneled roll-up metal garage doors. A gabled second-story addition is above the garage and was added between 1973 and 1984 according to historical aerial imagery. The addition has an exterior of vinyl siding. The windows are filled with original six-over-six double-hung wood sashes with brick sills and wrought iron security bars and a horizontal aluminum sash sliding window. The northwest elevation has a horizontal aluminum sash sliding window in the second story and no other fenestrations. The southeast and rear (southwest) elevations are not visible from the ROW. However, historical aerial imagery and county records show the southwest elevation was expanded and a T-shaped addition was added to the rear of the building in 2007. A large non-historic, prefabricated outbuilding is at the eastern side of the property and has a front-gabled roof of asphalt shingles and horizontal vinyl siding. The mailbox has a brick masonry surround.

Evaluation of Integrity: Resource HS-84 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling have been lost because the form has been significantly altered by a second-story addition on the façade, which is visible to the street and not consistent with the character of the neighborhood. As a result, the house is not a good or intact example of the Ranch house style that characterizes the French Fort neighborhood, and it is not considered a contributing resource to the historic district.

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Figure 295: 1083 Bourbon Pl. northeast façade, looking southwest.



Figure 296: 1083 Bourbon Pl. northwest oblique, looking southeast.



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Figure 297: 1083 Bourbon Pl. rear outbuilding, looking south.



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18.1.71. Newly Identified Property HS-85: 1079 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1079 Bourbon Pl. on a 0.26-acre parcel, Resource HS-84 is a single-family residential house constructed in the Ranch style with Colonial Revival detailing. The dwelling is located at the intersection of Bourbon Pl. and Deumaine Pl. and was constructed in 1975 according to tax assessor records. This date is consistent with historic aerials and the house's architectural style.

Of frame construction, Resource HS-85 is a single-story house with an irregular plan and an east/northeast-facing façade. The building has a cross-gabled roof clad in asphalt shingles and a continuous poured concrete foundation. The dwelling is clad in a combination of brick and stone veneer and fiber cement siding in the gable fields. The façade features a single-leaf entry sheltered under the projecting front-gabled porch. The entrance opens onto a single-story partial width poured concrete patio supported by squared wood posts and integrated brick planters on either side of the entrance. The single-leaf front door is filled with a replacement paneled vinyl door and original wrought iron and glass storm door. The windows are filled with replacement one-over-one double-hung vinyl sashes with brick sills, applied mullions, and wrought iron security bars and a ribbon of three vertical fixed vinyl sash windows. The south/southeast elevation has no fenestrations. The north/northwest elevation has a double-hung window whose composition could not be determined from the ROW. The rear (west/southwest) elevation is not visible from the ROW. Aerial imagery shows two wings on the property's west/southwest elevation, one of which is visible on the earliest historical aerial imagery of the house from 1981, and one that was constructed between 1981 and 1984.

Evaluation of Integrity: Resource HS-85 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling have been diminished slightly due to replacement doors and windows, but the replacements are consistent with the character of the neighborhood. The form has been altered from its original footprint, but the addition is also consistent with the character of the neighborhood. Original primary materials have not been altered. The house features architectural details typical of the Ranch style, including a single-story porch and original wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 298: 1079 Bourbon Pl. east/northeast façade, looking west/southwest.



Figure 299: 1079 Bourbon Pl. northeast oblique, looking southwest.



DRAFT - DELIBERATIVE

18.1.72. Newly Inventoried Property HS-86: 1073 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1073 Bourbon Pl., Resource HS-86 is a Ranch style single-family residential house with French stylistic influences. The house is centrally located on a rectangular parcel on the west side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial that shows the house is present. The house was constructed ca. 1970 based on historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle hipped roof with large overhanging eaves, Roman brick veneer siding and a concrete slab foundation. The façade features an integrated carport to the north supported by a replacement concrete block corner post. A poured concrete stoop with a cast-iron balustrade leads to a central original wood panel door with a decorative wrought-iron storm door. The segmental row lock arch windows are filled with original six-over-six double-hung wood sashes with decorative wood panels below with the trim pieces removed, wrought-iron grates and brick sills. The window grate on the southern window has been removed. The carport's interior is clad with vertical wood panel board siding. The north elevation has paired original segmental row lock arch windows filled with six-over-six double-hung wood sashes with wrought-iron grates. Within the carport is vertical wood panel board siding with an original wood door with a decorative cast-iron storm door in the west corner of the carport's north elevation. The south elevation has segmental row lock arch windows filled with original six-over-six double-hung wood sashes with brick sills and wrought-iron grates. A rear addition is set back along the elevation to the west with brick siding and a window with a wrought-iron grate. The western elevation is not visible from the ROW. Aerials and side elevations of the house show it has a rear gable wing addition on the south side of the elevation and two central gable additions. Associated with resource HS-86 is a storage shed in the northwest corner of the parcel, oriented east with an asphalt shingle gable roof and cement board siding. A concrete block fence encloses the rear of the property with decorative concrete block capstones.

Evaluation of Integrity: Resource HS-86 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, most of the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original primary cladding materials have not been altered. While the original form has been altered with multiple rear gable additions, integrity remains as they are not readily visible from the street. The house features

architectural details typical of the Ranch style with French stylistic influences, such as multiple exterior accent materials, segmental arches, an attached carport or garage, and iron detailing. As a good and intact example of the Ranch house style French stylistic influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 300: 1073 Bourbon Pl. east facade with segmental arches above windows, looking west.



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Figure 300: 1073 Bourbon Pl. north elevation, looking southwest.



Figure 301: 1073 Bourbon Pl. south elevation, looking northwest.



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18.1.73. Newly Inventoried Property HS-87: 1067 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1067 Bourbon Pl., Resource HS-87 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerials that shows the house present. The house is constructed ca. 1970 based on historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle cross-gable roof with large overhanging eaves with dentils along the fascia, brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features a poured concrete deck leading to a front entrance to the south, with an original wood panel double-door and decorative cast-iron storm door with a sunburst design. Windows are equally spaced along the façade with original six-over-four double-hung wood windows with brick sills and louvered vinyl shutters. There is an original brick planter spanning the façade. The north elevation has metal louvered venting and cement board siding in the gable-end with a brick soldier course below, delineating the first story. The windows are filled with original six-over-six double-hung wood sashes with brick sills. The south elevation has metal louvered venting and cement board siding in the gable-end with a brick soldier course below, delineating the first story. The windows are filled with original six-over-six double-hung wood sashes with brick sills. The eastern rear elevation is not visible from the ROW. Aerials and side elevations show original L-shaped gable wings to the north and south of the elevation. Associated with resource HS-87 is a one-story storage shed with an asphalt shingle gable roof, and cement panel board siding located in the northwest corner of the parcel, oriented east.

Evaluation of Integrity: Resource HS-87 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, and the original form and primary cladding materials have not been altered. While the original cast-iron window grates were removed in 2014 based on Google Streetview, the house still maintains integrity with the existing materials, design and feeling. The house features architectural details typical of the Ranch style, such as large overhanging eaves, brick veneer siding, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 302: 1067 Bourbon Pl. west facade, looking east.



Figure 303: 1067 Bourbon Pl. north elevation, looking southwest.



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Figure 304: 1067 Bourbon Pl. south elevation, looking northwest.



Figure 305: 1067 Bourbon Pl. outbuilding, looking west.



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18.1.74. Newly Inventoried Property HS-88: 1061 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1061 Bourbon Pl., Resource HS-88 is a Ranch style with Spanish Revival details single-family residential house in the gabled-L form. The house is centrally located on a rectangular parcel on the west side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial that shows the house present. The house was constructed ca 1970 based on historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle cross-gable roof with Roman brick veneer siding with a brick soldier course below the eaves and a concrete slab foundation. The façade features an integrated carport to the north, supported by a decorative cast-iron corner post and a front-gable projecting wing to the south. The wing has a row-lock rounded arch with a louvered wood vent in the gable-end. A poured concrete stoop leads to a replacement oval light wood door with a replacement full-light aluminum storm door. The windows are filled with original six-over-six double-hung wood sashes with brick sills, wrought-iron grates, and louvered vinyl shutters. A picture window pierces the façade to the south with an original six-over-six double-hung wood sash window flanked by four-over-four double-hung wood sash windows with brick sills, wrought-iron grates, and louvered vinyl shutters. The carport's interior is clad with cement board siding with an original horizontal three-light wood door with a decorative cast-iron storm door in the south corner of the on the carport's east elevation. An integrated roman brick planter spans the façade. The north elevation has cement board siding and a replacement wood panel door. An addition extends to the west along the elevation with a brick veneer siding and a soldier course of brick below the eaves. Within the carport is an original six-over-six double-hung wood sash window with a decorative cast-iron grate on the north elevation. The south elevation has cement board siding in the gable-end. The windows are filled with original six-over-six double-hung wood sashes and original aluminum sliders with brick sills and decorative cast-iron grates. The western rear elevation is not visible from the ROW. Aerials and side elevations show an L-shaped gable wing addition constructed between 1973 and 1981 on the north side of the elevation. Associated with Resource HS-88 is a one-story storage shed located in the northwest corner of the parcel, oriented east with an asphalt shingle gable roof and cement board siding. The original decorative cast-iron storm door from the front door is now installed on the storage shed.

Evaluation of Integrity: Resource HS-88 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity

of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, most of the original ironwork characteristic of the neighborhood have not been removed and are in good condition and the original primary cladding materials have not been altered. While the original form has been altered with the construction of a rear addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, an integrated planter, a picture window, and iron detailing. As a good and intact example of the Ranch house with Spanish Revival influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 306: 1061 Bourbon Pl. east facade, looking west.



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Figure 307: 1061 Bourbon Pl. north elevation, looking southwest.



Figure 308: 1061 Bourbon Pl. south elevation, looking northwest.



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Figure 309: 1061 Bourbon Pl. outbuilding, looking west.



DRAFT - DELIBERATIVE

18.1.75. Newly Inventoried Property HS-89: 1055 Bourbon Place

Non-contributing to the French Fort Historic District

Description: Located at 1055 Bourbon Pl., Resource HS-89 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial that shows the house present. The house was built ca. 1970 based historic aerials and the construction dates of surrounding houses in the neighborhood.

Of frame construction, the one-story house is oriented east and has an asphalt shingle cross-gable roof with painted brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features an integrated carport to the south supported by a decorative cast-iron corner post. There is a central, partial-width front gable porch with vinyl siding in the gable-end supported by a colonnade of decorative cast-iron posts. The porch's poured concrete deck leads to a central entrance with an original wood panel door with a replacement aluminum full-light storm door. Windows are spaced equally across the façade and are filled with replacement one-over-one double-hung vinyl sashes with brick sills and louvered vinyl shutters. The carport is clad in vinyl siding with an original wood door and decorative cast-iron storm door on the east elevation. There is a new aluminum fence and gate that spans across the carport entrance. The north elevation has metal louvered venting and vinyl siding in the gable-end with a brick soldier course below delineating the first story. The south elevation has metal louvered venting in the gable end and vinyl siding. Within the carport is an original wood panel door in the western corner and a replacement one-over-one vinyl window on the south elevation. The western rear elevation is not visible from the ROW. Associated with Resource HS-89 is a one-story metal storage shed with a gable roof, located in the northwest corner of the parcel, oriented east.

Evaluation of Integrity: Resource HS-89 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling no longer remain as all the original windows have been replaced, the cast-iron detailing has been removed from the façade, and the brick veneer siding has been painted. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, and iron detailing. With significant alterations the house's design, it is not a good representation of the Ranch house style that characterizes the French Fort neighborhood; therefore, it is considered a non-contributing resource to the historic district.

Figure 310: 1055 Bourbon Pl. east facade, looking west.



Figure 311: 1055 Bourbon Pl. north elevation, looking southwest.



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Figure 312: 1055 Bourbon Pl. south elevation, looking northwest.



Figure 313: 1055 Bourbon Pl. outbuilding, looking southwest.



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18.1.76. Newly Inventoried Property HS-90: 1049 Bourbon Place

Non-contributing to the French Fort Historic District

Located at 1049 Bourbon Pl., Resource HS-90 is a Split-Foyer style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial that shows the house present. The house was built ca. 1970 based historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented east and has an asphalt shingle gambrel roof, painted brick veneer exterior siding on the first story with a brick soldier course delineating the first story, cement board siding on the second story, and a concrete slab foundation. The façade features a cantilevered second story that originally was clad in asphalt shingles based on Google Streetview images. Poured concrete steps with a brick veneer, an integrated Roman brick planter and a replacement wrought-iron balustrade lead to a recessed, single-bay entrance with a gable roof awning, cement board siding and a replacement wood panel door with a replacement full-light aluminum storm door. The second story has gabled wall dormers clad in cement board siding with windows filled with replacement one-over-one double-hung aluminum clad sashes. The first story features two single-bay aluminum panel garage doors to the south of the front entry with cement board siding infill above. The north elevation has metal louvered venting in the gable-end and is clad in vertical wood panel board siding on the second story with a replacement aluminum vinyl slider window. Painted brick veneer continues on the first story with two replacement aluminum clad slider windows. The south elevation has metal louvered venting and is clad in vertical wood panel board siding on the second story with two, replacement aluminum clad slider windows. The first story continues with painted brick veneer siding. The western rear elevation is not visible from the ROW.

Resource HS-90 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house no longer maintains integrity of materials, design, workmanship, and feeling, as all the original windows have been replaced, the original ironwork characteristic of the neighborhood has been removed, the brick siding has been painted and the original cladding has been replaced. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, and an attached carport or garage. With significant alterations to the house's design, it is not a good representation of the Split-Foyer house style; therefore, it is considered a non-contributing resource to the historic district.

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Figure 314: 1049 Bourbon Pl. east facade, looking west.



Figure 315: 1049 Bourbon Pl. north elevation, looking southwest.



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Figure 316: 1049 Bourbon Pl. south elevation, looking northwest.



DRAFT - DELIBERATIVE

18.1.77. Newly Inventoried Property HS-91: 1045 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1045 Bourbon Pl., Resource HS-91 is an Octagon style single-family residential house with Contemporary stylistic influences. The house is centrally located on a rectangular parcel on the west side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial that shows the house present. The house was constructed ca. 1970 based on historic aerials and the building's octagonal style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle pyramidal roof with large overhanging eaves and gabled cupola, and a concrete slab foundation. The siding is combination of cement board siding and flagstone siding on the front facade. The façade features a central entrance with an original wood panel door with a decorative cast-iron storm door and full-light sidelights. The northeast and southwest elevations flanking the central entrance bay have cement board siding with two original clearstory aluminum slider windows. The south elevation has an original wood panel door with a decorative cast-iron storm door and original clearstory aluminum slider window. The western elevations are not visible from the ROW. Associated with resource HS-91 is a metal storage shed located in the northwest corner of the parcel, oriented east with transition metal siding and gable roof.

Evaluation of Integrity: Resource HS-91 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are intact, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Octagon style with Contemporary stylistic influences, such as having eight sides, a low-pitched pyramidal roof with a cupola, large overhanging eaves, clearstory windows, multiple exterior accent materials and iron work. As a good and intact example of the Octagon house style with contemporary stylistic influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 317: 1045 Bourbon Pl. east facade, looking west.



Figure 318: 1045 Bourbon Pl. north elevations, looking southwest.



DRAFT - DELIBERATIVE

Figure 319: 1045 Bourbon Pl. south elevations, looking northwest.



Figure 320: 1045 Bourbon Pl. outbuilding, looking west.



DRAFT - DELIBERATIVE

18.1.78. Newly Inventoried Property HS-92: 1039 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1039 Bourbon Pl., Resource HS-92 is a Ranch style single-family residential house with French stylistic influences. The house is centrally located on a rectangular parcel on the northwest side of Bourbon Pl. Tax assessor records indicate the house was constructed in 1971. This date is consistent with aerials and the building's style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle hipped roof with large overhanging eaves, brick veneer siding with brick corbelling under the eaves and a concrete slab foundation. The façade features a partial-width hipped roof porch supported by a colonnade of decorative cast-iron posts sheltering a poured concrete deck leading to original wood panel double-doors with original decorative cast-iron storm doors. A segmental rowlock brick arch paired window pierces the façade to the southwest and is filled with original six-over-six double-hung wood sashes with decorative panels below, brick sills and louvered vinyl shutters. Segmental rowlock brick arch windows flank the porch with original eight-over-eight double-hung wood sash windows with decorative panels below, brick sills and louvered vinyl shutters. The northeast elevation has brick corbelling under the overhanging eaves and two windows filled with an original six-over-six double-hung wood sashes with brick sills and decorative cast-iron grates. A small addition extends to the northwest along the elevation with an exterior end brick chimney that pierces through the roof eaves. The southwest elevation has brick corbelling under the overhanging eaves and windows filled with original six-over-six double-hung wood sashes with brick sills and decorative cast-iron grates. The northwestern rear elevation is not visible from the ROW. Aerials and side elevations show a rear ell wing. Associated with resource HS-92 is a garage with an asphalt shingle pyramidal roof, and brick veneer siding, located in the southwest corner of the parcel, oriented southeast.

Evaluation of Integrity: Resource HS-92 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original primary form and cladding materials have not been altered. The house features architectural details typical of the Ranch style with French stylistic influences, such as a hipped roof, brick veneer siding, segmental arches, tall shutters, and iron detailing. As a good and intact example of the Ranch style house with French stylistic influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

DRAFT - DELIBERATIVE

Figure 321: 1039 Bourbon Pl. southeast facade, looking northwest.



Figure 322: 1039 Bourbon Pl. northeast elevation, looking southwest.



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Figure 323: 1039 Bourbon Pl. southwest elevation, looking northwest.



Figure 324: 1039 Bourbon Pl. outbuilding, looking northwest.



DRAFT - DELIBERATIVE

18.1.79. Newly Inventoried Property HS-93: 1035 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1035 Bourbon Pl., Resource HS-93 is a Ranch style single-family residential house with French stylistic influences. The house is centrally located on a rectangular parcel on the northwest side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial that shows the house present. The house was constructed ca. 1970 based on historic aerials and the construction dates of surrounding houses.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle hipped roof with large overhanging eaves, brick veneer siding and a concrete slab foundation. The façade features a poured concrete stoop with a brick veneer and cast-iron balustrade leading to a recessed front entrance to the southwest, with vinyl siding and a replacement oval-light wood door with leaded glass sidelights and a replacement full-light aluminum storm door. Segmental row-lock arch windows are equally spaced across the façade filled with original six-over-four double-hung wood sashes with brick sills, decorative cast-iron grates, and paneled vinyl shutters. There is an original brick planter spanning the façade. The northeast elevation has windows filled with original one-over-one double-hung wood sashes with brick sills. The southwest elevation has windows that are filled with original six-over-six double-hung wood sashes and a pair of original six-over-six double-hung wood sashes with brick sills. An original integrated porch supported by decorative cast-iron posts extends along the elevation to the northwest. The northwestern rear elevation is not visible from the ROW. Aerials and side elevations show an original L-shaped gable wing to the southwest of the elevation and an original central hipped roof wing.

Evaluation of Integrity: Resource HS-93 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, and the original form and primary cladding materials have not been altered. Although the front door has been replaced, it is a minor and unobtrusive alteration. While the original form has been altered by the construction of a rear addition, it is minimally visible from the street. The house features architectural details typical of the Ranch style with French stylistic influences, such as a hipped roof, large overhanging eaves, brick veneer siding, tall shutters, segmental arches, full-height windows, an integrated planter, and iron detailing. As a good and intact example of the Ranch house style with French stylistic influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

DRAFT - DELIBERATIVE

Figure 325: 1035 Bourbon Pl. southeast facade, looking northwest.



Figure 326: 1035 Bourbon Pl. northeast elevation, looking west.



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Figure 327: 1035 Bourbon Pl. southwest elevation, looking northwest.



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18.1.80. Newly Inventoried Property HS-94: 1031 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1031 Bourbon Pl., Resource HS-94 is a Ranch style single-family residential house in the gabled-L form. The house is centered on a rectangular parcel on the northwest side of Bourbon Pl. According to tax assessor records, the house was constructed in 1973. This date is consistent with historic aerials and the building's style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof, Roman-brick veneer siding with a brick soldier course below the eaves, and a concrete slab foundation. The façade features an integrated carport to the northeast, supported by a decorative iron corner post, and a front-gable projecting wing to the southwest. The wing has an arched wood vent in the gable-end. A poured concrete deck leads to an original wood paneled double door with decorative iron storm doors. The windows are filled with original six-over-six and nine-over-nine double-hung wood sashes with brick sills, cast-iron grates, and louvered vinyl shutters. A picture window pierces the façade to the southwest of the entrance with an original six-over-six double-hung wood sash window flanked by four-over-four double-hung wood sash windows with brick sills, wrought-iron grates, and louvered vinyl shutters. The carport's interior is clad with vertical wood panel board siding. There is a wood door with a decorative cast-iron storm door in the southwest corner and a wood door to the northeast. An integrated Roman-brick planter spans the façade. The north elevation has metal louvered venting in the gable-end and vertical wood panel board siding. A rear wing extends to the northwest and has a fixed wood window with a decorative iron grate. The southwest elevation has metal louvered venting and vertical wood panel board siding in the gable-end with a brick soldier course below. The windows are original six-over-six double-hung wood and original aluminum sliders. The rear elevation is not visible from the ROW; aerials show an L-shaped Dutch gable rear addition built between 1973 and 1981. Associated with Resource HS-94 is a one-story metal storage shed with a transition metal gable roof and siding.

Evaluation of Integrity: Resource HS-94 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residence. Integrity of materials, design, workmanship, and feeling remain as all the original windows, ironwork, and primary cladding materials have not been altered. The form has been altered. The house features architectural details typical of the Ranch style, such as an attached carport, an integrated planter, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 328: 1031 Bourbon Pl. southeast facade, looking northwest.



Figure 329: 1031 Bourbon Pl. northeast elevation, looking west.



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Figure 330: 1031 Bourbon Pl. southeast elevation, looking northwest.



Figure 331: 1031 Bourbon Pl. outbuilding, looking northwest.



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18.1.81. Newly Inventoried Property HS-95: 1027 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1027 Bourbon Pl., Resource HS-95 is a Ranch style single-family residential house in the gabled-L form. The house is centrally located on a triangular parcel on the northwest side of Bourbon Pl. at the intersection of Bourbon Pl. and Esplanade Place. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial that shows the house present. The house was constructed ca. 1970 based on historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof with a brick veneer siding with dentil work along the fascia and a concrete slab foundation. The façade features an integrated carport to the southwest, supported by a square brick post and a front-gable projecting wing to the northeast. The wing has a rowlock round arch with a louvered wood vent in the gable-end. An integrated porch with a poured concrete deck and colonnade of square brick posts, leads to an original wood paneled double door with decorative cast-iron storm doors. The windows under the porch are filled with original nine-over-six double-hung wood sashes with brick sills, and louvered vinyl shutters. Two, six-over-six double-hung wood sash windows with brick sills and louvered vinyl shutters pierce the façade on the front gable wing. The carport's interior is clad with cement board siding with an original horizontal three-light wood door with a decorative cast-iron storm door and a solid wood door on the southeast elevation. An integrated roman brick planter spans the façade and wraps to the northeast elevation. The northeast elevation has metal louvered venting in the gable-end. The windows are filled with original aluminum sliders and six-over-six double-hung wood sashes with brick sills. An original rear wing extends to the northwest along the elevation with brick veneer siding, large overhanging eaves, and an original pair of six-over-six double-hung wood window with brick sills. The southwest elevation has metal louvered venting in the gable-end. Within the carport is clad with cement board siding and an original six-over-six double-hung wood sash window in the northwest corner of the southwest elevation. There is a decorative brick screen enclosing the carport on the elevation. The northwestern rear elevation is not visible from the ROW. Aerials and side elevations show an original L-shaped Dutch gable wing on the northeast side of the elevation. The mailbox associated with Resource HS-95 has decorative cast-iron work. There is a brick fence with a decorative brick screen detail around the rear yard.

Evaluation of Integrity: Resource HS-95 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house.

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Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered.

The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, a rowlock round arch vent, an attached carport or garage, an integrated planter, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 332: 1027 Bourbon Pl. southeast facade, looking northwest.



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Figure 333: 1027 Bourbon Pl. northeast elevation, looking southwest.



Figure 334: 1027 Bourbon Pl. southwest elevation, looking northwest.



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18.1.82. Newly Inventoried Property HS-96: 1035 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1035 Esplanade Pl., Resource HS-96 is a Ranch style single-family residential house. The house is centrally located on a rectangular corner parcel at the intersection of Bourbon Pl. and Esplanade Place. According to tax assessor records, the house was constructed in 1971. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northeast and has an asphalt shingle cross-gable roof with brick veneer siding with a soldier course below the eaves and a concrete slab foundation. The façade features an integrated carport to the southeast supported by a decorative cast-iron corner post. There is a central, partial width front-gable porch with vinyl siding in the gable-end. The porch is supported by decorative cast-iron posts, sheltering a poured concrete deck leading to an original wood panel door with a decorative iron storm door. The windows are filled with replacement one-over-one vinyl sash windows with brick sills, and decorative wood shutters. The carport's interior is clad with vinyl siding with a wood door and a wood panel door with a cast-iron storm door in on the northeast elevation. The northwest elevation has a square louvered vinyl vent and vinyl siding in the gable-end with a soldier course of brick below. The windows are replacement vinyl sliders. A wing extends along the elevation to the southwest. The southeast elevation has a square louvered vinyl vent in the gable-end and vinyl siding. Within the carport is a replacement one-over-one double-hung vinyl sash window on the southeast elevation. The southwestern rear elevation is not visible from the ROW. Aerials and side elevations of the house show it has a rear gable wing on the northwest side of the elevation. Associated with Resource HS-96 is a storage shed in the southeast corner of the parcel, oriented north with an asphalt shingle gable roof with wood siding and a solid wood door.

Evaluation of Integrity: Resource HS-96 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. While the windows have been replaced, enough original material remains to maintain integrity. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 335: 1035 Esplanade Pl. northeast facade, looking southwest.



Figure 336: 1035 Esplanade Pl. northwest elevation, looking southeast.



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Figure 337: 1035 Esplanade Pl. southeast elevation, looking southwest.



Figure 338: 1035 Esplanade Pl. outbuilding, looking southwest.



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18.1.83. Newly Inventoried Property HS-97: 1039 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1039 Esplanade Pl., Resource HS-97 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the south side of Esplanade Pl. According to tax assessor records, the house was constructed in 1973. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle cross-gable roof with brick veneer siding with a brick soldier course below the eaves and a concrete slab foundation. The façade features an integrated garage to the west with cement board siding and a two-bay replacement aluminum roll-up garage door. This garage was created by enclosing the original carport. There is a central, partial width front-gable porch with cement board siding in the gable-end. The porch is supported by a colonnade of decorative cast-iron posts, sheltering a poured concrete deck leading to a central original wood panel door with a decorative cast-iron storm door. The windows are filled with original six-over-six double-hung wood sashes, decorative cast-iron grates, brick sills, and decorative wood shutters. The west elevation has a metal louvered venting in the gable-end and cement board siding. There is a central wood panel door. The east elevation has metal louvered venting and cement board siding in the gable-end with a brick soldier course below delineating the first story. The southern rear elevation is not visible from the ROW. Aerials and side elevations of the house show it has a central T-shaped gable wing on the south elevation. Associated with Resource HS-97 is a storage shed located in the southwest corner of the parcel, oriented northeast with an asphalt shingle gable roof with wood siding.

Evaluation of Integrity: Resource HS-97 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 339: 1039 Esplanade Pl. north facade, looking south.



Figure 340: 1039 Esplanade Pl. west elevation, looking southeast.



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Figure 341: 1039 Esplanade Pl. east elevation, looking southwest.



Figure 342: 1039 Esplanade Pl. outbuilding, looking south.



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18.1.84. Newly Inventoried Property HS-98: 1049 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1049 Esplanade Pl., Resource HS-98 is a Ranch style single-family residential house in the gabled-L form. The house is centrally located on a rectangular parcel on the south side of Esplanade Pl. at the intersection of Esplanade Pl. and Deumaine Pl. According to tax assessor records, the house was constructed in 1971. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented north and has an asphalt shingle cross-gable roof with Roman brick veneer siding and a concrete slab foundation. The façade features an integrated carport to the west, supported by a decorative cast-iron corner post and a front-gable projecting wing to the east. The wing has a rowlock round arch with a louvered wood vent in the gable-end and an original window filled with nine-over-six double-hung wood sashes. A poured concrete deck leads to a central original wood panel double-door with decorative cast-iron storm doors. The window to the west of the front entrance is filled with original six-over-six double-hung wood sashes with brick sills, decorative cast iron grates and louvered vinyl shutters. A picture window pierces the façade to the east with an original six-over-six double-hung wood sash window flanked by four-over-four double-hung wood sash windows with brick sills, decorative cast-iron grates, and louvered vinyl shutters. The carport's interior is clad with vertical wood panel board siding with a solid wood door and an original wood panel door with a cast-iron storm door in the eastern corner of the north elevation. An integrated brick planter spans the façade. The west elevation has metal louvered venting in the gable-end and vertical wood panel board siding. Within the carport is an original six-over-six double-hung wood sash window on the west elevation. The east elevation has metal louvered venting and vertical wood panel board siding in the gable-end. The windows are filled with original six-over-six double-hung wood sashes and original aluminum sliders with brick sills and decorative cast-iron grates. The southern rear elevation has windows filled with original six-over-six double-hung wood sashes with brick sills, and decorative cast iron grates flanking an entry with original wood panel double-doors and decorative cast-iron storm doors. A window to the east is filled with nine-over-six double-hung wood sashes with a brick sill. The siding continues with vertical wood panel board to the west as the rear of the carport's bay.

Evaluation of Integrity: Resource HS-98 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residence. Integrity of materials, design, workmanship, and feeling remain as all the original windows the original, the original form, and primary cladding materials have not been altered. The house

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features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, an integrated planter, and iron detailing. As a good and intact example of the Ranch house style that characterizes the FIFort neighborhood, it is considered a contributing resource to the historic district.

Figure 343: 1049 Esplanade Pl. north facade, looking south



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Figure 344: 1049 Esplanade Pl. west elevation, looking southeast.



Figure 345: 1049 Esplanade Pl. east elevation, looking west.



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Figure 346: 1049 Esplanade Pl. south elevation, looking northwest.



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18.1.85. Newly Inventoried Property HS-99: 1047 Deumaine Place

Non-contributing to the French Fort Historic District

Description: Located at 1047 Deumaine Pl., Resource HS-99 is a Ranch style single-family residential house with Colonial Revival stylistic influences. The house is centrally located on a triangular parcel on the northwest side of Deumaine Pl. According to tax assessor records, the house was constructed in 1972. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof with brick veneer siding with a brick soldier course below the eaves and a concrete slab foundation. The façade features two garage bay additions to the southwest, with front facing gables with cement board siding in the gable-ends and flag stone veneer siding below. There is a central, partial width front-gable porch with cement board siding and a rounded arched louvered vent in the gable-end. The porch is supported by a colonnade of round, fluted aluminum wrapped posts, sheltering a poured concrete deck with a flag stone veneer, leading to a central wood panel door with a decorative cast-iron storm door. Windows flank the central door symmetrically under the porch and are filled with original nine-over-six double-hung wood sashes with brick sills, decorative cast-iron grates, and louvered vinyl shutters. An original six-over-six double-hung wood sash window with a brick sill, a decorative cast-iron grate and louvered vinyl shutters pierces the façade to the northeast. The northeast elevation has a metal louvered venting and cement board siding in the gable-end with a soldier course of brick below delineating the first story. Original six-over-six double-hung wood sash windows with brick sills and louvered vinyl shutters are spaced equally across the elevation. The southwest elevation has metal louvered venting and cement board siding in the gable-end with flag stone veneer siding on the first story. The northwestern rear elevation is not visible from the ROW. Aerials of the house show it has two, central T-shaped gabled additions. Associated with Resource HS-99 is a one-story prefabricated storage shed located along the southwest parcel line, oriented southeast with an asphalt shingle gambrel roof with wood panel board siding.

Evaluation of Integrity: Resource HS-99 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling no longer remain as the original form of the house has been altered with additions to the side and rear of the house, significantly altering the front façade's appearance and original design. Along with this, the original cladding materials have been altered with the addition of flag stone veneer siding. The house features architectural details typical of the Ranch style with Colonial Revival

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stylistic influences, such as multiple exterior accent materials, an attached carport or garage, a picture window, an integrated planter, and iron detailing. Because of significant alterations to the house, it is no longer a good representation of the Ranch house style with Colonial Revival stylistic influences that characterizes the French Fort neighborhood. Therefore, it is considered a non-contributing resource to the historic district.

Figure 347: 1047 Deumaine Pl. southeast facade, looking northwest.



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Figure 348: 1047 Deumaine Pl. northeast elevation, looking southwest.



Figure 349: 1047 Deumaine Pl. southwest elevation, looking north.



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Figure 350: 1047 Deumaine Pl. outbuilding, looking northwest.



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18.1.86. Newly Inventoried Property HS-100: 1055 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1055 Deumaine Pl., Resource HS-100 is a Split-Foyer style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Deumaine Pl. According to tax assessor records, the house was constructed in 1971. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented southeast and has an asphalt shingle gable roof with large overhanging eaves, roman brick veneer siding on the first story, horizontal cement board siding on the second story and a concrete slab foundation. The façade features a cantilevered second story. Poured concrete steps with a roman brick veneer, an integrated rusticated roman brick planter and a wrought-iron balustrade lead to a recessed, single-bay entrance with original wood panel double doors and decorative wrought-iron storm doors. The windows are filled with original paired horizontal two-over-two double hung wood sashes with louvered vinyl shutters. The first story features original paired horizontal two-over-two double-hung wood sashes with brick sills and louvered vinyl shutters. The southwest window on the first story has a wrought-iron grate. The northeast elevation has metal louvered venting in the gable-end and is clad in cement board siding on the second story with an original aluminum slider window. The first story continues with roman brick veneer siding with original aluminum slider windows. The southwest elevation has metal louvered venting in the gable-end and is clad in cement board siding on the second story with an original aluminum slider window and roman brick veneer siding on the first story. The northwestern rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-100 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling, as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original form and original primary cladding remains. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, and large overhanging eaves. As a good example of the Split-Foyer house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 351: 1055 Deumaine Pl. southeast facade, looking northwest.



Figure 352: 1055 Deumaine Pl. southwest elevation, looking north.



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Figure 353: 1055 Deumaine Pl. northeast elevation, looking west.



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18.1.87. Newly Inventoried Property HS-101: 1061 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1061 Deumaine Pl., Resource HS-101 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Deumaine Pl. According to tax assessor records, the house was constructed in 1973. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof with large overhanging eaves, Roman brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features an integrated carport that has been enclosed into a garage to the northeast with vertical wood panel board siding and a double-bay aluminum roll-up garage door. A poured concrete stoop leads to a recessed entrance bay with an original wood panel door with decorative cast-iron storm door and sidelight. The windows are filled with original six-over-six double-hung wood sashes with brick sills, decorative cast iron grates and louvered vinyl shutters. The northeast elevation has metal louvered venting in the gable-end and vertical wood panel board siding. There is a wood panel door and a sunroom addition extending along the elevation to the northwest. The sunroom addition has a second-story concrete deck with a wrought-iron balustrade; aerials indicate that this addition was built between 1973 and 1981. The southwest elevation has metal louvered venting and vertical wood panel board siding in the gable-end with a brick soldier course below, delineating the first story. There is a window filled with an original aluminum slider with brick sills. The northwestern rear elevation is not visible from the ROW. To the rear is a one-story storage shed with a gable roof.

Evaluation of Integrity: Resource HS-101 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original primary cladding materials have not been altered. While the original form has been altered with the construction of a rear addition, the integrity remains as it is minimally visible from the street. The integrity of design is slightly diminished by the enclosure of the original carport to a garage. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 354: 1061 Deumaine Pl. southeast facade, looking northwest.



Figure 355: 1061 Deumaine Pl. northeast elevation, looking southwest.



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Figure 356: 1061 Deumaine Pl. southwest elevation, looking north.



Figure 357: 1061 Deumaine Pl. outbuilding of HS-101, looking northwest.



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18.1.88. Newly Inventoried Property HS-102: 1067 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1067 Deumaine Pl., Resource HS-102 is a Ranch style single-family residential house with French stylistic influences. The house is centrally located on a rectangular parcel on the northwest side of Deumaine Pl. According to tax assessor records, the house was constructed in 1972. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof with large overhanging eaves, brick veneer siding with a brick rowlock course under the eaves and a concrete slab foundation. The façade features a partial-width hipped roof porch supported by decorative cast-iron posts to the southeast, sheltering a poured concrete deck with a wrought-iron balustrade leading to an entrance with a segmental brick rowlock arch and a replacement full-light leaded wood door with leaded sidelights and a replacement aluminum storm door. Segmental brick rowlock arch windows are equally spaced across the façade and are filled with original six-over-four double-hung wood sashes with brick sills, decorative cast iron grates and louvered vinyl shutters. The northeast elevation has a brick rowlock course under the large overhanging eaves and two windows filled with original four-over-four double-hung wood sashes with brick sills and decorative cast-iron grates. The southwest elevation has a brick rowlock course under the large overhanging eaves and windows filled with a pair of original four-over-four double-hung wood sashes to the northwest and a window filled with four-over-four double-hung wood sashes to the southeast with brick sills and decorative cast-iron grates. An original wrought-iron gate spans the driveway to the southwest. The northwestern rear elevation is not visible from the ROW. Aerials and side elevations show a hipped wing to the southwest. Associated with Resource HS-102 is a one-story garage with an asphalt shingle pyramidal roof, and vertical wood panel board siding located in the northwest corner of the parcel, oriented southwest.

Evaluation of Integrity: Resource HS-102 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original primary cladding materials have not been altered. The house features architectural details typical of the Ranch style with French stylistic influences, such as a high-pitched hipped roof, brick veneer siding, segmental arches, tall shutters, full-height windows, and iron detailing. As a good and intact example

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of the Ranch house style with French stylistic influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 358: 1067 Deumaine Pl. southeast facade, looking northwest.



Figure 359: 1067 Deumaine Pl. northeast elevation, looking southwest.



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Figure 360: 1067 Deumaine Pl. southwest elevation, looking north.



Figure 361: 1067 Deumaine Pl. outbuilding, looking northwest.



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18.1.89. Newly Inventoried Property HS-103: 1071 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1071 Deumaine Pl., Resource HS-103 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Deumaine Pl. According to tax assessor records, the house was constructed in 1973. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof with overhanging eaves, Roman brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features an integrated carport to the northeast, supported by a decorative cast-iron corner post. There is a central front-gable porch supported by a colonnade of decorative cast-iron posts sheltering a poured concrete deck that leads to a central original wood panel double-door with decorative cast-iron storm door. The windows are filled with original six-over-six double-hung wood sashes with brick sills, and louvered vinyl shutters. The carport's interior is clad with vertical wood panel board siding with a cast-iron storm door on the southeast elevation. The northeast elevation has metal louvered venting in the gable-end and vertical wood panel board siding. Within the carport is an original six-over-six double-hung wood sash window and an original wood panel door with a cast-iron storm door in the northwest corner of the northeast elevation. The southwest elevation has metal louvered venting and vertical wood panel board siding in the gable-end with a brick soldier course below, delineating the first story. The northwestern rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-103 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 362: 1071 Deumaine Pl. southeast facade, looking northwest.



Figure 363: 1071 Deumaine Pl. northeast elevation, looking west.



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Figure 364: 1071 Deumaine Pl. southwest elevation, looking north.



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18.1.90. Newly Inventoried Property HS-104: 1075 Deumaine Place

Contributing to the French Fort Historic District

Description: Located at 1075 Deumaine Pl., Resource HS-104 is a Ranch style single-family residential house. The house is centrally located on a triangular parcel on the northwest side of Deumaine Pl. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial that shows the house present. The house was constructed ca. 1970 based on historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle hipped roof with wide overhanging eaves, brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features an integrated garage to the southwest, with two, single-bay garage openings with original four-light paneled aluminum roll-up doors. There is a central, partial-width hipped porch supported by a colonnade of decorative cast-iron posts. A concrete deck leads to a central, original wood panel door with a decorative cast-iron storm door. Paired windows filled with original nine-over-six double-hung wood sashes with brick sills, and louvered vinyl shutters flank the front door with a paired window piercing the façade to the northeast. The northeast elevation has overhanging eaves and a brick soldier course below with windows filled with original six-over-six double hung wood sashes and cast-iron grates. The southwest elevation has overhanging eaves and a brick soldier course below. The northwestern rear elevation is not visible from the ROW. Original decorative cast-iron gates with brick posts separate the front yard from the rear. Associated with Resource HS-104 is a prefabricated storage shed with a transition metal gable roof and cement board siding, located in the northwest corner of the parcel, oriented southwest.

Evaluation of Integrity: Resource HS-104 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, and iron detailing. As a good and intact example of the Ranch house that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 365: 1075 Deumaine Pl. southeast facade, looking northwest.



Figure 366: 1075 Deumaine Pl. northeast elevation, looking northeast.



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Figure 367: 1075 Deumaine Pl. southwest elevation, looking north.



Figure 368: 1075 Deumaine Pl. outbuilding, looking northwest.



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18.1.91. Newly Inventoried Property HS-105: 1078 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1078 Bourbon Pl., Resource HS-105 is a Ranch style single-family residential house with French stylistic influences. The house is centrally located on a triangular corner parcel on the east side of Bourbon Pl. and north side of Deumaine Pl.. According to tax assessor records, the house was constructed in 1972. This date is inconsistent with the 1971 historic aerial, showing the house present. The house was built ca 1970 based on historic aerials and the Ranch style.

Of frame construction, the one-story house is oriented south with a U-shaped plan and has an asphalt shingle hipped roof with large overhanging eaves, white Roman brick veneer siding and a concrete slab foundation. The façade features a central partial-width hipped roof projection with a poured concrete stoop clad in terracotta tile with a wrought-iron balustrade leading to an entrance with a segmental arch rowlock arch and an original full-light wood panel door with a decorative cast-iron storm door. Segmental brick rowlock arch windows are filled with original six-over-four double-hung wood sashes with decorative wood panels below, brick sills, decorative cast iron grates and vinyl shutters. The east elevation has large overhanging eaves and two segmental brick rowlock arch windows filled with original six-over-six double-hung wood sashes with brick sills and decorative wrought-iron grates. Single-light fixed windows flank an exterior end brick chimney to the north of the elevation that has been removed above the roofline. The west elevation has segmental brick rowlock arch windows filled with original six-over-six double-hung wood sashes with brick sills and decorative wrought-iron grates. There is an integrated carport to the north of the elevation supported by decorative cast-iron posts with a decorative cast-iron gate across the carport's entrance. The northern rear elevation is not visible from the ROW. Aerials and side elevations show original hipped L-shaped wings to the east and west.

Evaluation of Integrity: Resource HS-105 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as the original windows, the original ironwork, the original form, and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style with French stylistic influences, such as a hipped roof, brick veneer siding, segmental arches, tall shutters, and iron detailing. As a good and intact example of the Ranch house style with French stylistic influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 369: 1078 Bourbon Pl. south facade, looking north.



Figure 370: 1078 Bourbon Pl. east elevation, looking northwest.



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Figure 371: 1078 Bourbon Pl. west elevation, looking east.



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18.1.92. Newly Inventoried Property HS-106: 1072 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1072 Bourbon Pl., Resource HS-106 is a two-story Gable-L form single-family residential house with Spanish revival influences. The house is centrally located on a rectangular parcel on the east side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is consistent with the historic aerials and the building's gabled-L form.

Of frame construction, the two-story house is oriented west and has an asphalt shingle gable roof with large overhanging eaves, Roman brick veneer siding and a concrete slab foundation. The façade features a gable wing projection to the north with central false beam projections and rounded brick rowlock arch windows filled with wood panel board and original nine-over-six double-hung wood sashes with brick sills and cast-iron grates and shutters. An integrated brick planted capped in decorative cast-iron spans the gable wing and wraps along the north and south elevation. The two-story block of the house is clad in cement board siding on the second story, with large overhanging eaves with decorative cast-iron below. There are original aluminum slider windows with decorative cast-iron grates and shutters. The first story has an integrated carport with a decorative cast-iron post and balustrade to the north, leading to the front entrance. Behind the balustrade is an original twelve-over-six double-hung wood sash window in the north corner with a brick sill and decorative cast-iron grate and shutters. The west elevation of the carport has a decorative cast-iron gate leading to the rear yard. The south elevation of the house has large overhanging eaves with decorative cast-iron below. The second story is clad in cement board siding with roman brick veneer and decorative brick screening enclosing the carport on the first story. There is a second story deck with a decorative cast-iron balustrade to the east. The south elevation of the gable wing has a window filled with original nine-over-six double-hung wood sashes with a brick sill and cast-iron grates and shutters. The front entrance, with an original wood panel door and a cast-iron storm door is in the east corner of the elevation. Within the carport is vertical wood panel board siding and an original wood panel door with decorative cast-iron storm door on the elevation. The first story of the north elevation has large overhanging eaves with decorative cast-iron below. The windows are filled with original double-hung wood sashes and aluminum sliders with brick sills and cast-iron grates. The second story of the north elevation has large overhanging eaves with decorative cast-iron below and is clad in cement board siding. The eastern rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-106 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity

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of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. The house features architectural details typical of the gable-L form with Spanish Revival influences, such as a front facing gable wing, false beam projections, round arches, brick veneer siding, and iron detailing. As a good and intact example of the Gable-L form with Spanish Revival influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 372: 1072 Bourbon Pl. west facade, looking east.



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Figure 373: 1072 Bourbon Pl. entrance detail and south elevation of wing, looking northeast.



Figure 374: 1072 Bourbon Pl. north elevation, looking southeast.



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Figure 375: 1072 Bourbon Pl. south elevation, looking northeast.



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18.1.93. Newly Inventoried Property HS-107: 1066 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1066 Bourbon Pl., Resource HS-107 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is consistent with the historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented west and has an asphalt shingle hipped roof with wide overhanging eaves, brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features an integrated garage to the south, with two, single-bay garage openings with paneled aluminum roll-up doors. There is a central, partial-width hipped porch supported by a colonnade of decorative cast-iron posts with corner brackets, sheltering a poured concrete deck that leads to a central original wood panel door with a decorative cast-iron storm door. Picture windows filled with a central single-light wood window flanked by horizontal two-over-two double-hung wood windows with decorative wrought-iron grates and vinyl paneled shutters pierce the façade to the north and south of the front door. The south elevation has overhanging eaves and a brick soldier course of brick below with windows filled with original aluminum sliders with brick sills and an original wood panel door. The north elevation has overhanging eaves and a brick soldier course below. The windows are filled with original two-over-two double-hung wood sashes with brick sills and wrought-iron grates. A picture window pierces the elevation to the west with a central single-light wood window flanked by horizontal two-over-two double-hung wood sash windows with decorative wrought-iron grates. The western rear elevation is not visible from the ROW. Aerials and side elevations show an original L-shaped hipped roof wing on the north side of the elevation.

Evaluation of Integrity: Resource HS-107 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, a colonnade, a picture window, an attached carport or garage, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 376: 1066 Bourbon Pl. west facade, looking east.



Figure 377: 1066 Bourbon Pl. south elevation, looking northeast.



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Figure 378: 1066 Bourbon Pl. north elevation, looking southeast.



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18.1.94. Newly Inventoried Property HS-108: 1060 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1060 Bourbon Pl., Resource HS-108 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Bourbon Pl. According to tax assessor records, the house was constructed in 1971. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented west and has an asphalt shingle hipped roof, Roman brick veneer siding and a concrete slab foundation. The façade features an integrated recessed porch and carport to the south supported by decorative cast-iron posts. A poured concrete deck leads to a side entry with an original wood panel door with a decorative cast-iron storm door. A ribbon of three windows filled with six-over-six double-hung wood sashes with decorative wrought-iron grates, brick sills and louvered vinyl shutters pierce the façade to the south, sheltered by the overhanging roof. Windows equally spaced along the façade to the north are filled with six-over-six double-hung wood sashes with brick sills and louvered vinyl shutters. The carport is clad in cement board siding with a solid wood door and an original wood panel door with a decorative cast-iron storm door in the north corner of the west elevation. The south elevation has overhanging eaves and brick veneer siding. Within the carport is cement board siding. The north elevation has overhanging eaves and windows filled with original horizontal two-over-two double-hung wood sashes with brick sills. The western rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-108 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as a low-pitched roof, multiple exterior accent materials, an attached carport or garage, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 379: 1060 Bourbon Pl. west facade, looking east.



Figure 380: 1060 Bourbon Pl. entrance, looking northeast.



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Figure 381: 1060 Bourbon Pl. south elevation, looking northeast.



Figure 382: 1060 Bourbon Pl. north elevation, looking southeast.



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18.1.95. Newly Inventoried Property HS-109: 1054 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1054 Bourbon Pl., Resource HS-109 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Bourbon Pl. According to tax assessor records, the house was constructed in 1971. This date is inconsistent with the 1971 historic aerial. The house was likely constructed soon after in 1972, based on its architectural style and the age of surrounding houses.

Of frame construction, the one-story house is oriented west and has an asphalt shingle gable roof, brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features an integrated carport to the north supported by a decorative cast-iron corner post. A poured concrete stoop clad in terracotta tiles leads to a recessed entrance with vertical wood panel board siding and an original wood panel door with a decorative cast-iron storm door and sidelight to the north. The windows are filled with six-over-six double-hung wood sashes with cloth awnings, brick sills and louvered vinyl shutters. The carport is clad in vertical wood panel board siding. There is an original brick planter spanning the façade. The south elevation has metal louvered venting and vertical wood panel board siding in the gable-end with a brick soldier course below, delineating the first story. There is an original aluminum slider window with brick sills. The north elevation has metal louvered venting in the gable-end and vertical wood panel board siding with a solid wood door to the west. Within the carport is vertical wood panel board siding with an original door with a decorative cast-iron storm door in the west corner of the north elevation. The western rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-109 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, and feeling remain as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as a low-pitched roof, multiple exterior accent materials, an attached carport or garage, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 383: 1054 Bourbon Pl. west facade, looking east.



Figure 384: 1054 Bourbon Pl. south elevation, looking northeast.



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Figure 385: 1054 Bourbon Pl. north elevation, looking southeast.



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18.1.96. Newly Inventoried Property HS-110: 1048 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1048 Bourbon Pl., Resource HS-110 is a Mansard-style Split-Foyer single-family residential house. The house is centrally located on a rectangular parcel on the east side of Bourbon Pl. According to tax assessor records, the house was constructed in 1972. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented west and has an asphalt shingle gambrel roof, Roman brick veneer exterior siding on the first story, asphalt shingles and vinyl siding on the second story and a concrete slab foundation. The façade features a cantilevered second story clad in asphalt shingles. Poured concrete steps with a Roman brick veneer, an integrated Roman brick planter and a wrought-iron balustrade lead to a recessed, single-bay entrance with a gable roof awning, vinyl siding and original wood panel double-doors with decorative cast-iron storm doors. The second story has gabled wall dormers clad in vinyl siding with windows filled with six-over-six double-hung wood sashes with decorative cast-iron grates to the north and a twenty-four light original wood picture window with a decorative cast-iron grate to the south. The first story features two original single-bay aluminum panel garage doors to the north of the front entry with vinyl siding infill above. The north elevation has metal louvered venting and is clad in vinyl siding on the second story with two, original aluminum slider windows. Roman brick veneer continues on the first story. The south elevation has metal louvered venting and is clad in vinyl siding on the second story with two, original aluminum vinyl slider windows. The first story continues with a Roman brick veneer siding and two original aluminum slider windows with a brick sill. The western rear elevation is not visible from the ROW. A concrete block privacy fence surrounds the rear yard with an original wrought-iron gate entrance to the north of the house. Aerials show an in-ground pool in the rear yard.

Evaluation of Integrity: Resource HS-110 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling, as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original form, design and original primary cladding remains. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, and an attached carport or garage. As a good example of the Split-Foyer house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 386: 1048 Bourbon Pl. northwest façade, looking southeast.



Figure 387: 1048 Bourbon Pl. southwest elevation, looking northeast.



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Figure 388: 1048 Bourbon Pl. north elevation, looking south.



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18.1.97. Newly Inventoried Property HS-111: 1040 Bourbon Place

Contributing to the French Fort Historic District

Description: Located at 1040 Bourbon Pl., Resource HS-111 is a Ranch style single-family residential house. The house is centrally located on a triangular parcel on the southeast side of Bourbon Pl. According to tax assessor records, the house was constructed in 1973. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle cross gable roof, brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features an integrated carport to the northeast supported by a decorative cast-iron corner post. There is a central partial-width front gable porch with vertical wood panel board siding in the gable-end and a dentil detail on the fascia, supported by a colonnade of decorative cast-iron posts. A poured concrete deck leads to an original wood panel door with a decorative cast-iron storm door. The windows are filled with replacement one-over one double-hung vinyl sashes with brick sills, decorative wrought-iron grates, and vinyl paneled shutters. The carport is clad in vertical wood panel board siding with a central, solid wood door and an original horizontal three-light wood door with a decorative cast-iron storm door in the southeast corner on its northwest elevation. The southwest elevation has metal louvered venting and vertical wood panel board siding in the gable-end with a brick soldier course below delineating the first story. There are clerestory windows are filled with replacement one-over-one double-hung vinyl sashes with brick sills and wrought-iron grates. The northeast elevation has metal louvered venting in the gable-end and vertical wood panel board siding. The southeastern rear elevation is not visible from the ROW. Aerials show an original L-shaped gable wing to the southwest of the elevation. There is a one-story storage building to the rear with an asphalt shingle gable roof, vertical wood panel board siding and double doors.

Evaluation of Integrity: Resource HS-111 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, and feeling remain as all the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original form and primary cladding materials have not been altered. While the windows have been replaced, enough original material remains to maintain integrity. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 389: 1040 Bourbon Pl. northwest facade, looking southeast.



Figure 390: 1040 Bourbon Pl. southwest elevation, looking northeast.



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Figure 391: 1040 Bourbon Pl. northeast elevation, looking south.



Figure 392: 1040 Bourbon Pl. outbuilding, looking southeast.



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18.1.98. Newly Inventoried Property HS-112: 1011 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 1011 Esplanade Pl., Resource HS-112 is a Split-Foyer style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with the historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented east and has an asphalt shingle cross-gable roof with large overhanging eaves, painted brick veneer exterior siding on the first story, cement board siding on the second story, and a concrete slab foundation. The façade features a partial-width front facing gable roof to the south, and a cantilevered second story. Poured concrete steps with a brick veneer, an integrated brick planter and a wrought-iron balustrade lead to a recessed, single-bay entrance clad with cedar shake siding with an original wood panel door and decorative cast-iron storm door. The second-story windows are filled with replacement vinyl slider windows with wood plank shutters. The first story features two single-bay paneled aluminum garage doors with decorative stained wood headers to the south of the front entry. The north elevation has metal louvered venting in the gable-end and is clad in cement board siding on the second story. The first story continues with painted brick veneer with replacement vinyl slider windows with brick sills and a brick rowlock course above. The south elevation has metal louvered venting in the gable-end and is clad in cement board siding on the second story with painted brick veneer on the first story. The western rear elevation is not visible from the ROW. Aerials and side elevations show a second-story rear deck addition with an aluminum balustrade.

Evaluation of Integrity: Resource HS-112 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house no longer maintains integrity of materials, design, workmanship, and feeling, as the windows have been replaced, the original ironwork window grates characteristic of the neighborhood have been removed and the original design and original primary cladding have been altered. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, large overhanging eaves, and an attached carport or garage. Due to significant alterations, the house is no longer a good intact exampl the Split-Foyer house style that characterizes the French Fort neighborhood; therefore, it is not considered a non-contributing resource to the historic district.

Figure 393: 1011 Esplanade Pl. east facade, looking west.



Figure 394: 1011 Esplanade Pl. north elevation, looking southwest.



DRAFT - DELIBERATIVE

Figure 395: 1011 Esplanade Pl. south elevation, looking northwest.



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18.1.99. Newly Inventoried Property HS-113: 1005 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1005 Esplanade Pl., Resource HS-113 is a Split-Foyer style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with the historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented east and has an asphalt shingle gable roof with large overhanging eaves, Roman brick veneer exterior siding on the first story, vertical wood panel board siding on the second story, and a concrete slab foundation. The façade features a cantilevered second story. Poured concrete steps with an integrated brick planter and a wrought-iron balustrade lead to a recessed, single-bay entry clad in cement board, with a set of original wood panel double-doors with decorative cast-iron storm doors and a single-light transom above. The second-story windows are filled with original aluminum slider windows to the south and paired one-over-one double-hung aluminum sash windows to the north with louvered vinyl shutters. The first story features two, single-bay original three-light paneled aluminum garage doors to the south of the front entry. The north elevation has metal louvered venting in the gable-end and is clad in vertical wood panel board siding on the second story with Roman brick veneer on the first story. There is an original aluminum slider window with a decorative wrought-iron grate and a brick sill. The south elevation has metal louvered venting in the gable-end and is clad in vertical wood panel board siding on the second story with Roman brick veneer on the first story. The western rear elevation is not visible from the ROW. Associated with Resource HS-113 is a one-story prefabricated storage shed with a transition metal gable roof, vertical cement board siding and vinyl six-over-six double-hung windows, located on the western parcel line, oriented east.

Evaluation of Integrity: Resource HS-113 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling, as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original form and primary cladding remains. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, large overhanging eaves, and an attached carport or garage. As a good intact example of the Split-Foyer house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 396: 1005 Esplanade Pl. east facade, looking west.



Figure 397: 1005 Esplanade Pl. north elevation, looking southwest.



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Figure 398: 1005 Esplanade Pl. south elevation, looking northwest.



Figure 400: 1005 Esplanade Pl. outbuilding, looking southeast.



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18.1.100. Newly Inventoried Property HS-114: 999 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 999 Esplanade Pl., Resource HS-114 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle hipped roof with large overhanging eaves, painted brick veneer siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features an integrated carport to the south supported by replacement square cedar posts. There is a central partial-width hipped porch supported by a colonnade of decorative cast-iron posts sheltering a poured concrete deck that leads to an original wood panel door with a replacement aluminum storm door. The windows are filled with replacement one-over one double-hung vinyl sashes with brick sills and wood panel shutters. The carport is clad in brick veneer siding with a replacement wood panel door and an original wood door with a decorative cast-iron storm door in the north corner on its east elevation. The north elevation has a brick soldier course under the large overhanging eaves and windows filled with replacement one-over-one double-hung vinyl sashes. The south elevation has a screened porch with a shed roof to the west along the elevation. Within the carport is a replacement one-over-one double-hung vinyl sash window with a brick sill in the western corner of the elevation. The western rear elevation is not visible from the ROW. Aerials and side elevations show an original L-shaped gable wing on the north side of the elevation and a shed roof addition to the south. Associated with Resource HS-114 is a one-story storage building located along the north parcel line, oriented east with a transition metal gable roof and siding. Original decorative cast-iron fencing and gates surround the rear yard.

Evaluation of Integrity: Resource HS-114 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, and feeling no longer remain as the original windows have all been replaced, most the original ironwork characteristic of the neighborhood has been removed, and the original brick siding has been painted. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, large overhanging eaves, an attached carport or garage, and iron detailing. Due to significant alterations, the house is no longer a good and intact example of the Ranch house style that characterizes the French Fort neighborhood; therefore, it is considered a non-contributing resource to the historic district.

Figure 399: 999 Esplanade Pl. east facade, looking west.



Figure 400: 999 Esplanade Pl. north elevation, looking southwest.



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Figure 401: 999 Esplanade Pl. south elevation, looking northwest.



Figure 402: 999 Esplanade Pl. outbuilding, looking west.



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18.1.101. Newly Inventoried Property HS-115: 991 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 991 Esplanade Pl., Resource HS-115 is a Contemporary style single-family residential house with a front-gable form. The house is centrally located on a rectangular parcel on the west side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Contemporary style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle gable roof and a concrete slab foundation. The house is clad in multiple siding applications, including a Roman brick veneer, a flagstone veneer and wood panel board siding. The façade features vertical wood panel board siding in the gable-end with a central partial-width front facing gable porch with vertical wood panel board siding supported by replacement square wood posts with corner brackets. A concrete deck leads to a replacement two-light wood door flanked by wood panels with stained-glass sidelights. Flanking the central bay are two vertical bands of brick veneer siding, delineating the façade and extending into the eaves. A picture window with a Central. single-light wood window flanked by horizontal two-over-two double-hung wood sash windows with brick sills pierces the façade to the north with flagstone veneer siding above and a brick veneer below. A bay of flagstone veneer siding extends into the eaves with a paired window opening that is enclosed with plywood, pierces the façade to the south. A flagstone veneer integrated planter spans the façade to the south of the front entrance. The north elevation has large overhanging eaves and windows filled with original horizontal two-over-two double-hung wood sashes and a double-hung wood window trimmed in a flagstone veneer. A rear addition extends to the west along the elevation, maintaining the roofline, but recesses from the elevation with cement shake siding and an aluminum slider window. The south elevation has brick veneer siding with large overhanging eaves and an original wood panel door with a decorative wrought-iron storm door. An addition extends to the west along the elevation, maintaining the roofline, but recesses from the elevation with aluminum siding. The western rear elevation is not visible from the ROW. Aerials and side elevations of the house show there is an original L-shaped wing to the north. Historic aerials show gable-roof wing additions were constructed sometime between 1973 and 1984 to the north and south of the elevation.

Evaluation of Integrity: Resource HS-115 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Since its original construction, the house has undergone alterations to its facade. The front porch

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has been rebuilt in a new design, and the front door and sidelights have been replaced. Windows on the front façade are boarded up, although the original openings are still legible. The original footprint has been expanded by large rear additions; however, these additions are not clearly visible from the ROW. The house features architectural details typical of the Contemporary style, such as a low-pitch gabled roof with large overhanging eaves, and it retains its original brick and stone veneer cladding. Although the house has had minor changes to its materials, the character-defining features remain intact and the alterations are in keeping with the character of the neighborhood. The house retains integrity of materials, design, workmanship, and feeling. As a good and intact example of the Contemporary style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 403: 991 Esplanade Pl. east facade, looking west.



Figure 404: 991 Esplanade Pl. north elevation, looking southwest.



Figure 405: 991 Esplanade Pl. south elevation, looking northwest.



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18.1.102. Newly Inventoried Property HS-116: 983 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 983 Esplanade Pl., Resource HS-116 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle hipped roof with large overhanging eaves, rusticated roman brick veneer exterior siding and a concrete slab foundation. The façade features a central, partial-width hipped roof porch supported by a colonnade of square cedar posts with an integrated carport to the north of the façade, supported by square cedar posts. A poured concrete deck clad in terracotta tile leads to replacement craftsman style door with a replacement full-light aluminum storm door. The windows are filled with replacement one-over-one vinyl sashes with brick sills and wood plank shutters. A modern horizontal cedar plank gate with aluminum posts spans across the carport opening. The north elevation has modern horizontal cedar screening enclosing the carport. The south elevation has windows filled with one-over-one double-hung vinyl sashes and a replacement picture windows with brick sills. The eastern rear elevation is not visible from the ROW. Aerials and side elevations show an original L-shaped wing on the south side of the elevation. Associated with Resource HS-116 is a hipped roof garage with brick veneer siding and a single-bay paneled aluminum roll-up garage door, located in the northwest corner of the parcel, oriented east. Original roman brick veneer posted flank the driveway with a modern horizontal cedar plank gate.

Evaluation of Integrity: Resource HS-116 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling no longer remain as all the original windows have been replaced, the original ironwork characteristic of the neighborhood has been removed, the cast-iron posts have been replaced and the carport has been enclosed with modern screening and a gate. The original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as a low-pitch roof, multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. Due to significant alterations, the house is no longer a good and intact example of the Ranch house style that characterizes the French Fort neighborhood; therefore, it is considered a non-contributing resource to the historic district.

Figure 406: 983 Esplanade Pl. east facade, looking west.



Figure 407: 983 Esplanade Pl. north elevation, looking southwest.



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Figure 408: 983 Esplanade Pl. south elevation, looking northwest.



Figure 409: 983 Esplanade Pl. outbuilding, looking west.



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18.1.103. Newly Inventoried Property HS-117: 979 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 979 Esplanade Pl., Resource HS-117 is a Split-Foyer style single-family residential house. The house is centrally located on a rectangular corner parcel on the west side of Esplanade Pl. at the intersection of Riverside Blvd. and Esplanade Pl. According to tax assessor records, the house was constructed in 1967. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented east and has an asphalt shingle gable roof with large overhanging eaves, Roman brick veneer exterior siding on the first story, vinyl siding on the second story, and a concrete slab foundation. The façade features a cantilevered second story. Poured concrete steps with a Roman brick veneer, an integrated Roman brick planter, and a wrought-iron balustrade lead to a recessed, single-bay entrance with an original wood panel door and decorative cast-iron storm door. The second-story windows are filled with original four-light aluminum sliders with louvered wood shutters to the south, with an original twelve-light picture window piercing the façade to the north. The first story features enclosed garage bays to the south of the front entry, with brick in-fill and six window openings with brick sills that are boarded with plywood. An integrated brick planter spans the front façade to the south as a later addition. The north elevation is clad in vinyl siding on the second story and Roman brick on the first story with two window openings with brick sills boarded with plywood. The north elevation is clad in vinyl siding on the second story while Roman brick veneer continues on the first. There is a central vinyl clad exterior-end chimney. The western rear elevation is not visible from the ROW. The rear yard is enclosed with a concrete block fence with decorative blocks. An original wrought-iron gate separates the front yard from the rear to the south. Associated with HS-117 is a storage shed with a transition metal gable roof and siding with aluminum slider windows, located in the southwest corner of the parcel, oriented north.

Evaluation of Integrity: Resource HS-117 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Since its original construction, windows have been boarded up and the garage bays have been enclosed; however, the original openings are still legible. The original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original form, design, and original primary cladding remain. The house also retains features and architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, large overhanging eaves, and an attached carport or garage. Thus, the house has integrity of

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materials, design, workmanship, and feeling. As a good and intact example of the Split-Foyer style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 410: 979 Esplanade Pl. east facade, looking west.



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Figure 411: 979 Esplanade Pl. north elevation, looking southwest.



Figure 412: 979 Esplanade Pl. south elevation, looking northwest.



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Figure 413: 979 Esplanade Pl. outbuilding, looking northwest.



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18.1.104. Newly Inventoried Property HS-118: 975 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 975 Riverside Blvd., Resource HS-118 is a Ranch-style, single-family residential house. The house is centrally located on a rectangular parcel on the north side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's style.

Of frame construction, the one-story house is oriented south and has an asphalt shingle, and gable roof and rests on a poured concrete foundation. The gable ends are clad in EIFS, punctuated by triangular vents, and framed by white fascia and trim. It is clad in yellow brick veneer siding with a soldier course under the eaves. A three-bay, hipped-roof entrance porch projects from the street-facing façade over a poured concrete deck. The porch is supported by four slender, fluted columns made of wood. The house retains its original wood-paneled door partially obscured by an original decorative wrought-iron storm door. It is framed by a pink paneled exterior door casing. Windows on the street-facing façade and the eastern and western elevations are filled with original six-over-six double-hung wood sashes that are accentuated by brick sills and framed by pink paneled shutters reminiscent of the paneled exterior door casing. All visible windows have original metal security bars over the lower sash.

HS-118's footprint was expanded by 1981 based on available historic aerials. Currently, the rear/north elevation is flanked by a shed-roofed addition on the western side and a gable-roofed addition that is interrupted by an attached gable-roofed carport on the eastern side. The shed-roofed addition is clad in EIFS and yellow brick in horizontal sections that bisect the wall, recalling the gable ends of the main house. The gable-end addition, which is partially obscured by the carport is clad in EIFS. The carport, which is supported by slender columns and is partially enclosed by a privacy wall of uncoursed fieldstone veneer, has gable-roof ends that recall the main house. They are clad in EIFS, punctuated by triangular vents, and framed by white fascia and trim. The carport shelters an entrance on the north/rear elevation that is partially obscured by a decorative wrought-iron storm door. The north rear elevation is also punctured by two six-over-six wood windows that are framed by large white wooden casings.

Evaluation of Integrity: Resource HS-118 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling because the original materials remain intact. The addition is minimally visible from the ROW. The house retains features and architectural details typical of the Ranch style, such as multiple

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exterior accent materials, original doors and windows, and wrought-iron detailing. As a good and intact example of the Contemporary house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 414: 975 Riverside Blvd. south façade, looking north.



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Figure 415: 975 Riverside Blvd. detail of the south façade, looking north.



Figure 416: 975 Riverside Blvd. north and west elevations, looking southeast.



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Figure 417: 975 Riverside Blvd. east elevation, looking northwest.



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18.1.105. Newly Inventoried Property HS-119: 969 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 969 Riverside Blvd., Resource HS-119 is a Ranch-style single-family residential house. The house is centrally located on a rectangular parcel on the north side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's style.

Of frame construction, the one-story house is oriented south, has an asphalt shingle gable roof and rests on a concrete slab foundation. It is clad in composite wood siding and brick veneer exterior siding with a soldier course under the eaves. A three-bay undercut porch supported by original square wooden columns with brackets projects from the street-facing façade over a poured concrete deck, sheltering the street-facing entrance. The house retains a decorative wrought iron storm door that obscures the door. Windows are filled with a combination of four-over-four vinyl sliders and replacement one-over-one wood windows. All visible windows are covered by aluminum storm windows. An attached garage has since been enclosed. The original opening is demarcated by composite wood board siding. Two large additions were added to the north elevation by 2008 based on available historic aerials. These additions are surmounted by asphalt-shingled gabled roofs and clad in composite wood board. The north/rear elevation is not visible from the ROW. A non-historic, prefabricated one-story shed sits in the northeasterly corner of the property. It is surmounted by a metal gable roof, is clad in vertical composite wood siding, has composite wood double doors on the south elevation, and is pierced by a double-hung window not fully visible from the ROW on the west elevation. A decorative iron fence encompasses the southerly portion of the parcel.

Evaluation of Integrity: Resource HS-119 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The building's original windows on the south façade have been replaced, and although the attached garage has been enclosed, the original garage opening remains legible. Additions have expanded the original footprint of the building; however, these changes are not clearly visible from the ROW. The overall form of the house is intact, and it maintains architectural details typical of the Ranch style, such as multiple exterior accent materials and wrought-iron detailing. HS-119 also retains original features such as its original columns and iron fence. Thus, it has integrity of materials, design, workmanship, and feeling despite minor changes. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 418: 969 Riverside Blvd. south elevation, looking north.



Figure 419: 969 Riverside Blvd. detail of the south elevation, looking northwest.



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Figure 420: 969 Riverside Blvd. west elevation, looking northeast.



Figure 421: 969 Riverside Blvd. east elevation, looking northwest.



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Figure 422: 969 Riverside Blvd. outbuilding, looking northwest.



Figure 423: 969 Riverside Blvd. west elevation, looking east.



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18.1.106. Newly Inventoried Property HS-120: 965 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 965 Riverside Blvd., Resource HS-120 is an Asiatic-style Ranch-form, single-family residential house. The building is located centrally on a rectangular parcel on the northeastern side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and with the building's style.

Of frame construction, the one-story house is oriented southwesterly. It has an asphalt shingle-hipped roof with Dutch gables with upturned ends that are clad in wooden lattice siding and exaggerated eaves that are painted persimmon. The house is clad in a rusticated Roman brick veneer siding with a soldier course under the eaves and rests on a poured concrete foundation. The corners are accentuated with extended bricks.

The southwestern, street-facing façade is interrupted by an attached carport, which is surmounted by an Asian-influenced hipped roof over a poured concrete deck. A Roman-brick privacy screen partially encloses the carport, which is pierced by two vertical openings with painted wrought-iron detailing. The street-facing façade is pierced by a two-over-two wood sash window and a replacement aluminum slider window that is accentuated by brick sills. The entrance on the street-facing façade is obscured by the privacy screen and a wrought-iron storm door and the privacy screen. The western elevation features a concrete-poured stoop that leads to a red wooden, six-light paneled door. It is interrupted by a replacement one-over-one wood window and a vertical sliding window. The eastern elevation is punctured by two vinyl vertical sliding windows. The northeastern elevation is not visible from the ROW. A non-historic, prefabricated one-story storage shed sits in the northwestern corner of the property. It is surmounted by an asphalt shingle roof, clad in wood composite siding, and has wood composite double doors.

Evaluation of Integrity: No exterior changes have been made to the house except for the possible replacement window on the street-facing façade, contributing to its integrity of materials, design, and workmanship. It retains architectural details typical of the Asiatic style, such as wood latticework, exaggerated eaves, and Dutch gables with upturned corners, which contributes to the integrity of feeling. Resource HS-120 also possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. As a good and intact example of an Asiatic-style house with Ranch influences that characterize the French Fort neighborhood, it is lered a contributing resource to the historic district.

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Figure 424: 965 Riverside Blvd. southeast façade looking northwest.



Figure 425: 965 Riverside Blvd. privacy screen detail on southwest facade, looking east.



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Figure 426: 965 Riverside Blvd. northeast elevation, looking west.



Figure 427: 965 Riverside Blvd. northwest elevation, looking south.



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Figure 428: 965 Riverside Blvd. outbuilding, looking northwest.



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18.1.107. Newly Inventoried Property HS-121: 955 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 955 Riverside Blvd., Resource HS-121 is a Ranch-style, single-family residential house. The building is located centrally on a triangular parcel on the western side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and with the building's style.

Of frame construction, the one-story house is oriented easterly and has an asphalt shingle cross-hipped roof. It is clad in brick veneer siding with a soldier course under the eaves and rests on a poured concrete foundation. A three-bay, hipped-roof entrance porch projects from the street-facing façade over a poured concrete deck. The porch is supported by four slender, fluted columns made of wood. The house retains its original wood-paneled door that is partially obscured by a decorative wrought-iron storm door. A brick planter spans most of the street-facing façade. Windows are filled with a combination of original six-over-six double-hung wood sashes and a vinyl sliding tract window. All visible windows have decorative wrought-iron storm windows. Six-over-six windows on the street-facing elevation hang over wooden panels and are accentuated by brick sills. Each window is framed by white louvered shutters. The two northernmost windows on the street-facing façade are accentuated by brick segmental arches. The southern elevation includes a plain wooden door that is also partially obscured by a decorative wrought-iron storm door. A single-bay carport has been enclosed with a plain wooden door with a metal bottom plate on the southern elevation. The western elevation is not visible from the ROW. A non-historic, prefabricated one-story shed sits in the northeastern corner of the property. It is surmounted by a metal gable roof, clad in composite wood siding, and pierced by a sliding vinyl tract window encased by plain wood shutters and a wooden shed door.

Evaluation of Integrity: The house maintains integrity of materials, design, workmanship, and feeling and features architectural details typical of the Ranch style, such as multiple exterior accent materials, integrated planters, and wrought-iron detailing despite the enclosure of the carport and the use of replacement vinyl windows. The visual impact of the enclosure of the carport is minimized because it is on a secondary elevation and completed in a similar brick veneer as the original. The replacement vinyl window is partially obscured by a wrought-iron storm door. Resource HS-121 also possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. As a good and intact example of the Ranch style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 429: 955 Riverside Blvd. southeast facade, looking northwest.



Figure 430: 955 Riverside Blvd. southeast facade detail, looking northwest.



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Figure 431: 955 Riverside Blvd. northeast elevation, looking west.



Figure 432: 955 Riverside Blvd. south oblique, looking north.



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18.1.108. Newly Inventoried Property HS-122: 937 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 937 Riverside Blvd., Resource HS-122 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Riverside Blvd. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle cross-gable roof with brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a front facing gable wing to the south and an integrated carport on the north, supported by a decorative cast-iron corner post. There is a central entrance with an original wood panel door and a decorative cast-iron storm door with vinyl-infill. The windows are filled with original six-over-six double-hung wood sashes with brick sills and vinyl louvered shutters. A picture window pierces the façade to the south of the entrance with a single-light window flanked by four-over-four double-hung wood sash windows. The south elevation has a louvered vent in the gable-end with vertical wood panel board siding. The windows are filled with original six-over-six double-hung wood sashes with brick sills. The north elevation has louvered metal venting in the gable-end with vertical wood panel board siding. The interior of the carport continues with the brick veneer exterior siding with a window filled with six-over-six double-hung wood sashes with brick sills and a wood panel door with a decorative cast-iron storm door in the southwest corner. The western rear elevation is not visible from the ROW. Aerials and side elevations show there are multiple additions to the rear.

Evaluation of Integrity: Resource HS-122 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and original primary cladding materials have not been altered. While the original form has been altered with the construction of rear additions, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, a picture window and wrought-iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 433: 937 Riverside Blvd. east facade, looking west.



Figure 434: 937 Riverside Blvd. north elevation, looking southwest.



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Figure 435: 937 Riverside Blvd. south elevation, looking northwest.



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18.1.109. Newly Inventoried **Property HS-123: 927 Riverside Boulevard**

Contributing to the French Fort Historic District

Description: Located at 927 Riverside Blvd., Resource HS-123 is a Ranch style single-family residential house in the gabled-L form. The house is centrally located on a rectangular parcel on the west side of Riverside Blvd. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle cross-gable roof with brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a front facing gable wing to the north and an integrated carport on the south side of the façade with a decorative cast-iron corner post and aluminum siding on its east elevation. The front entrance has an original wood panel double-door and decorative cast-iron storm doors. The windows are filled with original twelve-over-six double-hung wood sashes with brick sills and vinyl louvered shutters. A picture window pierces the façade to the north of the entrance with a twelve-over-six double-hung wood sash window flanked by eight-over-four double-hung wood windows. There is an original brick planter capped with decorative cast-iron detailing spanning the front elevation. The south elevation has metal louvered venting and vertical wood panel board siding in the gable-end. The carport has vertical wood panel board siding, a window filled with original two-over-two double-hung wood sashes, and an entry with an original horizontal three-light wood panel door with a decorative cast-iron storm door in the western corner. A rear addition extends to the west along the elevation with a large overhanging eave, a brick water table, aluminum siding and a window filled with original six-over-six double-hung wood sashes. According to historic aerials, this was added between 1994 and 1997. The north elevation has metal louvered venting and vertical wood panel board siding in the gable-end. The windows are filled with aluminum sliders and six-over-six double-hung wood sash windows with brick sills. An addition extends off the west elevation with a large overhanging eave, a brick water table, aluminum siding, and a window filled with original six-over-six double-hung wood sashes. The western rear elevation is not visible from the ROW. Aerials and side elevations of the house show the elevation has a full-width, hipped roof addition. Associated with Resource HS-123 is a one-story storage shed with a metal gable roof and vertical transition metal siding.

Evaluation of Integrity: Resource HS-123 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows

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are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. While the original form has been altered with the construction of a rear addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, an integrated planter, a large picture window and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 436: 927 Riverside Blvd. east facade, looking west.



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Figure 437: 927 Riverside Blvd. north elevation, looking southwest.



Figure 438: 927 Riverside Blvd. south elevation, looking northwest.



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Figure 439: 927 Riverside Blvd. outbuilding, looking northwest.



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18.1.110. Newly Inventoried Property HS-124: 921 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 921 Riverside Blvd., Resource HS-124 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the west side of Riverside Blvd. According to tax assessor records, the house was constructed in 1967. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle cross-gable roof with brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a central, partial-width front facing gable porch with vinyl siding in the gable-end, and an integrated carport to the south, supported by a decorative cast-iron corner post. The central porch roof is supported by a colonnade of decorative cast-iron posts sheltering a concrete deck leading to an original wood panel door with a decorative cast-iron storm door. Two windows flank each side of the front entrance and are filled with original nine-over-nine double-hung wood sashes with brick sills and vinyl louvered shutters. The carport's interior is clad with vinyl siding with an original solid wood door to the south and an original horizontal three-light wood panel door with a replacement aluminum storm door to the north on the carport's east elevation. The south elevation has vinyl siding and a window in the western corner of the southern elevation of the carport that is filled with original six-over-six double-hung wood sashes. The north elevation has vinyl siding in the gable-end with a soldier course of brick below, delineating the first story from the attic. The western rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-124 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, the form and the original primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 440: 921 Riverside Blvd. east facade, looking west.



Figure 441: 921 Riverside Blvd. north elevation, looking southwest.



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Figure 442: 921 Riverside Blvd. south elevation, looking northwest.



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18.1.111. Newly Inventoried Property HS-125: 915 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 915 Riverside Blvd., Resource HS-125 is a Ranch style single-family residential house in the gabled-L form with Colonial Revival stylistic elements. The house is centrally located on a rectangular parcel on the west side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle cross-gable roof with brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a front facing gable wing to the north and an integrated carport on the south side of the façade supported by a wood Tuscan corner column. A partial-width shed roof porch is supported by colonnade of wood Tuscan columns sheltering a poured concrete deck leading to the front entrance with an original diamond-light wood door with diamond shaped panels and a decorative cast-iron storm door. Metal triangular wall sconces flank the entrance. The windows are filled with original horizontal two-over-two double-hung wood sashes with brick sills, decorative wrought-iron grates over the lower sashes and vinyl louvered shutters. A picture window pierces the façade to the north of the entrance with a single-light fixed wood window flanked by two-over-two double-hung wood sash windows. The carport's interior is clad with vertical wood panel board siding and a solid wood door on the east elevation. The south elevation has metal louvered venting in the gable-end and clad in vinyl siding. The carport has vinyl siding, a window filled with original two-over-two double-hung wood sashes and an original wood panel door with a decorative cast-iron storm door in the western corner. The north elevation has a metal louvered venting and vinyl siding in the gable-end. The windows are filled with sliders and six-over-six double-hung wood sash windows with brick sills and decorative wrought-iron grates. The western rear elevation is not visible from the ROW. Aerials show that the elevation has a T-shaped gable roof addition, constructed in 1991 according to county records and historic aerials.

Evaluation of Integrity: Resource HS-125 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original primary cladding materials have not been altered. While the original form has been altered by the construction of a rear addition, the integrity remains as it is not readily visible from the street. The house features

architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, a colonnade, a large picture window and iron detailing. As a good and intact example of the Ranch house style with Colonial Revival stylistic elements that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 443: 915 Riverside Blvd. east facade, looking west.



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Figure 444: 915 Riverside Blvd. north elevation, looking southwest.



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18.1.112. Newly Inventoried Property HS-126: 907 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 907 Riverside Blvd., Resource HS-126 is a Ranch style single-family residential house constructed in the Gabled-L form. The house is centrally located on a rectangular parcel on the west side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented east and has an asphalt shingle cross-gable roof, brick veneer exterior siding with a soldier course under the eaves, and a concrete slab foundation. The façade features a front facing gable wing to the north and an enclosed carport to the on the south. An original brick planter spans the front façade, with a poured concrete deck leading to the front entrance with original wood panel double-doors and decorative cast-iron storm doors. The windows are filled with original six-over-six double-hung wood sashes with brick sills, and decorative cast-iron grates. A picture window pierces the façade to the north of the entrance with a six-over-six double-hung wood sash window flanked by four-over-four double-hung wood sash windows with decorative cast-iron grates. The carport has been enclosed with wood panel board siding and vinyl sliding double-doors. The south elevation has metal louvered venting in the gable-end and clad in wood panel board siding. The north elevation has metal louvered venting and wood panel board in the gable-end. The windows are filled with aluminum sliders and a replacement six-over-six double-hung vinyl sash window with brick sills. The western rear elevation is not visible from the ROW. The house's mailbox is original in design and features matching decorative cast-iron post and detailing to the house. There is a brick fence with brick posts and decorative wrought-iron gates enclosing the rear yard along on the northern parcel line.

Evaluation of Integrity: Resource HS-126 possesses integrity of location because I not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, workmanship, design, and feeling remain as the majority of the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and original primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, integrated planters, a large picture window and iron detailing. Although the garage has been enclosed and some of the windows have been replaced, the house retains its Ranch form and characteristic iron detailing. As such, it is recommended as a contributing resource in the French Fort Historic District.

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Figure 445: 907 Riverside Blvd. east facade, looking west.



Figure 446: 907 Riverside Blvd. north elevation, looking southwest.



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Figure 447: 907 Riverside Blvd. south elevation showing enclosed carport, looking northwest.



Figure 448: 907 Riverside Blvd. outbuilding, looking southwest.



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Figure 449: 907 Riverside Blvd. Mailbox, looking northeast.



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18.1.113. Newly Inventoried Property HS-127: 914 Riverside Boulevard

Non-contributing to the French Fort Historic District

Description: Located at 914 Riverside Blvd., Resource HS-127 is a Ranch style single-family residential house. The house sits diagonally on a rectangular corner parcel at the intersection of Riverside Blvd. and Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle gable roof and a concrete slab foundation. The house is clad with a rusticated roman brick veneer with a soldier course below the eaves, along with stone veneer siding. The façade features a partial-width shed roof porch extension supported by a colonnade of decorative cast-iron posts and cast-iron fretwork, sheltering a poured concrete deck leading to a replacement fan-light door with a decorative cast-iron storm door. The windows are filled with original horizontal two-over-two double-hung wood sashes with brick sills and decorative cast-iron grates. A garage addition was added to the northeast side of the façade sometime between 1973 and 1984 based on historic aerials. The addition is clad in stone veneer siding with a window filled with six-over-six double-hung wood sashes. The northeast elevation has vinyl venting in the gable-end, cement board siding and a double-bay paneled aluminum roll-up door. The southwest elevation has vinyl venting and cement board siding in the gable-end. The windows are filled with original horizontal two-over-two double-hung wood sash windows with brick sills. The southeastern elevation is not visible from the ROW. Aerials of the house show an exterior brick chimney on the elevation.

Evaluation of Integrity: Resource HS-127 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling have been diminished by the construction of a side garage and changes to the exterior cladding and windows when this addition was constructed. Due to these alterations and the diminished integrity, this resource is recommended as non-contributing to the French Fort Historic District.

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Figure 450: 914 Riverside Blvd. northwest facade, looking southeast.



Figure 451: 914 Riverside Blvd. southwest elevation, looking northeast.



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Figure 452: 914 Riverside Blvd. northeast elevation, looking southwest.



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18.1.114. Newly Inventoried Property HS-128: 1174 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 1174 Esplanade Pl., Resource HS-128 is a Split-Foyer style single-family residential house. The house is centrally located on a triangular parcel on the southwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1967. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented northeast and has a transition metal gable roof with large overhanging eaves, roman brick veneer exterior siding on the first story, cement board and vertical wood panel board siding on the second story, and a concrete slab foundation. The façade features a cantilevered second story, poured concrete steps and a wrought-iron balustrade leading to a recessed, single-bay entrance with a wood panel double-door with decorative cast-iron storm double-door and single-light transom. The windows are filled with replacement, paired, one-over-one double-hung vinyl sashes, with a single-light vinyl picture window piercing the second story façade to the northwest. The original two-bay garage openings have been enclosed with a water table of brick veneer and cement board siding above with two, single-light fixed aluminum windows in each original garage bay. The northwest elevation has metal louvered venting in the gable-end with vertical wood panel board siding on the second story. The first story continues with roman brick veneer exterior siding. The windows are filled with original aluminum sliders with decorative wrought-iron grates, brick sills and a brick header bond for the header. A one-story addition with a second-story deck and metal balustrade accessed by a vinyl sliding double-door extends to the southwest along the elevation with brick veneer exterior siding and a vinyl slider window with decorative wrought-iron grates and a brick sill. The southeast elevation has metal louvered venting in the gable-end with vertical wood panel board siding on the second story. The first story continues with roman brick veneer exterior siding. A two-story gable-roof addition with a two-bay garage extends to the southwest with brick veneer exterior siding on the first story and a roof extension between the two floors. All additions were constructed in 1979 according to county records and historic aerials. The garage bay to the south has been enclosed with vertical paneled wood board siding with an aluminum roll-up door in the northern bay. The windows are filled with replacement one-over-one double-hung vinyl sash windows. The southwestern rear elevation is not visible from the ROW. Associated with Resource HS-128 is a one-story gable roof storage shed oriented northeast with a transition metal roof, vertical wood siding, and wood double-doors on the northeast elevation.

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Evaluation of Integrity: Resource HS-128 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house no longer maintains integrity of materials, design, workmanship, and feeling, as all the original windows have been replaced, the construction of large rear additions has significantly altered the form and design, and the original front façade garages have been enclosed and turned into living space. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, large overhanging eaves, and an attached carport or garage. Due to extensive alterations, the house is no longer a good representation of the Split-Foyer house style that characterizes the French Fort neighborhood, it is considered a non-contributing resource to the historic district.

Figure 453: 1174 Esplanade Pl. northeast facade, looking southwest.



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Figure 454: 1174 Esplanade Pl. northwest elevation, looking southeast.



Figure 455: 1174 Esplanade Pl. southeast elevation, looking northwest.



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Figure 456: 1174 Esplanade Pl. outbuilding, looking southwest.



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18.1.115. Newly Inventoried Property HS-129: 1154 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1154 Esplanade Pl., Resource HS-129 is a Split-Foyer style single-family residential house. The house is centrally located on a triangular parcel on the southwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented northeast and has a transition metal gable roof with large overhanging eaves, brick veneer exterior siding on the first story, vertical wood panel board siding on the second story, and a concrete slab foundation. The façade features a cantilevered second story with dentil detailing along the bottom. Poured concrete steps with a brick veneer and a wrought-iron balustrade lead to a recessed, single-bay entrance with original wood panel double-doors and decorative cast-iron storm doors with a replacement stained-glass transom. The windows are filled with original two-light aluminum sliders, with an original single-light picture window with two-light horizontal sliders below, piercing the second story façade to the northwest. All the windows feature decorative cast-iron grates. The original two-bay garage openings to the southeast of the front entry have been enclosed with brick. There is a one-story, side-gable wing to the north. The northwest elevation has louvered metal venting in the gable end with vertical wood panel board siding. The single-story wing has louvered wood vents and vertical wood panel board siding in the gable-end with a horizontal wood band delineating the brick veneer siding below. A central exterior-end brick chimney flanked by original double-hung windows and decorative cast-iron grates. The southeast elevation has louvered wood venting in the gable-end with vertical wood siding on the second story and brick veneer exterior siding on the first. The southwestern rear elevation is not visible from the ROW. Associated with Resource HS-129 are two storage sheds in the rear southwest corner of the parcel, oriented southeast. The shed to the south is a prefabricated transition metal storage shed with a transition metal gable roof and corrugated metal door. The shed to the north has a hipped asphalt shingle roof with vertical wood panel board siding.

Evaluation of Integrity: Resource HS-129 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling, as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and original primary cladding remains. Although the garage has been enclosed, this has not substantially altered the overall form of the house.

The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, large overhanging eaves, and an integrated carport or garage. The house is a good and intact example of the Split-Level house that is common in French Fort, and it is recommended as a contributing to the historic district.

Figure 457: 1154 Esplanade Pl. northeast facade, looking southwest.



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Figure 458: 1154 Esplanade Pl. northwest elevation, looking south.



Figure 459: 1154 Esplanade Pl. southeast elevation, looking northwest.



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Figure 460: 1154 Esplanade Pl. outbuildings, looking northwest.



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18.1.116. Newly Inventoried Property HS-130: 1142 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1142 Esplanade Pl., Resource HS-130 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle gable roof with brick veneer exterior siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features a partial-width roof overhang with a decorative segmental arch frieze board supported by decorative cast-iron posts with an integrated carport to the north. A poured concrete deck leads to the front entrance with an original wood square panel door with a decorative cast-iron storm door. A paired window with original twelve-over-eight double hung wood sashes with brick sills pierces the façade to the north of the entrance. The carport is clad in cementitious horizontal siding with an original door and decorative cast-iron storm door in the southwest corner of the northwest elevation. The windows are filled with original eight-over-eight double-hung wood sash windows with decorative wood panels below, brick sills and louvered vinyl shutters. The northeast elevation has louvered metal venting and vinyl siding in the gable-end. The carport continues with a decorative wood frieze board with segmental arches and cement board siding. There is a side entrance to the northwest of the carport with a solid wood door and a rear addition extending along the elevation to the northwest with vertical wood panel board siding, large overhanging eaves, and an aluminum slider window. According to historic aerials, this addition was constructed between 1973 and 1981. The southwest elevation has louvered metal venting and vinyl siding in the gable-end. The windows are filled with aluminum sliders with brick sills. The northwestern rear elevation is not visible from the ROW. Aerials and side additions of the house show there is an L-shaped addition with a Dutch gable roof. Associated with Resource HS-130 are three outbuildings. Two prefabricated metal storage sheds with transition metal siding and corrugated gable roofs are located adjacent to the rear addition to the south. To the northwest of the two storage sheds is a larger storage shed with a transition metal gable roof and vertical wood panel board siding.

Evaluation of Integrity: Resource HS-130 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been

removed and are in good condition, and the original primary cladding materials have not been altered. While the form has been altered with the construction of an L-shaped rear addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, a colonnade and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 461: 1142 Esplanade Pl. southeast facade, looking northwest.



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Figure 462: 1142 Esplanade Pl. northeast elevation, looking southwest.



Figure 463: 1142 Esplanade Pl. southwest elevation, looking northwest.



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Figure 464: 1142 Esplanade Pl. outbuilding, looking northwest.



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18.1.117. Newly Inventoried Property HS-131: 1136 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1136 Esplanade Pl., Resource HS-131 is a Contemporary style single-family residential house with a front-gable form. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Contemporary style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle, low pitch front-gable roof with large overhanging eaves, brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a single-bay central gable-roof porch with vertical wood panel board in the gable-end supported by decorative cast-iron posts sheltering a concrete deck leading to a replacement two-light leaded glass wood door with a decorative cast-iron storm door. The central bay has a brick water table in a herringbone design with brick sills and vertical wood panel board siding. Flanking the central bay are two vertical bands of brick veneer siding, delineating the façade and extending into the eaves. Picture windows with a central single-light wood window flanked by horizontal two-over-two double-hung wood sash windows pierce the façade symmetrically to the north and south with vertical wood panel board siding above and a brick veneer below. The northeast elevation has a soldier course of brick below the eaves. A paired horizontal two-over-two double-hung wood sash windows pierce the elevation to the east with two additional horizontal two-over-two double-hung wood sashes to the west. A rear ell wing extends to the west along the elevation, maintaining the roofline and brick veneer siding. The rear half of this wing was added in 1987 according to county records and historic aerials. The southwest elevation has a soldier course of brick below the eaves and an exterior end chimney with a metal chimney cap that pierces through the large overhanging eaves. Concrete steps to the west of the chimney lead to an original door with a decorative cast-iron storm door. A bay window with original, horizontal two-over-two double-hung sash windows sit to the west of the entrance. The northwestern rear elevation is not visible from the ROW. Aerials and side elevations of the house show it has an L-shaped gable-roof addition and a small hipped-roof addition to the south. Associated with Resource HS-131 is a prefabricated metal storage shed, oriented southeast in the northwest corner of the parcel with a metal roof and transition metal siding.

Evaluation of Integrity: Resource HS-131 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house.

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Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. Roofing materials, however, including the soffits, frieze board and gable returns are significantly deteriorated. While the form has been altered with the construction of an L-shaped rear addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Contemporary style, such as a low-pitch gabled roof with large overhanging eaves and built in natural material such as brick with integral patterns. As a good and intact example of the Contemporary house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 465: 1136 Esplanade Pl. southeast facade, looking northwest.



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Figure 466: 1136 Esplanade Pl. northeast elevation, looking southwest.



Figure 467: 1136 Esplanade Pl. southwest elevation, looking northwest.



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18.1.118. Newly Inventoried Property HS-132: 1130 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1130 Esplanade Pl., Resource HS-132 is a Contemporary style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Contemporary style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof with Roman brick veneer siding and a concrete slab foundation. The façade features a central partial-width front facing open gable porch with exposed roof beams supported by round iron posts, nestled under the primary front-facing gable. There is an integrated garage to the southwest with a single-bay aluminum roll-up garage door. The porch has a decorative wrought-iron screen, screening a poured concrete deck leading to an original wood panel door and cast-iron storm door. The primary gable has vinyl-siding in the gable-end. The windows are filled with replacement one-over-one double-hung vinyl sashes with decorative cast-iron grates, brick sills and louvered vinyl shutters. The northeast elevation has large overhanging eaves and a vinyl frieze board. The windows are filled with original horizontal two-over-two double-hung wood sashes and a picture window with decorative cast-iron grates and brick sills. An addition extends along the elevation to the northwest, maintaining the roofline with brick veneer siding and aluminum sliders. According to county records and historic aerials, this was added in 1982. The southwest elevation has vinyl venting and vinyl siding in the gable-end with a soldier course of brick below delineating the first story. There is an original horizontal two-over-two double-hung wood sash window with a brick sill. The northwestern rear elevation is not visible from the ROW. Aerials and side elevations show a rear, L-shaped gable roof addition on the northeast side of the northwest elevation. Associated with Resource HS-132 is a gambrel roof metal carport located on the southwest parcel line. Only the roofline is visible from the ROW.

Evaluation of Integrity: Resource HS-120 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as many of the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. While the form has been altered with the construction of an L-shaped rear addition, the integrity remains as it is not readily visible from the street. The house

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features architectural details typical of the Contemporary style, such as a low-pitch gabled roof with large overhanging eaves, built in natural material such as brick, broad surfaces with integral patterns and exposed roof beams. As a good and intact example of contemporary house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 468: 1130 Esplanade Pl. southeast facade, looking northwest.



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Figure 469: 1130 Esplanade Pl. northwest elevation, looking southwest.



Figure 470: 1130 Esplanade Pl. southwest elevation, looking northwest.



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Figure 471: 1130 Esplanade Pl. outbuilding, looking northwest.



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18.1.119. Newly Inventoried Property HS-133: 1122 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1122 Esplanade Pl., Resource HS-133 is a Split-Foyer style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented southeast and has an asphalt shingle gable roof with large overhanging eaves, rusticated roman brick veneer exterior siding on the first story, horizontal aluminum siding on the second story and a concrete slab foundation. The façade features a cantilevered second story. Poured concrete steps with a rusticated roman brick veneer, an integrated rusticated roman brick planter, and a wrought-iron balustrade lead to a recessed, single-bay entrance with original wood panel door and decorative cast-iron storm door. The windows are filled with original two-light aluminum sliders to the southwest, with an original single-light aluminum picture window with two-light horizontal sliders below piercing the second story façade to the northeast. The first story features two original single-bay aluminum panel roll-up garage doors to the southwest of the front entry. The northeast elevation has metal louvered venting in the gable-end and is clad in aluminum siding on the second story. The first story continues with rusticated roman brick with an original aluminum slider window with a wrought-iron grate. The southwest elevation has metal louvered venting in the gable-end and is clad in aluminum siding on the second story with rusticated roman brick on the first story. The rear/northwest elevation is not visible from the ROW. A six-foot dog ear wood privacy fence encloses the rear yard.

Evaluation of Integrity: Resource HS-133 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling, as all the original windows remain, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original form and original primary cladding remains. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, large overhanging eaves, and an attached carport or garage. As a good example of the Split-Foyer house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 472: 1122 Esplanade Pl. southeast facade, looking northwest.



Figure 473: 1122 Esplanade Pl. northeast elevation, looking southwest.



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Figure 474: 1122 Esplanade Pl. southwest elevation, looking northwest.



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18.1.120. Newly Inventoried Property HS-134: 1116 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1116 Esplanade Pl., Resource HS-134 is a Contemporary style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Contemporary style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle, low pitch front-gable roof with large overhanging eaves, brick veneer exterior siding and a concrete slab foundation. The façade features a recessed central single-bay with exposed roof beams in the gable-end and is clad with vertical cement board siding. There is a central, paired double-hung wood window with a decorative cast-iron grate and a poured concrete deck leading to the front entry on the south elevation of the recessed bay. The entrance has an original wood panel door and decorative cast-iron storm door. A picture window with a central single-light wood window flanked by horizontal two-over-two double-hung wood windows pierces the façade to the south. Symmetrical to the south window bay is a single-bay garage to the north with an aluminum panel roll-up door. Above the north and south bays, the façade is clad in horizontal cement board siding. The northwest elevation has a soldier course of brick below the eaves and an original wood door and decorative cast-iron storm door. The southwest elevation has a soldier course of brick under the eaves and a paired original horizontal two-over-two double-hung wood sash windows with a replacement wrought-iron grate and brick sill. An original rear ell wing extends to the west along the elevation, maintaining the brick veneer siding, a soldier course of brick under the eaves and a continuous roofline. The windows are filled with two horizontal two-over-two double-hung wood sash windows with a replacement wrought-iron grate and brick sills. The northwestern rear elevation is not visible from the ROW. Aerials and side additions of the house show that there is an L-shaped gable-roof addition. Historic aerials show the addition present in 1971. Associated with Resource HS-134 are two prefabricated metal storage sheds, located in the northwest and southwest corners of the parcel, oriented southeast. The northern shed has a metal gable roof with transition metal siding, with the southern shed having a metal gambrel roof and transition metal siding.

Evaluation of Integrity: Resource HS-134 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows

are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. While the form has been altered with the construction of an L-shaped rear addition, the integrity remains as it is not readily visible from the ROW. The house features architectural details typical of the Contemporary style, such as a low-pitch gabled roof with large overhanging eaves, built in natural material such as brick and exposed roof beams. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 475: 1116 Esplanade Pl. southeast facade, looking northwest.



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Figure 476: 1116 Esplanade Pl. northeast elevation, looking southwest.



Figure 477: 1116 Esplanade Pl. southwest elevation, looking north.



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Figure 478: 1116 Esplanade Pl. outbuilding, looking northwest.



Figure 479: 1116 Esplanade Pl. outbuilding, looking northwest.



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18.1.121. Newly Inventoried Property HS-135: 1110 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 1110 Esplanade Pl., Resource HS-135 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof with rusticated roman brick veneer siding, a concrete slab foundation, and a large rear addition that expands above the roofline. The façade features a front facing gable wing with vinyl siding in the gable-end to the southwest and a two-bay integrated carport to the northeast supported by decorative cast-iron posts. A gable-end from a large rear addition, projects above the main roofline. A partial-width front-gable porch with vinyl siding in the gable-end sits within the primary front-gable and is supported by a colonnade of decorative cast-iron posts. The porch shelters a poured concrete deck leads to a replacement oval-light wood door with a replacement full-light aluminum storm door and an original double-hung eight-over-eight wood sash window with a brick sill and louvered vinyl shutters to the northeast. Original paired eight-over-eight double-hung wood sash windows with brick sills and louvered vinyl shutters pierce the façade to the southwest of the front entrance. Roman brick veneer siding continues within the carport with an original wood-panel door in the southwest corner with a decorative cast-iron storm door and steel door to northeast of the northwest elevation. The northeast elevation has vinyl siding in the gable-end. A rear, recessed addition continues to the northwest with Roman brick veneer siding, a large, three-light aluminum fixed window and a single-light aluminum fixed window with brick sills. According to county records and historic aerials, this was constructed in 1991. The southwest elevation has large overhanging eaves and Roman brick veneer siding. The windows are filled with original four-over-four double-hung wood sashes with brick sills. A picture window pierces the elevation to the northwest with an original single-light wood window flanked by horizontal two-over-two double-hung wood sashes. An original ell wing extends to the northwest along the elevation, maintaining the rusticated Roman brick siding and roofline with large overhanging eaves. The wing has two four-over-four double-hung wood sash windows with brick sills. The northwestern rear elevation is not visible from the ROW. Aerials and side elevations of the house show rear gable wings. Associated with Resource HS-135 is a prefabricated storage shed with an asphalt gable roof, concrete board siding and a decorative cast-iron storm door, located on the northwest parcel line oriented southeast. Original decorative cast-iron fencing separating the front and rear yards.

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Evaluation of Integrity: Resource HS-135 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling no longer remain. While all the original windows are in place, many of the house's original materials have been replaced or removed and the house's original form has been severely altered with the construction of a large rear addition that is visible from the front façade. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garl colonnade, a large picture window and iron detailing. Due to severe alterations and additions to the house, it is no longer a good representation of the Ranch house style that characterizes the French Fort neighborhood. Therefore, it is considered a non-contributing resource to the historic district.

Figure 480: 1110 Esplanade Pl. southeast facade with rear addition present above the roofline, looking northwest.



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Figure 481: 1110 Esplanade Pl. northeast elevation with rear addition present above the roofline, looking southwest.



Figure 482: 1110 Esplanade Pl. southwest elevation with rear addition present above the roofline, looking northwest.



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Figure 483: 1110 Esplanade Pl. outbuilding and northeast elevation of the rear addition, looking southwest.



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18.1.122. Newly Inventoried Property HS-136: 1104 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1104 Esplanade Pl., Resource HS-136 is a Split-Foyer style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented southeast and has an asphalt shingle gable roof with large overhanging eaves, Roman brick veneer exterior siding on the first story, vertical wood panel board siding on the second story and a concrete slab foundation. The façade features a cantilevered second story. Poured concrete steps with a Roman brick veneer, an integrated Roman brick planter, and a wrought-iron balustrade lead to a recessed, single-bay entrance with original wood panel double-doors and decorative cast-iron storm doors with an original single-light transom above. The second story windows are filled with replacement two-light vinyl sliders with louvered vinyl shutters to the southwest, with a replacement two-light vinyl slider with louvered vinyl shutters piercing the façade to the northeast. The first story features two original single-bay aluminum panel garage doors to the southwest of the front entry. A later integrated brick planter spans the front façade to the northeast. The northeast elevation has metal louvered venting in the gable-end and is clad in vertical wood panel board siding on the second story. The first story continues with a roman brick veneer with a replacement two-light vinyl slider window. The southwest elevation has metal louvered venting in the gable-end and is clad in vertical wood panel board siding on the second story with Roman brick veneer on the first story. The northwestern rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-136 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling. While the windows have been replaced, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original form, design and original primary cladding remains. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, large overhanging eaves, and an attached carport or garage. As a good example of the Split-Foyer house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 484: 1104 Esplanade Pl. southeast elevation, looking northwest.



Figure 485: 1104 Esplanade Pl. northeast elevation, looking southwest.



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Figure 486: 1104 Esplanade Pl. southwest elevation, looking north.



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18.1.123. Newly Inventoried Property HS-137: 1098 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1098 Esplanade Pl., Resource HS-137 is a Split-Foyer style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Split-Foyer style.

Of frame construction, the two-story house is oriented southeast and has an asphalt shingle cross-gable roof with large overhanging eaves, Roman brick veneer exterior siding on the first story, horizontal cement board siding on the second story, and a concrete slab foundation. The façade features a partial-width front facing gable roof with vertical wood board panel siding on the southwest portion of the façade, and a cantilevered second story. Poured concrete steps with a Roman brick veneer, an integrated Roman brick planter, and a wrought-iron balustrade lead to a recessed, single-bay clad with cement board panel siding and central entrance with an original wood panel double door and decorative cast-iron storm doors. The second-story windows are filled with original four-light vinyl sliders to the southwest, with an original twelve-light wood picture window piercing the façade to the northeast with louvered vinyl shutters. The first story features two original single-bay aluminum panel garage doors to the southwest of the front entry. The northeast elevation has metal louvered venting in the gable-end and is clad in horizontal cement board siding on the second story. The first story continues with a roman brick veneer with aluminum slider windows with brick sills and a brick rowlock course above. The southwest elevation has metal louvered venting in the gable-end and is clad in horizontal cement board siding on the second story with Roman brick veneer on the first story. The northwestern rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-137 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. The house maintains integrity of materials, design, workmanship, and feeling. The original windows remain, the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original form, design and original primary cladding remains. The house features architectural details typical of the Split-Foyer style, such as a central entrance with staggered floors, a cantilevered second story, a variety of siding materials, large overhanging eaves, and an attached carport or garage. As a good example of the Split-Foyer house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 487: 1098 Esplanade Pl. southeast facade, looking northwest.



Figure 488: 1098 Esplanade Pl. northeast elevation, looking southwest.



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Figure 489: 1098 Esplanade Pl. southwest elevation, looking northwest.



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18.1.124. Newly Inventoried Property HS-138: 1094 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1094 Esplanade Pl., Resource HS-138 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1967. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle gable roof with brick veneer siding with a soldier course below the eaves and a concrete slab foundation. The façade features an integrated carport to the southwest supported by a decorative cast-iron corner post. There is a central, partial-width shed-roof porch supported by a colonnade of decorative cast-iron posts, sheltering a poured concrete deck leading to an original wood panel door with a decorative cast-iron storm door. The windows are filled with original twelve-over-six double-hung wood sash windows equally spaced across the façade with brick sills, decorative cast-iron grates, and louvered wood shutters. The carport's interior is clad with cement board siding with a solid wood door on the southeast elevation. The northeast elevation has metal louvered venting and cement board siding in the gable-end with a soldier course of brick below, delineating the first story. The southwest elevation has metal louvered venting in the gable-end and cement board siding. The carports southwest elevation has an original door in the northwest corner with a decorative cast-iron storm door and a replacement one-over-one double-hung window to the southeast. The northwestern rear elevation is not visible from the ROW. Aerials of the house show the elevation has a shed roof addition to the northeast dating between 1973 and 1981. Associated with Resource HS-138 is a storage shed with a gambrel roof, located in the southwest corner of the parcel, oriented southeast.

Evaluation of Integrity: Resource HS-138 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. While the form has been altered with the construction of a rear addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 490: 1094 Esplanade Pl. southeast facade, looking northwest.



Figure 491: 1094 Esplanade Pl. northwest elevation, looking southwest.



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Figure 492: 1094 Esplanade Pl. southwest elevation, looking northwest.



Figure 493: 1094 Esplanade Pl. outbuilding, looking northwest.



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18.1.125. Newly Inventoried Property HS-139: 1086 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1086 Esplanade Pl., Resource HS-139 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1968. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle gable roof with brick veneer siding with a soldier course below the eaves and a concrete slab foundation. The façade features an integrated carport to the southwest supported by a decorative cast-iron corner post. There is a central, partial width shed-roof porch supported by a colonnade of decorative cast-iron posts, sheltering a poured concrete deck leading to an original wood panel door with a decorative cast-iron storm door. The windows are filled with original twelve-over-six double-hung wood sash windows equally spaced across the façade with brick sills, and louvered wood shutters. The carport's interior is clad with vertical wood panel board siding with a solid wood door on the southeast elevation. An integrated brick planter spans the northwest side of the front façade. The northeast elevation has metal louvered venting and vertical wood panel board siding in the gable-end with a soldier course of brick below, delineating the first story. The southwest elevation has metal louvered venting in the gable-end and vertical wood panel board siding. The carport's southwest elevation has an original horizontal three-light door in the northwest corner with a decorative cast-iron storm door and an original six-over-six double-hung window to the southeast. The northwestern rear elevation is not visible from the ROW. Associated with Resource HS-139 is a prefabricated storage shed with a transition metal gable roof and vertical concrete board siding, located in the southwest corner of the parcel, oriented southeast.

Evaluation of Integrity: Resource HS-139 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, the form and the original primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 494: 1094 Esplanade Pl. southeast facade, looking northwest.



Figure 495: 1094 Esplanade Pl. northeast elevation, looking southwest.



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Figure 496: 1094 Esplanade Pl. southwest elevation, looking northwest.



Figure 497: 1094 Esplanade Pl. outbuilding, looking northwest.



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18.1.126. Newly Inventoried Property HS-140: 1080 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1080 Esplanade Pl., Resource HS-140 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1968. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle gable roof with brick veneer siding with a soldier course below the eaves and a concrete slab foundation. The façade features an integrated carport with decorative cast-iron fret work to the southwest supported by a decorative cast-iron corner post. There is a central, partial width front-gable porch with vertical vinyl venting and vinyl siding in the gable-end. The porch is supported by a colonnade of wood Tuscan columns, sheltering a poured concrete deck leading to an original wood panel door with a decorative cast-iron storm door. The windows are filled with original twelve-over-six double-hung wood sash windows equally spaced across the façade with brick sills, decorative cast-iron grates, and louvered vinyl shutters. The carport's interior is clad with vertical wood panel board siding with a solid wood door on the southeast elevation. An integrated brick planter spans the southeast façade. The northwest elevation has vertical vinyl venting and horizontal vinyl in the gable-end with a soldier course of brick below, delineating the first story. A rear addition extends along the elevation to the northwest with brick veneer siding. According to historic aerials, this was added between 1973 and 1981. The southwest elevation has vertical vinyl venting in the gable-end and horizontal vinyl siding. The carport's southwest elevation has an original door in the northwest corner with a decorative cast-iron storm door and an original six-over-six double-hung wood sash window with a decorative cast-iron grate to the southeast. The northwestern elevation is not visible from the ROW. Aerials and side elevations of the house show it has an L-shaped hipped roof addition to the northeast of the elevation.

Evaluation of Integrity: Resource HS-140 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original primary cladding materials have not been altered. While the form has been altered with the construction of the rear L-shaped addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials,

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an attached carport or garage, integrated planter, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 500: 1080 Esplanade Pl. southeast facade, looking northwest.



Figure 498: 1080 Esplanade Pl. northeast elevation, looking southwest.



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Figure 499: 1080 Esplanade Pl. southwest elevation, looking northwest.



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18.1.127. Newly Inventoried Property HS-141: 1074 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1074 Esplanade Pl., Resource HS-141 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1967. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle gable roof with brick veneer siding with a soldier course below the eaves and a concrete slab foundation. The façade features an integrated carport to the northwest, supported by a decorative cast-iron corner post. There is a central, partial-width shed-roof porch supported by a colonnade of decorative cast-iron posts with decorative cast-iron fret work and corner brackets, sheltering a poured concrete deck with a cast-iron balustrade leading to an original wood panel door with a decorative cast-iron storm door. The windows are filled with original six-over-six double-hung wood sash windows equally spaced across the façade with brick sills, and louvered vinyl shutters. The carport's interior is clad with vertical wood panel board siding with a solid wood door on the southeast elevation. The northeast elevation has metal louvered venting in the gable-end and wood panel board siding. The carport's northeast elevation has an original door in the northwest corner with a decorative cast-iron storm door and an original six-over-six double-hung wood window to the southeast. An addition extends to the northwest along the elevation with a shed roof, brick veneer siding with a soldier course under the eave. A window opening is enclosed with wood panel board siding with a brick rowlock course above. The southwest elevation has metal louvered venting and vertical wood panel board siding in the gable-end and brick veneer siding with a soldier course of brick below, delineating the first story. A shed-roof addition extends along the elevation to the northwest with a shed roof, brick veneer siding with a soldier course of brick under the eaves and a six-over-six double-hung wood sash window. There is an additional shed roof that has been added above the primary shed roof addition with wood board siding. The northwest rear elevation is not visible from the ROW. Aerials and side elevations of the house show there are multiple shed roof additions and a gable roof, T-shaped addition attached to them. All additions were added between 1973 and 1981 according to historic aerials. Associated with Resource HS-141 is a prefabricated storage shed with a gable roof and wood panel board siding, centrally located along the northwest property line, oriented southeast.

Evaluation of Integrity: Resource HS-141 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house.

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Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original primary cladding materials have not been altered. While the original form has been altered by rear additions, the integrity remains, as they are not readily visible from the street. The house features architectural details typical of the Ranch style, such as multiple exterior accent materials, a low pitch roof, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 500: 1074 Esplanade Pl. southeast facade, looking northwest.



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Figure 501: 1074 Esplanade Pl. northeast elevation, looking west.



Figure 502: 1074 Esplanade Pl. southwest elevation, looking north.



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Figure 503: 1074 Esplanade Pl. outbuilding, looking west.



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18.1.128. Newly Inventoried Property HS-142: 1066 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1066 Esplanade Pl., Resource HS-142 is a Ranch style single-family residential house in the gabled-L form. The house is centrally located on a rectangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle cross-gable roof with brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a front facing gable wing to the northeast and an integrated carport to the southwest with a decorative cast-iron corner post. The front entrance has an original wood panel double-door and decorative cast-iron storm doors. The windows are original horizontal two-over-two double-hung wood sashes with brick sills, decorative cast-iron grates, and vinyl louvered shutters. A picture window pierces the façade to the northwest of the entrance with a single-light wood window flanked by horizontal two-over-two double-hung wood sash windows. The carport's interior is clad with vertical wood panel board siding with a paneled wood door on the southeast elevation. There is an original brick planter spanning the front elevation. The northeast elevation has metal louvered venting and vertical wood panel board siding in the gable-end with a soldier course of brick below. The windows are original single-light aluminum sliders and an original horizontal two-over-two double-hung wood sash window to the northwest with brick sills and decorative wrought-iron grates. The southwest elevation has metal louvered venting in the gable-end and vertical wood panel board siding. The carports southwest elevation has an original door in the northwest corner with a decorative cast-iron storm door. The northwestern rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-142 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as a low-pitched roof, multiple exterior accent materials, an attached carport or garage, an integrated planter, a large picture window and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 504: 1066 Esplanade Pl. southeast facade, looking northwest.



Figure 505: 1066 Esplanade Pl. northeast elevation, looking southwest.



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Figure 506: 1066 Esplanade Pl. southwest elevation, looking northwest.



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18.1.129. Newly Inventoried Property HS-143: 1054 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1054 Esplanade Pl., Resource HS-143 is a Ranch style single-family residential house. The house is centrally located on a triangular parcel on the northwest side of Esplanade Pl. According to tax assessor records, the house was constructed in 1967. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented southeast and has an asphalt shingle gable roof with brick veneer with a soldier course under the eaves and a concrete slab foundation. The façade features an integrated garage to the southwest and a central, partial width front-gable porch with cement board siding in the gable-end. The porch is supported by a colonnade of decorative cast-iron posts, sheltering a poured concrete deck leading to an original wood panel door with a decorative cast-iron storm door. The windows are filled with original six-over-six double-hung wood sash windows flanking the central entry with brick sills, decorative cast-iron grates, and louvered vinyl shutters. The garage is a double-bay with a roll-up, eight-light aluminum garage door. The northwest elevation has louvered metal venting and cement board siding in the gable-end with a soldier course of brick below, delineating the first story. The southwest elevation has louvered metal venting and cement board siding in the gable-end with a soldier course of brick below, delineating the first story. The northwestern rear elevation is not visible from the ROW. Aerials of the house show the elevation has a T-shaped, gable roof addition. The backyard is enclosed by a six-foot wood privacy fence. The mailbox is brick with integrated planters.

Evaluation of Integrity: Resource HS-143 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the original primary cladding materials have not been altered. While the form has been altered with the construction of the rear T-shaped addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as a low-pitched roof, multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 507: 1054 Esplanade Pl. southeast elevation, looking northwest.



Figure 508: 1054 Esplanade Pl. northeast elevation, looking southwest.



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Figure 509: 1054 Esplanade Pl. southwest elevation, looking northwest



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18.1.130. Newly Inventoried Property HS-144: 1040 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1040 Esplanade Pl., Resource HS-144 is a Ranch style single-family residential house. The house is centrally located on a triangular parcel on the north side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented south and has an asphalt shingle cross-gable roof with brick veneer and cement board exterior siding and a concrete slab foundation. The façade features a front facing gable wing to the east and an integrated carport on the west side of the façade supported by a Tuscan wood corner column. A partial width shed roof porch is supported by a colonnade of wood Tuscan columns, sheltering a poured concrete deck leading to the front entrance with an original wood panel door with a decorative cast-iron storm door. The porch facade is clad in concrete board siding. The windows are filled with original horizontal two-over-two double-hung wood sashes with decorative cast-iron grates over the lower sashes and louvered vinyl shutters. A picture window pierces the façade to the east of the entrance with a single-light fixed wood window flanked by two-over-two double-hung wood sash windows. The carport's interior is clad with cement board siding with a solid wood door on the southern elevation. The east elevation has metal louvered venting and cement board siding in the gable-end with a solider course of brick below, delineating the first story. The windows are filled with aluminum sliders and a two-over-two double-hung wood sash windows to the north with brick sills and decorative wrought-iron grates. The west elevation has metal louvered venting in the gable-end and cement board siding. The carport has cement board siding, a window filled with original two-over-two double-hung wood sashes, and an original horizontal three-panel wood panel door with a decorative cast-iron storm door in the north corner. The northern rear elevation is not visible from the ROW. Aerials of the house show the elevation has a T-shaped addition with a gable roof that was added that was added in 1978 according to county records..

Evaluation of Integrity: Resource HS-144 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. While the form has been altered with the construction of a rear T-shaped addition, the integrity remains as it is not readily visible from the street. The house features

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architectural details typical of the Ranch style, such as a low-pitched roof, multiple exterior accent materials, an attached carport or garage, a colonnade, a large picture window and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 510: 1040 Esplanade Pl. south facade, looking north.



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Figure 511: 1040 Esplanade Pl. east elevation, looking northwest.



Figure 512: 1040 Esplanade Pl. west elevation, looking northeast.



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18.1.131. Newly Inventoried Property HS-145: 1022 Esplanade Place

Non-contributing to the French Fort Historic District

Description: Located at 1022 Esplanade Pl., Resource HS-145 is a single-family residential house with no academic type or style. The house is centrally located on a triangular parcel on the northeast side of Esplanade Pl. According to tax assessor records, the house was constructed in 2011 after the original house was destroyed by a fire.

Of frame construction, the two-story house is oriented southwest and has an asphalt shingle hipped roof with brick veneer exterior siding with brick quoining, a brick soldier course under the eaves and a concrete slab foundation. The façade features a recessed entrance with six-over-six vinyl sashes on the northwest elevation and doors to the north and south elevations of the recessed entry with cast-iron storm doors. There is a two-bay integrated garage with paneled aluminum roll-up garage doors to the northwest. The windows are filled with six-over-six double-hung vinyl sashes. A second story sits above the lower hipped roofline with cement board siding and gable-roof dormers and windows filled with six-over-six double-hung vinyl sashes. The southeast elevation has windows filled with six-over-six double-hung vinyl sashes with brick sills. The northwest elevation has brick veneer siding on the first story and a window filled with six-over-six double-hung vinyl sashes on the second story. The northeast elevation is not visible from the ROW. Aerials and side elevations show a rear T-shaped hipped roof projection. Associated with Resource HS-145 is a hipped roof outbuilding with an asphalt shingle roof and brick veneer siding, located in the northwest corner of the parcel, oriented west.

Evaluation of Integrity: Resource HS-145 does not meet the age requirement or possess architectural significance. Therefore, while the house mimics stylistic elements of houses in the French Fort neighborhood, it is considered a non-contributing resource to the historic district.

Figure 513: 1022 Esplanade Pl. southwest facade, looking northeast.



Figure 514: 1022 Esplanade Pl. southeast elevation, looking north.



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Figure 515: 1022 Esplanade Pl. northwest elevation, looking southeast.



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18.1.132. Newly Inventoried Property HS-146: 1012 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1012 Esplanade Pl., Resource HS-146 is a Cape Cod single-family residential house. The house is centrally located on a rectangular parcel on the east side of Esplanade Pl. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's style.

Of frame construction, the one-and-a-half story house is oriented west and has an asphalt shingle gable roof with gable dormers, brick veneer exterior siding with a soldier course of brick under the eaves and a concrete slab foundation. The façade features a central, single bay flat roof porch capped with decorative cast-iron detailing and an integrated carport to the north, supported by a decorative cast-iron corner post. The porch is supported by decorative cast-iron posts, sheltering a poured concrete deck with a brick veneer leading to original wood panel double-doors with decorative cast-iron storm doors. Windows that are filled with replacement one-over-one double-hung vinyl windows with original aluminum awnings louvered vinyl shutters, and brick sills flank the porch. Gable dormers pierce the roof, aligning with the first story windows below, with aluminum siding, six-over-six double-hung wood sash windows with aluminum awnings. The carport's interior is clad with vertical wood panel board siding with an original three-light paneled wood door and decorative cast-iron storm door on the west elevation. There is an original brick planter spanning the front elevation. The south elevation has louvered metal venting and aluminum siding in the gable-end with a soldier course of brick below delineating the first story. Windows are filled with replacement one-over one vinyl sashes with brick sills. A shed roof wall dormer extends from the eastern roofline with aluminum siding. The north elevation has metal louvered venting in the gable-end and aluminum siding. There is a wood panel door to the east of the elevation. The carport's southwest elevation has vertical wood panel board siding and windows filled with one-over-one double-hung vinyl sashes. The eastern rear elevation is not visible from the ROW. Aerials and side elevations of the house show a shed roof wall dormer to the south side of the elevation.

Evaluation of Integrity: Resource HS-146 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as the original ironwork characteristic of the neighborhood has not been removed and are in good condition, original doors remain, and the original form and primary cladding materials have not been altered. While the first-story windows have been replaced, enough original material remains to maintain integrity. The house features architectural details typical of the

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neighborhood, such as an integrated carport and iron detailing. As a good and intact example of the style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 516: 1012 Esplanade Pl. west facade, looking east.



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Figure 517: 1012 Esplanade Pl. south elevation, looking northeast.



Figure 518: 1012 Esplanade Pl. north elevation, looking southeast.



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18.1.133. Newly Inventoried Property HS-147: 1006 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 1006 Esplanade Pl., Resource HS-147 is a Ranch style single-family residential house in the gabled-L form. The house is centrally located on a rectangular parcel on the east side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented west and has an asphalt shingle cross-gable roof with brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a front facing gable wing to the south and an integrated carport on the north side of the façade with a decorative cast-iron corner post. The front entrance has an original wood panel double-door and decorative cast-iron storm doors. The windows are filled with original six-over-six double-hung wood sashes with brick sills and vinyl louvered shutters. A picture window pierces the façade to the south of the entrance with a twelve light window flanked by four-over-four double-hung wood windows. The carport's interior is clad with vertical wood panel board siding with a solid wood door on the southeast elevation. There is an original brick planter spanning the front elevation. The south elevation has metal louvered venting and vertical wood panel board siding in the gable-end with a soldier course of brick below, delineating the first story. The windows are filled with an aluminum slider, a replacement one-over-one vinyl window with an original six-over-six double-hung wood sash window to the east with brick sills. The north elevation has metal louvered venting in the gable-end and vertical wood panel board siding. The carport's northeast elevation has an original wood panel door in the eastern corner with a decorative cast-iron storm door and an original six-over-six double-hung wood window to the west. The eastern rear elevation is not visible from the ROW. Associated with Resource HS-147 is a one-story prefabricated storage shed with an asphalt shingle gable roof and vertical wood panel board siding, centrally located along the eastern property line, oriented west.

Evaluation of Integrity: Resource HS-147 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as a low-pitch roof, multiple exterior accent materials, an attached carport or garage,

an integrated planter, a large picture window and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 519: 1006 Esplanade Pl. west facade, looking east.



Figure 520: 1006 Esplanade Pl. south elevation, looking northeast.



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Figure 521: 1006 Esplanade Pl. north elevation, looking southeast.



Figure 522: 1006 Esplanade Pl. outbuilding, looking northeast.



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18.1.134. Newly Inventoried Property HS-148: 998 Esplanade Place

Contributing to the French Fort Historic District

Located at 998 Esplanade Pl., Resource HS-148 is a Cape Cod single-family residential house. The house is centrally located on a rectangular parcel on the east side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's style.

Of frame construction, the one-and-a-half story house is oriented west and has an asphalt shingle gable roof with gable dormers, brick veneer exterior siding with a soldier course of brick under the eaves and a concrete slab foundation. The façade features an integrated carport to the north supported by a decorative cast-iron corner post. A concrete deck leads to a central entrance with double-doors and aluminum screen doors and louvered vinyl shutters. Windows filled with six-over-six double-hung wood sashes original aluminum awnings, cast-iron decorative window guards, louvered vinyl shutters, and brick sills flank the front entrance. Gable dormers pierce the roof, aligning with the first story windows below with vinyl siding and six-over-six double-hung wood sashes. The carport's interior is clad with vinyl siding with an original paneled wood door and decorative cast-iron storm door on the west elevation. The south elevation has vinyl venting and siding in the gable-end with a soldier course of brick below delineating the first story. Windows are filled with six-over-six wood sashes with brick sills. A shed roof wall dormer extends from the eastern roofline with vinyl siding. A shed-roof addition extends along the elevation to the east with vinyl siding in the gable-end with a soldier course of brick delineating the first story with brick veneer siding. The addition has a single-light vinyl window with a brick sill. According to county records and historic aerials, this was added in 1990. The north elevation has metal louvered venting in the gable-end and aluminum siding. There is a wood panel door to the east of the elevation. The carport's southwest elevation has vinyl siding and a window filled with six-over-six double-hung wood sashes. The eastern rear elevation is not visible from the ROW. Aerials and side elevations of the house show a shed roof wall dormer and first-story shed-roof addition to the south side of the elevation.

Resource HS-148 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residence. Integrity of materials, design, workmanship, and feeling remain as all the original windows remain, the original ironwork has not been removed, and the original primary cladding materials has not been altered. While the form has been altered with the construction of a rear shed addition, it is not readily visible from the street. The house features details typical of the neighborhood, such

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as an integrated carport and iron detailing. As a good and intact example of the neighborhood's style, it is considered a contributing resource to the historic district.

Figure 523: 998 Esplanade Pl. west elevation, looking east.



Figure 524: 998 Esplanade Pl. south elevation, looking northeast.



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Figure 525: 998 Esplanade Pl. north elevation, looking southeast.



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18.1.135. Newly Inventoried Property HS-149: 992 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 992 Esplanade Pl., Resource HS-149 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented west and has an asphalt shingle hipped roof with rusticated Roman brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a partial-width hipped roof porch and an integrated carport to the south of the façade, supported by decorative cast-iron posts. The hipped roof porch is supported by a colonnade of decorative cast-iron posts with decorative cast-iron fret work, sheltering a poured concrete deck with a cast-iron balustrade leading to an original wood panel door with a decorative wrought-iron storm door and a ribbon of three, original six-over-six double-hung wood windows with brick sills and paneled vinyl shutters to the south of the entrance. The windows to the north of the porch are filled with original six-over-six double-hung wood sashes with brick sills and vinyl louvered shutters, and a clearstory original aluminum slider with a brick sill. The carport's interior is clad with rusticated Roman brick with an original panel door and wrought-iron storm door in the north corner on the southeast elevation. The south elevation has single-light wood door and rusticated roman brick siding. Within the carport, the southern elevation is clad in cement board siding. The north elevation has rusticated roman brick siding with a soldier course of brick below the eaves. A central window is filled with original six-over-six double-hung wood sashes. The eastern rear elevation is not visible from the ROW. Original decorative wrought-iron fencing separated the front yard from the rear.

Evaluation of Integrity: Resource HS-149 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Ranch style, such as a low-pitch roof, multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 526: 992 Esplanade Pl. west facade, looking east.



Figure 527: 992 Esplanade Pl. south elevation, looking northeast.



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Figure 528: 992 Esplanade Pl. north elevation, looking southeast.



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18.1.136. Newly Inventoried Property HS-150: 986 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 986 Esplanade Pl., Resource HS-150 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Esplanade Pl. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented west and has an asphalt shingle hipped roof with brick veneer exterior siding, brick dentil detail under the eaves, and a concrete slab foundation. The façade features a central, partial-width hipped roof porch and projection with dentil detailing in the frieze, supported by a colonnade of fluted aluminum-wrapped round columns, sheltering a poured concrete deck that leads to an original wood panel door and a decorative cast-iron storm door. The windows are filled with original six-over-six double-hung wood sashes with decorative cast-iron grates, decorative wood panels below and louvered vinyl shutters. Windows filled with original six-over-six double-hung wood sashes with decorative cast-iron grates and panels below flank the central projection to the north and south. The south elevation has dentil brick detailing under the eaves. The windows are filled with original six-over-six double-hung wood sashes and four-over-four double-hung wood sashes to the east with brick sills and decorative cast-iron grates. The north elevation has dentil brick detailing under the eaves and windows filled with original six-over-six double-hung wood sashes, brick sills and decorative cast-iron grates. The eastern rear elevation is not visible from the ROW. Aerials and side elevations of the house show an original rear L-shaped wing on the south side of the elevation. Original decorative wrought-iron fencing and gates separate the front yard from the rear. Associated with Resource HS-150 is a hipped roof outbuilding located along the southern property line, oriented west with fluted aluminum wrapped columns supporting a carport with storage space to the west, clad in cement board siding.

Evaluation of Integrity: Resource HS-150 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. While the original form has been altered with a rear L-shaped addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as a low-pitched roof, multiple exterior accent materials, an attached carport or garage, a large picture window and iron detailing. As a

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good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 529: 986 Esplanade Pl. west facade, looking east.



Figure 530: 986 Esplanade Pl. south elevation, looking northeast.



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Figure 531: 986 Esplanade Pl. north elevation, looking southeast.



Figure 532: 986 Esplanade Pl. outbuilding, looking northwest.



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18.1.137. Newly Inventoried Property HS-151: 980 Esplanade Place

Contributing to the French Fort Historic District

Description: Located at 980 Esplanade Pl., Resource HS-151 is a Monterey style single-family residential house. The house is located in the southeast corner of an irregular shaped parcel at the intersection of Esplanade Pl. and Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Monterey style.

Of frame construction, the two-story house is oriented west and has an asphalt shingle gable roof, brick veneer exterior siding on the first story with a soldier course delineating the first story, concrete board siding on the second story, and a concrete slab foundation. There is a one-story wing to the south with an enclosed carport filled with a double-bay garage opening and an aluminum panel roll-up garage door. The façade features a cantilevered second story porch under the roof's large overhanging eaves, supported by decorative wrought-iron posts with a decorative wrought-iron balustrade. Paired windows on the second story pierce the façade symmetrically to the north and south. The windows are filled with original six-over-six double-hung wood sashes with louvered vinyl shutters. The first story has a poured concrete stoop with a decorative balustrade leading to a central, original wood panel door with a decorative cast-iron storm door and louvered vinyl shutters. Flanking the entrance are original windows filled with sixteen-over-eight double hung wood sashes with brick sills and louvered vinyl shutters. The south elevation has cement board siding in the gable end with a soldier course of brick below delineating the first story. The windows are filled with six-over-six wood double-hung wood sashes. There is a side entrance with a wood panel door, an aluminum garden window, and integrated porch supported by decorative cast-iron posts to the east. A pair of decorative wrought-iron gates separates the front yard from the rear yard. The north elevation has louvered metal venting and cement board siding in the gable end with a soldier course of brick below delineating the first story. There is an exterior end brick chimney that pierces the roofline to the east. The western rear elevation is not visible from the ROW. Associated with Resource HS-151 is a prefabricated gable-roof storage shed, located in the southeast corner of the parcel, oriented east with vertical wood board siding and an aluminum two-over-two double-hung window.

Evaluation of Integrity: Resource HS-151 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of design is slightly diminished by the enclosure of the carport into a garage and the replacement windows. Nonetheless, the house maintains integrity of materials, design,

workmanship, and feeling, as the original ironwork characteristic of the neighborhood has not been removed and is in good condition, and the original form and primary cladding remains. The house features architectural details typical of the Monterey style, such as two-story construction, a low-pitched gable roof, and a broad dominant second-story balcony that is cantilevered and covered by the primary roof. As a good and intact example of the Monterey house style that displays characteristics of the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 533: 980 Esplanade Pl. west facade, looking east.



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Figure 534: 980 Esplanade Pl. south elevation, looking northeast.



Figure 535: 980 Esplanade Pl. north elevation, looking south.



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Figure 536: 980 Esplanade Pl. outbuilding, looking east.



Figure 537: 980 Esplanade Pl. in 1966, from The Commercial Appeal November 20, 1966



Accessed via Newspapers.com

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18.1.138. Newly Inventoried Property HS-152: 968 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 968 Riverside Blvd., Resource HS-152 is a Ranch style single-family residential house with French stylistic influences. The house is centrally located on a rectangular parcel on the southeast side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle hipped roof with brick veneer exterior siding with a brick dentil detail under the eaves and a concrete slab foundation. The façade features a central, partial-width hipped roof projection with a poured concrete stoop with a cast-iron balustrade that leads to an original six panel wood door with a decorative cast-iron storm door and louvered vinyl shutters. The segmental arch windows on the front projection are filled with original six-over-six double-hung wood sashes, decorative cast-iron grates over the lower sashes and decorative wood panels below with brick sills. The southwest elevation has brick dentil detailing under the eaves. Segmental arch windows are filled with original six-over-six double-hung wood sashes with brick sills and decorative cast-iron grates over the lower sashes. An addition with brick veneer siding extends along the elevation to the southeast, while maintaining the roofline and brick dentil detailing under the eaves. There is a segmental arch window filled with six-over-six double-hung wood sashes with a brick sill and decorative cast-iron grates over the lower sashes. The northeast elevation has dentil brick detailing under the eaves and segmental arch windows filled with original six-over-six double-hung wood sashes, brick sills and decorative cast-iron grates. Two additions extend along the elevation to the southeast, maintaining the roofline. The first addition continues with brick veneer siding and brick dentil detailing below the eaves, while the southeastern most addition is clad in cement board siding. The southeastern rear elevation is not visible from the ROW. Aerials and side elevations of the house show multiple additions to the southeastern rear elevation, including L-shaped hipped roof additions on both the northeast the southwest side of the elevation with the central shed roof addition between. These additions were built off of an original ell wing in 1985 according to county records and historic aerials. Original decorative wrought-iron gates are placed across the southern driveway.

Evaluation of Integrity: Resource HS-152 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows

are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. While the original form has been altered by the construction of rear additions, the integrity remains as they are not readily visible from the street. The house features architectural details typical of the Ranch style with French stylistic influences, such as a hipped roof, the use of segmental arches, a prominent front entry, tall shutters enhancing the entry and a symmetrical façade. As a good and intact example of the Ranch house style with French stylistic influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 538: 968 Riverside Blvd. northwest elevation, looking southeast.



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Figure 539: 968 Riverside Blvd. southwest elevation, looking east.



Figure 540: 968 Riverside Blvd. northeast elevation, looking southeast.



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18.1.139. Newly Inventoried Property HS-153: 964 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 964 Riverside Blvd., Resource HS-153 is a Colonial Revival style single-family residential house. The house is centrally located on a rectangular parcel on the southeast side of Riverside Blvd. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Colonial Revival style.

Of frame construction, the two-story house is oriented northwest and has an asphalt shingle gable roof with vinyl and brick veneer exterior siding with a soldier course under the eaves and a concrete slab foundation. The façade features a central, two-story block clad in vinyl siding with a flat roof and an integrated carport in the northeast wing supported by wood fluted Tuscan columns. The porch is supported by a colonnade of colossal, fluted wood Tuscan columns, sheltering a poured concrete deck leading to original wood panel double doors with cast-iron storm doors. The second-floor windows are filled with six-over-six double-hung wood sashes, with the first-floor windows being filled with six-over-six double-hung wood sashes with decorative cast-iron grates and louvered vinyl shutters. A one-story wing extends to the southwest with a gable roof, brick veneer siding and an original six-over-six double-hung wood sashes with decorative cast-iron grates, brick sills and louvered vinyl shutters. The carport in the northeast wing is filled with vinyl siding and a solid wood door on the northwest elevation. The two-story central block's southwest elevation has louvered metal venting and vinyl siding in the gable-end. The one-story wing has louvered metal venting and vinyl siding in the gable-end and brick exterior siding on the first story. The central bay of the northeast elevation has vinyl venting in the gable-end and vinyl siding. A second-story window is located to the southeast of the one-story wing roofline. The northeast wing elevation has vinyl venting in the gable-end and vinyl siding. The carport has vinyl siding and an original wood door with a cast-iron storm door on the northeast elevation. The southeastern rear elevation is not visible from the ROW.

Evaluation of Integrity: Resource HS-153 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original form and primary cladding materials have not been altered. The house features architectural details typical of the Colonial Revival style, such as a prominent entry porch, one-story side wings and a symmetrical facade. As a good and

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intact example of the Colonial Revival house style that features design characteristics of the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 541: 964 Riverside Blvd. northwest elevation, looking southeast.



Figure 542: 964 Riverside Blvd. southwest elevation, looking northeast.



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Figure 543: 964 Riverside Blvd. northeast elevation, looking southeast.



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18.1.140. Newly Inventoried Property HS-154: 958 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 958 Riverside Blvd., Resource HS-154 is a Ranch style single-family residential house with Colonial Revival stylistic influences. The house is centrally located on a rectangular parcel on the southeast side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle hipped roof with brick veneer exterior siding, brick dentil detail under the eaves, and a concrete slab foundation. The façade features a central, partial-width hipped roof porch, supported by a colonnade of fluted wood Tuscan columns, sheltering a poured concrete deck that leads to an original wood panel door with a decorative cast-iron storm door. The windows are filled with original six-over-six double-hung wood sashes with decorative wood panels below and louvered vinyl shutters. The central porch is flanked by windows with original six-over-six double-hung wood sashes with decorative wood panels. The southwest elevation has dentil brick detailing under the eaves. The windows are filled with original six-over-six double-hung wood sashes with brick sills. An addition with brick veneer siding extends along the elevation to the southeast, while maintaining the roofline and brick dentil detailing under the eaves. There are windows filled with six-over-six double-hung wood sashes with brick sills and a decorative cast-iron grate over the northwestern window. The northeast elevation has dentil brick detailing under the eaves and windows filled with original six-over-six double-hung wood sashes with brick sills. The southeastern rear elevation is not visible from the ROW. Aerials and side elevations of the house show a rear L-shaped, hipped roof addition on the southwest side of the elevation built between 1973 and 1981 according to historic aerials. Original decorative wrought-iron gates span the driveway to the northeast. Associated with Resource HS-154 is a storage shed located in the southeast corner of the parcel, oriented northwest with a hipped asphalt shingle roof, wood clapboard siding and paneled wood doors.

Evaluation of Integrity: Resource HS-154 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood has not been removed and are in good condition, and the original primary cladding materials have not been altered. While the original form has been altered by the construction of a rear addition, the integrity remains as it is not readily visible from the street. The house features

architectural details typical of the Ranch style with Colonial Revival stylistic influences, such as a low-pitched roof, multiple exterior accent materials, a colonnade and iron detailing. As a good and intact example of the Ranch house style with Colonial Revival stylistic influences that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 544: 958 Riverside Blvd. northwest elevation, looking southeast.



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Figure 545: 958 Riverside Blvd. southwest elevation, looking northeast.



Figure 546: 958 Riverside Blvd. northeast elevation, looking southeast.



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Figure 547: 958 Riverside Blvd. outbuilding, looking southeast.



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18.1.141. Newly Inventoried Property HS-155: 954 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 954 Riverside Blvd., Resource HS-155 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the southeast side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle hipped roof, brick veneer exterior siding with a brick soldier course under the eaves and a concrete slab foundation. The façade features a partial-width hipped roof porch, supported by a colonnade of fluted wood Tuscan columns, sheltering a poured concrete deck that leads to an original wood six-panel double-door with decorative wrought-iron storm doors and a paired window to the southwest. The windows are filled with original one-over-one double-hung wood sashes with brick sills and louvered vinyl shutters. The southwest elevation has large overhanging eaves with dentil brick detailing below and the windows are filled with original aluminum sliders with brick sills. The northeast elevation has large overhanging eaves with dentil brick detailing below and windows filled with one-over-one double-hung wood sashes and a replacement single-light vinyl casement window with brick sills. A rear addition with vinyl siding extends along the elevation to the southeast, maintaining the roofline. The southeastern rear elevation is not visible from the ROW. Aerials and side elevations of the house show an original L-shaped, hipped roof wing on the northeast side of the elevation. Original decorative wrought-iron gates span the driveway to the southwest.

Evaluation of Integrity: Resource HS-155 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood remains, and the original primary cladding materials have not been altered. While the original form has been altered by the construction of a rear addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as a low-pitched roof, a large overhanging eaves, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 548: 954 Riverside Blvd. northwest facade, looking southeast.



Figure 549: 954 Riverside Blvd. southwest elevation, looking northeast.



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Figure 550: 954 Riverside Blvd. northwest elevation, looking southeast.



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18.1.142. Newly Inventoried Property HS-156: 948 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 948 Riverside Blvd., Resource HS-156 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Riverside Blvd. According to tax assessor records, the house was constructed in 1968. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle hipped roof with brick veneer exterior siding, a brick soldier course under the eaves, and a concrete slab foundation. The façade features a partial-width hipped roof porch, supported by a colonnade of decorative cast-iron posts, sheltering a poured concrete deck that leads to an original wood paneled double-door with decorative wrought-iron storm doors and a paired window with decorative cast-iron detailing and a decorative wood panel below to the south. The windows are filled with original six-over-six double-hung wood sashes with decorative cast-iron grates, decorative wood panels below, brick sills and louvered vinyl shutters. The southwest elevation has large overhanging eaves with dentil brick detailing below and windows filled with original aluminum sliders with brick sills. The northeast elevation has large overhanging eaves with dentil brick detailing below and windows filled with original six-over-six double-hung wood sashes with brick sills. A rear wing with vinyl siding extends along the elevation to the east, maintaining the roofline. The eastern rear elevation is not visible from the ROW. Aerials and side elevations of the house show an original L-shaped, hipped roof wing on the northern side of the elevation.

Evaluation of Integrity: Resource HS-156 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as all the original windows are in place, the original ironwork characteristic of the neighborhood remains, and the original primary cladding materials have not been altered. While the original form has been altered by the construction of a rear addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as a low-pitched roof with large overhanging eaves, a picture window, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

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Figure 551: 948 Riverside Blvd. west facade, looking east.



Figure 552: 948 Riverside Blvd. south elevation, looking northeast.



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Figure 553: 948 Riverside Blvd. north elevation, looking southeast.



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18.1.143. Newly Inventoried Property HS-157: 938 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 938 Riverside Blvd., Resource HS-157 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Riverside Blvd. According to tax assessor records, the house was constructed in 1965. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle hipped roof with rusticated Roman brick veneer exterior siding, a brick soldier course under the eaves, and a concrete slab foundation. The façade features a single-bay hipped roof porch, supported by wood Tuscan columns, sheltering a poured concrete deck clad in terracotta tiles that leads to an original single-light wood paneled door with a replacement fourteen-light metal storm door. A ribbon of original six-over-six windows with decorative wrought-iron detailing over the lower sashes with brick sills and louvered vinyl shutters pierces the façade to the north of the entrance. The windows to the south are equally spaced along the façade and are filled with original six-over-six double-hung wood sashes with decorative wrought-iron grates over the lower sashes, brick sills and louvered vinyl shutters. The south elevation has large overhanging eaves with a soldier course of bricks below. The windows are filled with original six-over-six double-hung wood sashes with brick sills. An addition extends along the elevation to the east, maintaining the roofline and the brick soldier course with a new brick veneer siding and a decorative brick belt course of rusticated roman brick that matches the original house. The addition's windows are filled with a twelve-light fixed vinyl window and six-over-six double-hung vinyl window with brick sills. The north elevation has large overhanging eaves with a brick soldier course below and windows filled with replacement six-over-six double-hung vinyl sashes with brick sills. A rear addition extends along the elevation to the east, maintaining the roofline and the brick soldier course below, with a new brick veneer siding and a decorative brick belt course of rusticated roman brick that matches the original house. The addition's window is filled with six-over-six double-hung vinyl sashes. Attached to the brick addition is a small, side-gabled addition clad in vinyl siding. The eastern rear elevation is not visible from the ROW. Historic aerials and county records indicate that these alterations completed in 2005 modified an original L-shaped wing on the northeast corner.

Evaluation of Integrity: Resource HS-157 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain, as most original windows are in place, the original ironwork characteristic of the neighborhood remains, and the

original primary cladding materials have not been altered. While the original form has been altered by the construction of a rear addition, the integrity remains as it is not readily visible from the street. The house features architectural details typical of the Ranch style, such as a low-pitched roof with large overhanging eaves, a picture window, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 554: 938 Riverside Blvd. west facade, looking east.



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Figure 555: 938 Riverside Blvd. south elevation, looking northeast.



Figure 556: 938 Riverside Blvd. north elevation, looking southeast.



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18.1.144. Newly Inventoried Property HS-158: 928 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 928 Riverside Blvd., Resource HS-158 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Riverside Blvd. According to tax assessor records, the house was constructed in 1966. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented west and has an asphalt shingle hipped roof with Roman brick veneer exterior siding, a soldier course under the eaves, and a concrete slab foundation. The façade features a partial-width hipped roof porch and an integrated carport on the south of the façade supported by decorative cast-iron posts. The hipped roof porch is supported by decorative cast-iron posts with decorative cast-iron fret work along the soffits, sheltering a poured concrete deck with a cast-iron balustrade, an original single-light wood panel door and decorative wrought-iron storm door and a replacement bay window with two central single-light fixed vinyl windows flanked by one-over-one double-hung vinyl windows. The windows to the north of the porch are filled with replacement one-over-one double-hung vinyl sashes with a brick sill and a clearstory, replacement vinyl slider with a brick sill. An integrated brick planter spans the façade. The carport's interior is clad with Roman brick with an original horizontal three-light wood door and replacement fifteen-light metal storm door in the north corner on the east elevation. The south elevation has a door opening enclosed with brick and rusticated Roman brick siding with a soldier course below the eaves. Within the carport, the southern elevation is clad in vinyl siding. The north elevation has brick siding with a soldier course of brick below the eaves. The windows are filled with replacement one-over-one double-hung vinyl sashes and a fixed single light vinyl window. An addition extends to the east along the elevation, maintaining the roofline and exterior cladding. The eastern rear elevation is not visible from the ROW. Aerials and side elevations show a rear, L-shaped hipped roof addition.

Evaluation of Integrity: Resource HS-158 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of design, material, workmanship, and feeling remain as the original ironwork characteristic of the neighborhood has not been removed and are in good condition and the house maintains many characteristics of the original Ranch style design and feeling. While the integrity of material has been diminished by replacement windows, most materials and character defining features relating to the house's style and neighborhood design remain intact. The original form has been altered by the construction of a rear addition, but the integrity remains as it is not readily visible from the street. The house

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features architectural details typical of the Ranch style, such as a low-pitch roof, multiple exterior accent materials, an attached carport or garage, a colonnade, and iron detailing. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 557: 928 Riverside Blvd. west facade, looking east.



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Figure 558: 928 Riverside Blvd. south elevation, looking northeast.



Figure 559: 928 Riverside Blvd. north elevation, looking southeast.



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Newly Inventoried Property HS-159: 922 Riverside Boulevard

Contributing to the French Fort Historic District

Description: Located at 922 Riverside Blvd., Resource HS-159 is a Ranch style single-family residential house. The house is centrally located on a rectangular parcel on the east side of Riverside Blvd. According to tax assessor records, the house was constructed in 1960. This date is consistent with historic aerials and the building's Ranch style.

Of frame construction, the one-story house is oriented northwest and has an asphalt shingle gable roof with brick veneer exterior siding, a brick soldier course under the eaves, and a concrete slab foundation. The façade features a central side gable roof porch, supported by replacement, stained square wood columns, sheltering a poured concrete deck leading to an original wood paneled door with a decorative wrought-iron storm door. Bay windows filled with original four-over-four double-hung wood windows flank the entrance with decorative cast-iron grates. The windows on the façade are filled with original six-over-six double-hung wood sashes with decorative wrought-iron grates, brick sills and replacement rustic wood plank shutters. The south elevation has large overhanging eaves with louvered metal venting and cement board siding in the gable end with a soldier course of bricks below delineating the first story. The windows are filled with original six-over-six double-hung wood sashes with brick sills and decorative cast-iron grates. A hyphen extends along the elevation to the east with brick veneer siding, connecting to a rear side-gabled carport with cement board in the gable-end and round fluted wood columns. The north elevation has large overhanging eaves with louvered metal venting and cement board siding in the gable end with a soldier course of bricks below delineating the first story. The windows are filled with original six-over-six double-hung wood sashes with brick sills. The eastern rear elevation has a carport with metal louvered venting and cement board siding in the gable-end oriented north. The carport is connected to the house by a hyphen with cement board siding. There are original double-doors with decorative cast-iron storm doors on the east elevation of the house and windows filled with original six-over-six double-hung wood windows with decorative cast-iron grates and brick sills. Based on historic aerials and materials, the attached carport is believed to be original to the house's design. Associated with Resource HS-159 is a prefabricated vinyl storage shed with a vinyl roof, located near the southeast corner of the parcel, oriented south.

Evaluation of Integrity: Resource HS-159 possesses integrity of location because it has not been moved, and the integrity of its residential setting is maintained. It possesses integrity of association because it retains its original use as a single-family residential house. Integrity of materials, design, workmanship, and feeling remain as most original windows are in place, the original ironwork characteristic of the neighborhood remains, and the original form and primary cladding materials have not been altered. While the integrity of

material has been altered with the replacement of original shutters and front porch columns, integrity remains with most character-defining features relating to the house's style and neighborhood design remaining intact. The house features architectural details typical of the Ranch style, such as a low-pitched roof with large overhanging eaves, a picture window, iron detailing and an attached carport or garage. As a good and intact example of the Ranch house style that characterizes the French Fort neighborhood, it is considered a contributing resource to the historic district.

Figure 560: 922 Riverside Blvd. west facade, looking east.



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Figure 561: 922 Riverside Blvd. south elevation, looking northeast.



Figure 562: 922 Riverside Blvd. south elevation, looking southeast.

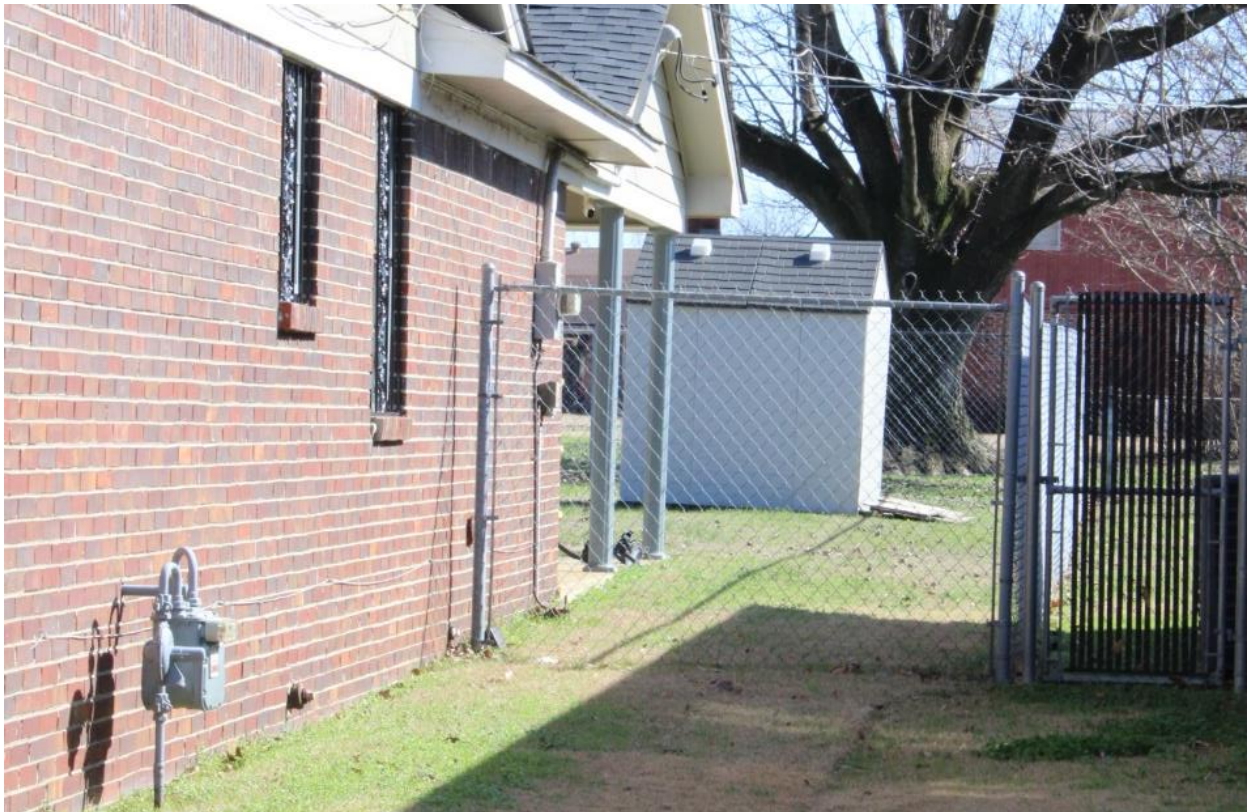


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Figure 563: 922 Riverside Blvd. east elevation, looking southwest.



Figure 564: 922 Riverside Blvd. outbuilding, looking east.



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18.1.145. Assessment of Effects

Pursuant to 36 CFR 800.5, the Criteria of Effects have been applied for the proposed project to the NRHP-eligible French Fort Historic District. The proposed project is localized around the Memphis and Arkansas Bridge and I-55. All proposed ROW and easement acquisitions would occur to directly adjacent parcels along the project boundary. ROW and easement acquisition would not be taken from the NRHP-eligible neighborhood; however, the modification of the Memphis and Arkansas Bridge would cause a visual impact to the resource. The French Fort neighborhood is approximately 450 feet from the east boundary of the project area and approximately 400 feet from the east foot of the Memphis and Arkansas Bridge at its nearest point along the northern boundary. The close proximity of the bridge and the low height of the surrounding buildings mean that it is highly visible at various points throughout the neighborhood. A finding of **Adverse Effect** is anticipated.

Example of Adverse Effect	Assessment
Physical destruction of or damage to all or part of the property	The proposed project would not take any new ROW from the French Fort neighborhood. All work would be restricted to the existing ROW along the northern and eastern boundaries. Therefore, there would not be any direct physical impact to any part of the district.
Alterations of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines	The proposed project includes the removal and replacement of the Memphis and Arkansas Bridge and associated roadwork. The potential grading, resurfacing, improved signage and markings, restriping, and safety and railing installation would not cause alterations to any contributing resources in the eligible district. The project is not anticipated to alter the historic property in a way that is inconsistent with the <i>Secretary of the Interior's Standards for the Treatment of Historic Properties</i> .
Removal of the property from its historic location	The proposed bridge replacement project would not result in the removal of any contributing or non-contributing resources from the eligible district. This example does not apply.



Example of Adverse Effect	Assessment
<p>Change of the character of the property's use or physical features within the property's setting that contribute to its historic significance</p>	<p>The proposed project would not change the use of the property, which is historically and currently a residential suburban neighborhood. The property is eligible for listing under Criterion A and C for significance in community planning and development, ethnic heritage, social history, and architecture. ROW or easement acquisition is not anticipated from the NRHP-eligible resource. Since the design of the neighborhood would not be disrupted, and would remain a residential neighborhood, integrity of setting and feeling are not negatively impacted.</p>
<p>Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features</p>	<p>The proposed project would require road alterations along I-55 as a result of the bridge replacement. Current improvements being made to I-55 as part of the Crump Interchange project already detoured traffic to accommodate the roadwork. Additional improvements may include grading, resurfacing, improved signage and markings, restriping, and safety and railing installation. The proposed work would involve lane closures and the use of large machinery. The atmospheric and audible elements introduced during the proposed construction would be limited to the minimum necessary and are not permanent. The road closures and machinery would introduce temporary visual and audible elements that would not permanently diminish the property's significance. The replacement of the bridge would have a large visual impact as the existing bridge is currently highly visible to most of the neighborhood. The bridge has always been a prominent feature of the neighborhood's viewshed because it predates the development of the neighborhood. Although the existing and proposed bridges would have approximately the same clearance underneath, the existing bridge measures 92 feet tall from the bridge deck while the proposed bridge would measure 280 feet. This is more than three times as tall and would substantially change the visual perception from the historic district. while the proposed bridge would measure 280 feet. This is more than three times as tall and would substantially change the visual perception from the historic district. This would be an adverse effect.</p>

Example of Adverse Effect	Assessment
Neglect of a property which causes its deterioration, except where such neglect or deterioration are recognized qualities or a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization	The proposed bridge replacement would not cause neglect of the neighborhood. The proposed project would decrease congestion, increase road safety, and maintain and stabilize the road within the project boundary. This example does not apply.
Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforcement restrictions or conditions to ensure long-term preservation of the property's historic significance	No properties within the neighborhood would come under federal ownership as a result of this project; therefore, this example does not apply.

Figure 565: View of Memphis-Arkansas Bridge from within French Fort District, northeast corner of 907 Riverside Blvd., looking northwest.



Figure 566: Looking northwest from the corner of W Illinois Ave. and Cotton Gin Pl. in French Fort neighborhood.



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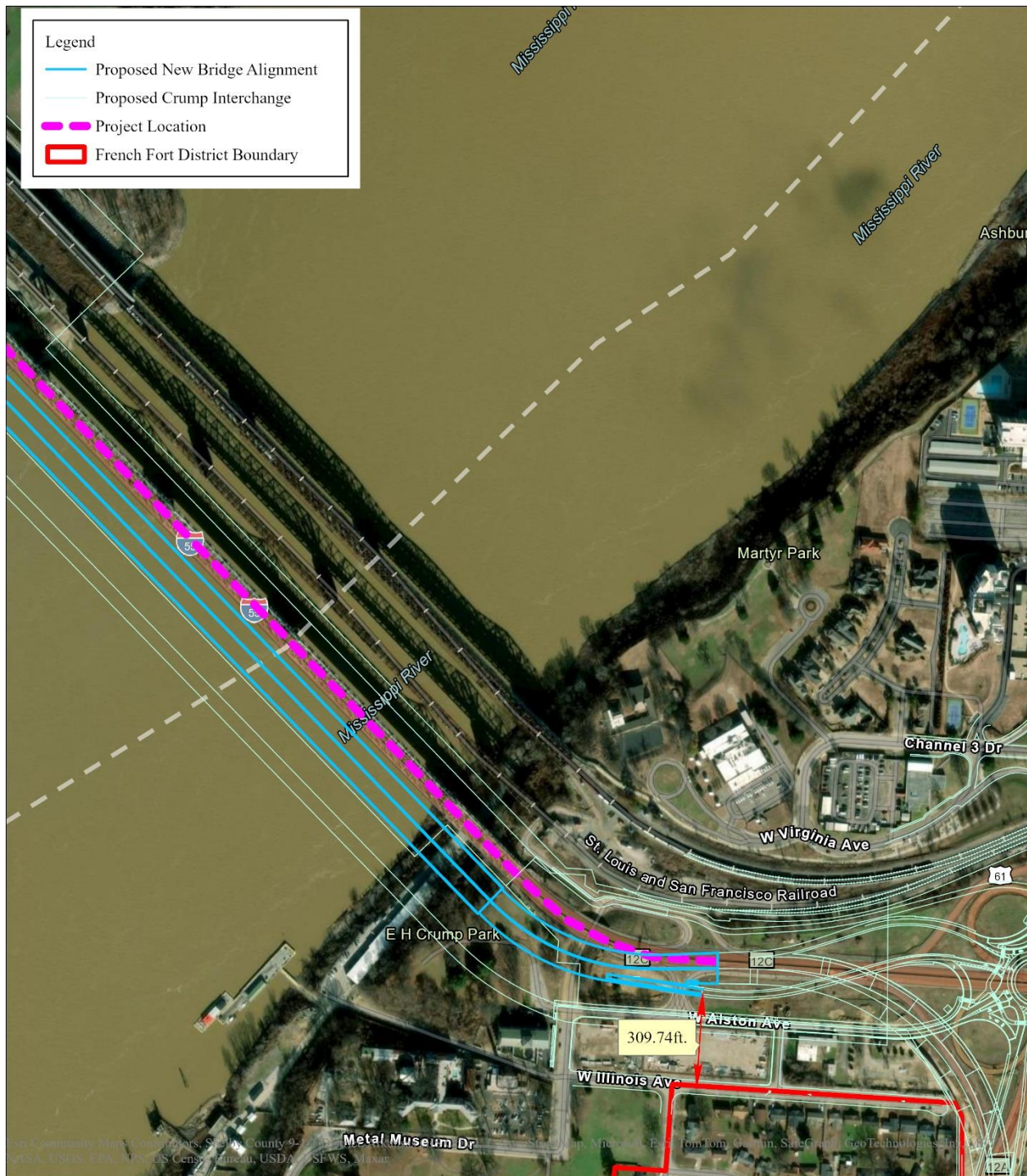
Figure 567: View of proposed new bridge and existing Memphis-Arkansas Bridge from within French Fort District, northeast corner of 907 Riverside Blvd., looking northwest.



Figure 568: View of proposed and existing bridges, looking northwest from the corner of W Illinois Ave. and Cotton Gin Pl. in French Fort neighborhood.



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18.1.146. Applicability of Section 4(f)

The proposed project would have an adverse effect on the French Fort Historic District, which is recommended eligible for listing on the NRHP, under Section 106 of the NHPA. The proposed project does not incorporate land from the historic property and thus does not constitute a direct use under Section 4(f) of the Department of Transportation Act of 1966. It is recommended that this indirect use does not rise to a constructive use of the historic site under Section 4(f).

The regulations implementing Section 4(f), found at 23 Code of Federal Regulations (CFR) Part 774.15(a) define a constructive use as occurring “when the transportation project does not incorporate land from a Section 4(f) property, but the project’s proximity impacts are so severe that the protected activities, feature, or attributes that qualify the property for protection under Section 4(f) are substantially impaired. Substantial impairment occurs when the protected activities, features, or attributes of the property are substantially diminished.”

The Federal Highway Administration (FHWA) determines when a constructive use occurs based on (23 CFR 774.15(d)):

1. Identification of the current activities, features or attributes of the property which qualify for protection under Section 4(f), and which may be sensitive to proximity impacts;
2. An analysis of the proximity impacts on the Section 4(f) property. If any of the proximity impacts will be mitigated, only the net impact needs to be considered in this analysis. The analysis should also describe and consider the impacts which could reasonably be expected if the proposed impact were not implemented, since such impacts should not be attributed to the proposed project; and
3. Consultation, on the foregoing identification and analysis, with the official(s) with jurisdiction over the Section 4(f) property.

The French Fort Historic District is eligible for listing on the NRHP under Criteria A and C for significance in Community Planning and Development, Ethnic Heritage, Social History and Architecture at the local and state levels with a period of significance between 1963 and 1973. A finding of adverse effect due to visual changes within the historic district is recommended.

Character defining features include the design and workmanship of the housing—which retains a high degree of integrity as well as key elements such as decorative iron work—and subdivision features including the streets, sidewalks, yards, and uniform setbacks. The semi-isolated nature of the subdivision, separated from encroachment by I-55 and industrial development, is a character defining feature. The feeling and association of the neighborhood is found in the long-term residency of the owners.



The construction of the proposed project would not substantially impair the characteristics that qualify the historic district for inclusion in the NRHP, and not to a degree that those activities, features or attributes are substantially diminished.

It is recommended that the project would not have a use of the French Fort Historic District because there is no incorporation of property from the historic district into the transportation system and there is no constructive use of the historic district under Section 4(f) because the characteristics that qualify the property for protection under Section 4(f) would not be substantially diminished.

18.1.147. Measures to Mitigate Adverse Effect

Preparation of National Register of Historic Places Nomination for French Fort Historic District

As the removal and replacement of the Memphis and Arkansas Bridge will constitute an adverse effect to the historic district, TDOT will mitigate this adverse effect by preparing documentation for the French Fort Historic District following the standard nomination form for the NRHP. The French Fort Historic District was evaluated during the course of fieldwork for the America's River Crossing Bridge Replacement (I-55) and determined to retain all aspects of integrity that convey its significance. TDOT will prepare the documentation and work with the TN-SHPO to include the documentation in their information files. The documentation will be provided to property owners to pursue listing on the NRHP if desired.

Interpretive Documentation of the French Fort Historic District

TDOT shall create two interpretive panels detailing the history of the French Fort neighborhood. The placement of the panels will be coordinated with French Fort residents and the city of Memphis. The markers will incorporate archival research and architectural information and may also include data collected during oral history interviews with neighborhood residents.

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19. CONCLUSION

The proposed TDOT project would demolish and replace the Memphis and Arkansas Bridge that carries I-55 across the Mississippi River between Memphis, Tennessee and West Memphis, Arkansas. This report has identified eight properties that are listed on or recommended eligible for the NRHP within the project's APE. These resources are: the Memphis and Arkansas Bridge, Chickasaw Heritage Park, the Harahan Bridge, the Frisco Bridge, the First Unitarian Church of Memphis, the Memphis Marine Hospital Campus Historic District (boundary expansion), the KWAM Radio Tower, and the French Fort Historic District. A finding of No Adverse Effect is anticipated for Chickasaw Heritage Park, the Harahan Bridge, the Frisco Bridge, the First Unitarian Church of Memphis, the Memphis Marine Hospital Campus Historic District (boundary expansion), and the KWAM Radio Tower. A finding of Adverse Effect is anticipated for the Memphis and Arkansas Bridge and the French Fort Historic District.

The proposed project is anticipated to fall under the Programmatic Section 4(f) Evaluation and Approval for FHWA Projects that Necessitate the Use of Historic Bridges, and it is anticipated that there would be no Section 4(f) use of the French Fort Historic District.

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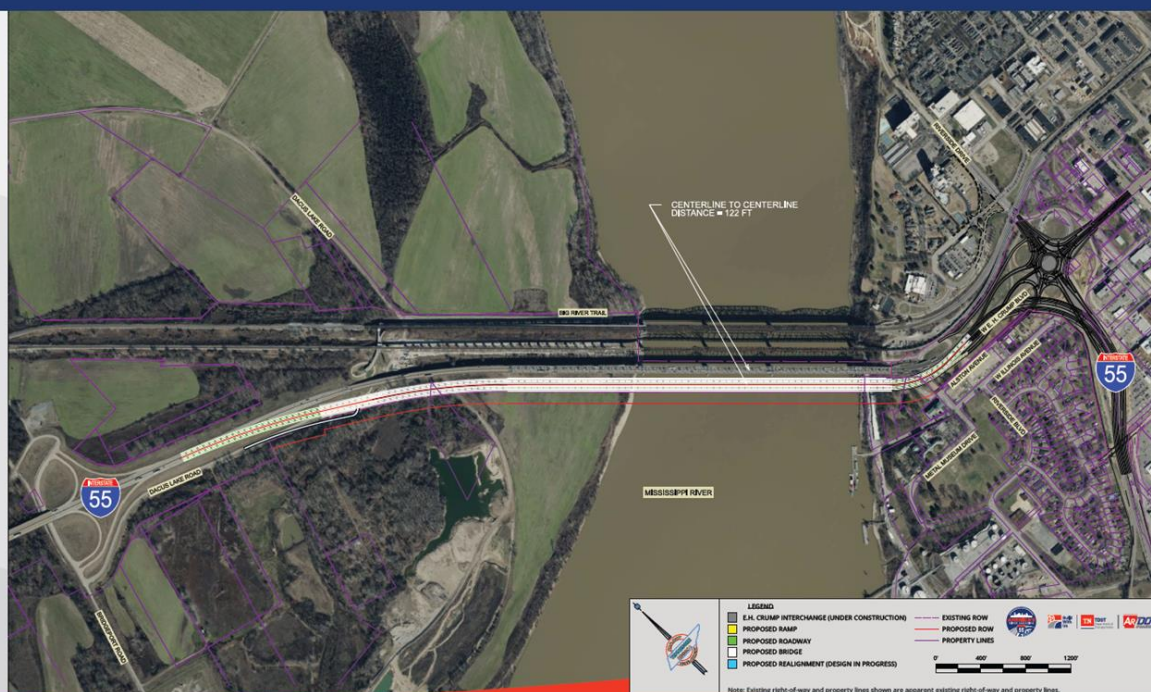
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APPENDIX A. PROJECT PLAN SHEETS

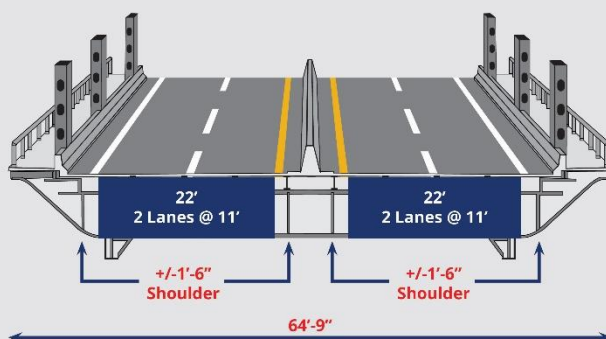
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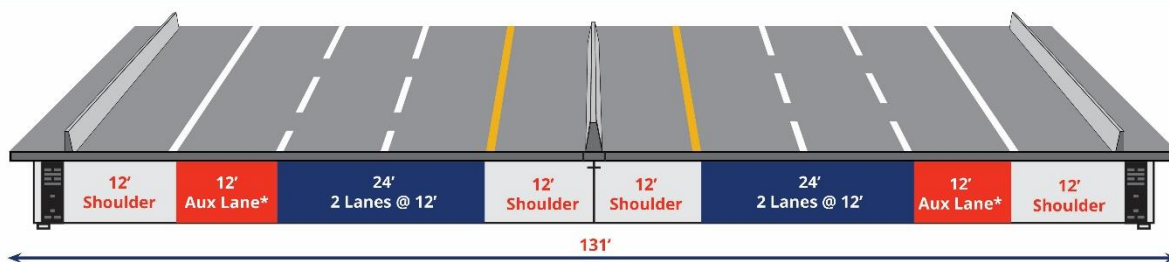
I-55 Over the Mississippi River Bridge - Conceptual Layout, April 2024



Existing River Bridge Deck Section



Proposed River Bridge Deck Section



*Aux lanes vary from 0'-12' on Arkansas Approach Bridge

DRAFT - DELIBERATIVE



Aerial showing existing conditions.

DRAFT - DELIBERATIVE



Rendering showing proposed bridge design.

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APPENDIX B. NOTIFICATION LETTER AND EARLY CORRESPONDENCE

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**STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION
ENVIRONMENTAL DIVISION**

ENVIRONMENTAL TECHNICAL STUDIES SECTION

SUITE 900, JAMES K. POLK BUILDING
505 DEADERICK STREET
NASHVILLE, TENNESSEE 37243-1402
(615) 741-3655

BUTCH ELEY
DEPUTY GOVERNOR &
COMMISSIONER OF TRANSPORTATION

BILL LEE
GOVERNOR

May 14, 2024

SUBJECT: Historic Bridge Offering Letter and Notification the I-55 Bridge over the Mississippi River (Memphis and Arkansas Bridge) in Memphis, Shelby County, Tennessee

Dear Preservation Partner:

The Tennessee Department of Transportation (TDOT), in cooperation with the Federal Highway Administration, is proposing to replace the Interstate 55 bridge over the Mississippi River in Memphis, Shelby County. The current structure will be removed and replaced with a new bridge on the same alignment. The proposed replacement structure is a cable span bridge, although specifics of the new structure are still under discussion.

The Memphis and Arkansas Bridge was listed in the National Register of Historic Places in 2001. The existing bridge was constructed in 1949 and is a 5-span Warren truss bridge that spans 5,222 feet. Typically, a bridge replacement project results in the demolition of the existing bridge. However, because the demolition of the bridge would adversely affect this National Register listed structure, federal law mandates that alternatives to this action be considered.

TDOT has a Historic Bridge Marketing Program and through this program, a number of the state's historic bridges that were originally scheduled for demolition due to replacement have been preserved. Possible alternatives include leaving the bridge in its existing location and open to pedestrian traffic, leaving the bridge in its current location as a historic ruin, and allowing a qualified recipient to remove the bridge from its existing location and move it to a new location. Due to the demands of current Mississippi River traffic and the guidance of the U.S. Coast Guard, leaving the bridge in its current location with its current pier alignment is not feasible. Funds for relocation costs are available up to the estimated demolition cost for the bridge.

You are receiving this letter because you have expressed interest in the past in preserving historic bridges either in place or at a new location. A qualified recipient must be willing to take responsibility for the bridge, including liability and maintenance, and a preservation plan must be approved by TDOT, the Tennessee State Historic Preservation Office, and Federal Highway Administration. Interested parties can contact TDOT for additional information regarding detailed bridge structural information, feasibility of moving the bridge, and estimated cost of demolition, as well as further steps for putting forward an offer for the bridge. Inquiries are due by June 14, 2024 to Haley Seger, the historian managing this project, by email at haley.seger@tn.gov.

Sincerely,

Kim Vasut-Shelby
Cultural Resources Team Lead
KVS/hms

Map of the Memphis area showing the Trail of Tears route. The map includes major highways (Interstates 40, 55, 240, and US Routes 51, 58, 61, 70, 77, 90), the Mississippi River, and various neighborhoods. A pink line traces the Trail of Tears route through the city. A yellow box highlights the coordinates -90.076549, 35.128267. An inset map shows the location of the study area within the state of Tennessee. A scale bar at the bottom indicates distances in miles (0, 4.5, 9, 13.5, 18) and a north arrow is present.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

0 4.5 9 13.5 18 Miles

1:250,000

Trail of Tears



**STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION**

ENVIRONMENTAL DIVISION
SUITE 900, JAMES K. POLK BUILDING
505 DEADERICK STREET
NASHVILLE, TENNESSEE 37243-1402
(615) 741-3655

BUTCH ELELY
DEPUTY GOVERNOR &
COMMISSIONER OF TRANSPORTATION

BILL LEE
GOVERNOR

May 23, 2024

SUBJECT: Section 106 Initial Coordination for Proposed Replacement of the I-55 Bridge over the Mississippi River (Memphis and Arkansas Bridge) in Memphis, Shelby County, Tennessee

To Whom It May Concern:

The Tennessee Department of Transportation (TDOT), in coordination with the Federal Highway Administration (FHWA), is proposing to replace the Interstate 55 bridge over the Mississippi River in Memphis, Shelby County. The current structure will be removed and replaced with a new bridge on the same alignment. The proposed replacement structure is a cable span bridge, although specifics of the new structure are still under discussion.

The Advisory Council on Historic Preservation regulations stipulate that TDOT invite members of the public with interests in historic properties should be given reasonable opportunity to have an active role in the Section 106 process. TDOT would like to invite you, as a Shelby County party or individual with historic preservation interests, to participate as a consulting party for the proposed project.

If you choose to participate as a consulting party, you will receive copies of TDOT's historic preservation reports and will be invited to attend project-related meetings between TDOT and the Tennessee State Historic Preservation Office (TN-SHPO), if any are held. As a consulting party, you should be prepared to attend any such meetings between TDOT and the TN-SHPO and provide a response to TDOT's reports in written form within 30 days upon receipt of the report. TDOT also wishes to seek your comments on the identification and evaluation of historic properties that the proposed project might impact.

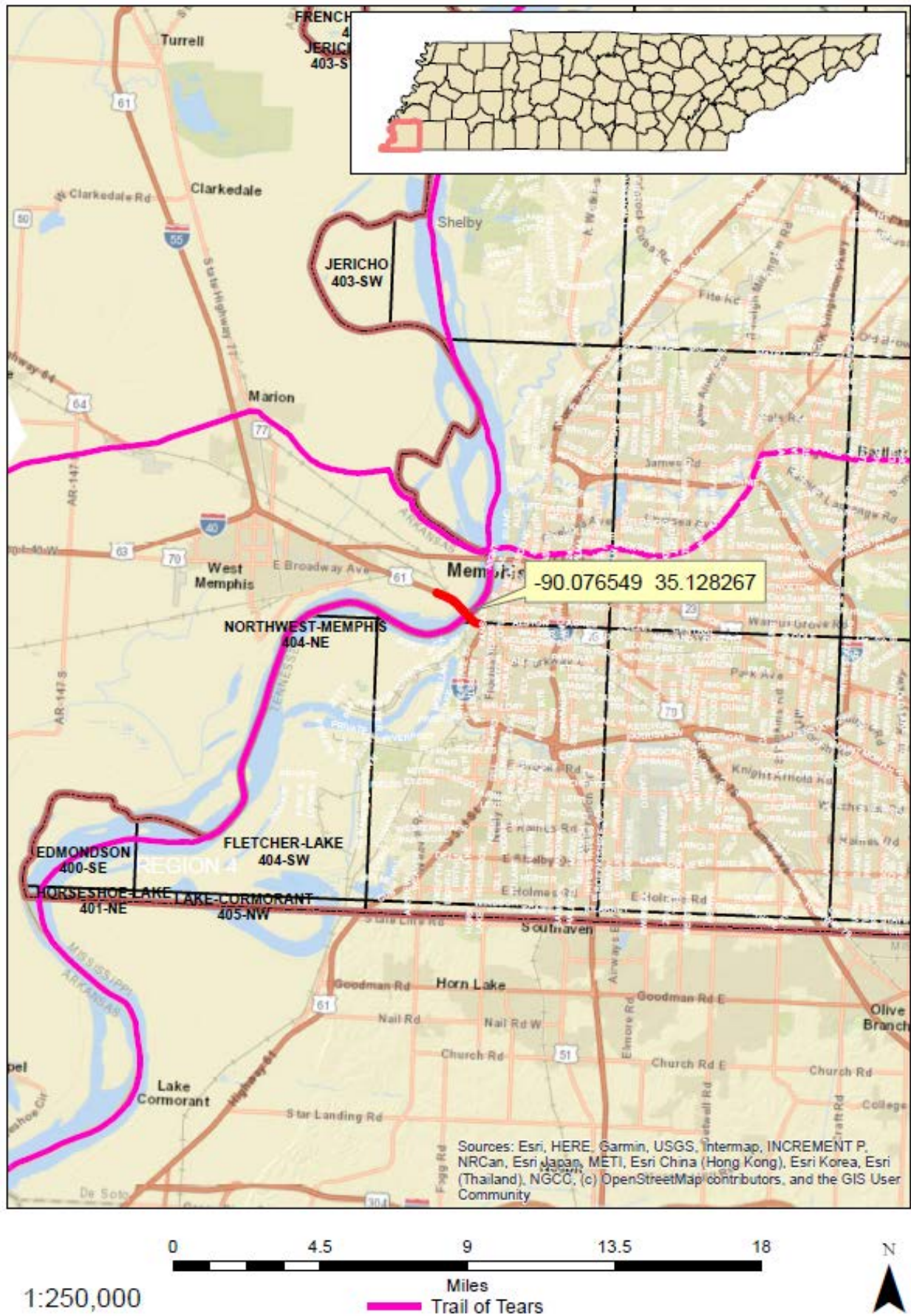
If you would like to participate as a consulting party, please write to Haley Seger, the historian managing this project, by email at haley.seger@tn.gov. To facilitate our planning process, please respond within 30 days of receipt of this letter. Thank you for your assistance.

Sincerely,

Kim Vasut-Shelby
Cultural Resources Team Lead
KVS/hms

TDOT PIN 132733.01

Proposed Replacement of I-55 Bridge over the Mississippi River, in Shelby County



PIN: 132733.01



A horizontal color calibration bar consisting of five rectangular segments. Above the segments are numerical labels: 0, 0.45, 0.9, 1.35, and 1.8. The segments transition from black on the left to white on the right.

1:24,000

Miles

Trail of Tears



From: [TN Help](#)
To: [Haley Seger](#); [Kimberly Vasut-Shelby](#)
Subject: I-55 Bridge over the Mississippi River, TDOT PIN 132733.01 - Project # SHPO0005170
Date: Monday, August 19, 2024 9:32:14 AM
Attachments: [image](#)
[image](#)



TENNESSEE HISTORICAL COMMISSION
STATE HISTORIC PRESERVATION OFFICE
2941 LEBANON PIKE
NASHVILLE, TENNESSEE 37243-0442
OFFICE: (615) 532-1550
www.tnhistoricalcommission.org

2024-08-19 09:13:28 CDT

Kim Vasut-Shelby
Tennessee Department of Transportation
kimberly.vasut-shelby@tn.gov

RE: Federal Highway Administration (FHWA), Architecture Review, I-55 Bridge over the Mississippi River, TDOT PIN 132733.01, Project#: SHPO0005170, Memphis, Shelby County, TN

Dear Kim Vasut-Shelby:

In response to your request, we have reviewed the documents submitted regarding your proposed undertaking. Our review of and comment on your proposed undertaking are among the requirements of Section 106 of the National Historic Preservation Act. This Act requires federal agencies or applicants for federal assistance to consult with the appropriate State Historic Preservation Office before they carry out their proposed undertakings. The Advisory Council on Historic Preservation has codified procedures for carrying out Section 106 review in 36 CFR 800 (Federal Register, December 12, 2000, 77698-77739) .

Considering available information, we concur that the project as currently proposed will adversely affect the Memphis and Arkansas Bridge and the French Fort Historic District. You should continue to consult with our office to resolve the adverse effect. Please direct questions and comments to Casey Lee at Casey.Lee@tn.gov. We appreciate your cooperation.

Sincerely,



E. Patrick McIntyre, Jr.
Executive Director and
State Historic Preservation Officer

Ref:MSG15066586_55JNGRmZZxGxl3kdsqq



Sarah Huckabee Sanders
Governor
Shea Lewis
Secretary

August 13, 2024

Mr. Josh Seagraves
Division Head
Environmental Division
Arkansas Department of Transportation
10324 Interstate 30
P.O. Box 2261
Little Rock, AR 72203-2261

RE: Crittenden County: Memphis
Section 106 Review: FHWA
Proposed Undertaking: I-55 Mississippi River Str. & Apprs. (West Memphis) P.E.
Cultural Resources Survey Report: *America's River Crossing Bridge Replacement (I-55 Bridge)*
ArDOT Job Number: 110836
AHPP Tracking Number: 112470.01

Dear Mr. Seagraves:

The staff of the Arkansas Historic Preservation Program (AHPP) has reviewed the Phase I cultural resources survey report (CRS) for the aforementioned undertaking in Memphis, Crittenden County, Arkansas. The project proposes to replace the I-55 bridge crossing the Mississippi River between Arkansas and Tennessee. The area of potential effect consists of 83.12 acres of existing and proposed right-of-way and proposed easements. There is one previously recorded site (3CT0242) within the APE. The site contains the wrecks of two wooden barges dating between 1900 and 1940. The site was previously determined as eligible for the National Register of Historic Places (NRHP) but was damaged between its initial recording and a revisit in 1999.

Two new archeological sites (3CT0547 and 3CT0548) were identified during this cultural resources survey. 3CT0547 is a historic artifact scatter related to the remains of one or more houses that are no longer extant. A total of 178 shovel tests were excavated within the site, 81 of which were positive for cultural materials. 3CT0547 is located within an active agricultural field and has experienced significant damage through continued agricultural activity and construction of the I-55 bridge. 3CT0547 is recommended as not eligible for inclusion in the NRHP. 3CT0548 is another historic artifact scatter. Thirteen shovel tests were excavated within the site, eight of which were positive for cultural materials. The site was also significantly damaged during the construction of the bridge and contains a lot of construction debris as well as modern refuse. 3CT0548 is recommended as not eligible for inclusion in the NRHP.

There is one structure on the Arkansas side of the APE that is recommended as eligible for inclusion in the NRHP. The KWAM Radio station began as KWEM and first broadcast in 1947. The radio tower is located 1300 feet from the west boundary of the APE and 1900 feet from the west foot of the Memphis and Arkansas bridge. There will be no adverse effect to the radio tower as a result of this undertaking.

Based on the provided information, the AHPP concurs that there will be no adverse effect to historic properties pursuant to 36 CFR § 800.5(b)(1) as a result of this undertaking and that no further archeological work is needed. We recommend that site 3CT0242 be considered no longer eligible for inclusion in the NRHP. We concur that sites 3CT0547 and 3CT0548 are not eligible for inclusion in the NRHP. We also concur that the KWAM radio tower is eligible for inclusion in the NRHP and that there will be no adverse effect as a result of this undertaking. In the event of a post-review discovery of historic properties within the area of potential effects, please contact the AHPP and other consulting parties in accordance with 36 CFR § 800.13(b)(3).

Thank you for the opportunity to review this CRS and ARS. Please refer to the AHPP Tracking Number listed above in all correspondence. If you have any questions, please call Jessica Cogburn of my staff at 501-324-9357 or email jessica.cogburn@arkansas.gov.

Sincerely,

for

Scott Kaufman
State Historic Preservation Officer and Director, AHPP

cc: Randal Looney, Federal Highway Administration
Dr. Melissa Zabecki, Arkansas Archeological Survey

From: [Tammy Sellers](#)
To: [April English](#); [Jennifer Halstead](#)
Cc: [Erick Hunt-Hawkins](#); [K.Brandon Chance](#); [Brandon Akins](#)
Subject: FW: ACHP Case 021501: America's River Crossing on I-55 over the Mississippi River Bridge Replacement
Date: Wednesday, October 2, 2024 8:23:25 AM
Attachments: [image001.png](#)
[image002.jpg](#)
[image003.png](#)

External Email: Use caution when clicking on links, replying, or opening attachments.

April,

Please see the letter from the Advisory Council on Historic Preservation declining to participate in the Section 106 process. Please include their response in the appendix with Cultural Resources agency correspondence. We are waiting for the TN-SHPO's comments on the draft MOA. As soon as that correspondence comes back, we'll send it to you for the document.



Tammy Allison Sellers | TDOT Manager
Environmental Division
Environmental Quality and NEPA Section
James K. Polk Building, 9th Floor
505 Deaderick Street
Nashville, TN 37243
p 615.741.5367 c: 615.393.3881
Tammy.Sellers@tn.gov

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From: Vernon, Bailey (FHWA) <bailey.vernon@dot.gov>
Sent: Wednesday, September 25, 2024 1:40 PM
To: Kimberly Vasut-Shelby <Kimberly.Vasut-Shelby@tn.gov>
Cc: Tammy Sellers <Tammy.Sellers@tn.gov>; Santalla, Sean (FHWA) <sean.santalla@dot.gov>; DuBose, Frank (FHWA) <frank.dubose@dot.gov>; Haley Seger <Haley.Seger@tn.gov>
Subject: [EXTERNAL] FW: ACHP Case 021501: America's River Crossing on I-55 over the Mississippi River Bridge Replacement

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Hi Kim,

I received this yesterday from ACHP about the I-55 project. Forwarding for TDOT's awareness and records! I will also send this to Randal at FHWA AR just for his knowledge.

Thanks!



Bailey Vernon, M.A. | Environmental Protection Specialist

FHWA Tennessee Division
404 BNA Drive, Bldg. 200, Ste. 508
Nashville, TN 37217
615-571-6012

From: Katharine Cline <kcline@achp.gov>

Sent: Tuesday, September 24, 2024 8:20 AM

To: Vernon, Bailey (FHWA) <bailey.vernon@dot.gov>

Cc: Rachael Mangum <rmangum@achp.gov>; Clarke, David (FHWA) <david.clarke@dot.gov>

Subject: ACHP Case 021501: America's River Crossing on I-55 over the Mississippi River Bridge Replacement

CAUTION: This email originated from outside of the Department of Transportation (DOT). Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Vernon:

On September 12, 2024, the Advisory Council on Historic Preservation (ACHP) received your notification and supporting documentation regarding the potential adverse effects of the referenced undertaking on a property or properties listed or eligible for listing in the National Register of Historic Places. Based upon the information you provided, we have concluded that Appendix A, Criteria for Council Involvement in Reviewing Individual Section 106 Cases, of Section 106 of the National Historic Preservation Act (NHPA) and its implementing regulations, "Protection of Historic Properties" (36 CFR Part 800), does not apply to this undertaking. Accordingly, we do not believe our participation in the consultation to resolve adverse effects is needed.

However, if we receive a request for participation from either the Tennessee and Arkansas State Historic Preservation Officers (SHPO), Tribal Historic Preservation Officer, affected Indian Tribe, a consulting party, or other party, we may reconsider this decision. Should the undertaking's circumstances change, consulting parties cannot come to consensus, or you need further advisory assistance to conclude the consultation process, please contact us.

Pursuant to 36 CFR § 800.6(b)(1)(iv), you will need to file the final Section 106 agreement document (Agreement), developed in consultation with the Tennessee SHPO and the Arkansas SHPO and any

other consulting parties, and related documentation with the ACHP at the conclusion of the consultation process. The filing of the Agreement and supporting documentation with the ACHP is required in order to complete the requirements of Section 106 of the NHPA.

Thank you for providing us with your notification of adverse effect. If you have any questions or require our further assistance, please contact Ms. Kate Cline at (202) 517-0225 or by e-mail at kcline@achp.gov and reference the ACHP Project Number above.

Sincerely,

Kate Cline (she/her)
Historic Preservation Specialist
Advisory Council on Historic Preservation
401 F Street NW, Suite 308, Washington, DC 20001
(202) 517-0225
kcline@achp.gov



www.achp.gov

www.facebook.com/usachp

@usachp – Twitter and Instagram

<https://www.youtube.com/channel/UChReeJ63BktsEqSidL396Ng>

APPENDIX C. DRAFT MEMORANDUM OF AGREEMENT

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MEMORANDUM OF AGREEMENT

between

THE FEDERAL HIGHWAY ADMINISTRATION

and

THE TENNESSEE STATE HISTORIC PRESERVATION OFFICER

regarding

AMERICA'S RIVER CROSSING BRIDGE REPLACEMENT (I-55)

SHELBY COUNTY, TENNESSEE | CRITTENDEN COUNTY, ARKANSAS

PURSUANT TO 36 CFR PART 800.6(b)(1)(iv)

WHEREAS, the America's River Crossing Bridge Replacement (I-55), under the guidance of the Tennessee Department of Transportation (TDOT) and proposes to replace the existing Interstate 55 (I-55) bridge across the Mississippi River between Memphis, Tennessee, and West Memphis, Arkansas (UNDERTAKING) using Federal -Aid Highway Program funds administered by the Federal Highway Administration (FHWA) through the Tennessee Department of Transportation (TDOT);

WHEREAS, the UNDERTAKING is a federal undertaking and thus subject to compliance with Section 106 of the National Historic Preservation Act of 1966, as amended; and

WHEREAS, the Area of Potential Effects (APE) for architectural resources is defined as the existing bridge, areas within the proposed Right-of-Way (ROW), and the viewshed of the undertaking; and

WHEREAS, FHWA determined that the APE for the UNDERTAKING contains four historic resources listed on the National Register of Historic Places, the Memphis and Arkansas Bridge, the Chickasaw Heritage Park, the U.S. Marine Hospital Executive Building and Kitchen-Laundry, and the U.S. Marine Hospital Marine Apartments; and

WHEREAS, FHWA determined that the APE for the UNDERTAKING contains six historic resources eligible for listing in the National Register of Historic Places: the Harahan Bridge,

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the Frisco Bridge, the First Unitarian Church of Memphis, the Memphis Marine Hospital Campus Historic District (boundary expansion), the KWAM Radio Tower, and the French Fort Historic District; and

WHEREAS, TDOT, on behalf of the FHWA, filed a Documentation of Effect Report pursuant to 36 CFR 800, regulations implementing Section 106 of the National Historic Preservation Act (16 U.S.C. 470f) with the Tennessee State Historic Preservation Officer (TN-SHPO) and the Arkansas State Historic Preservation Officer (AR-SHPO); and

WHEREAS, the Documentation of Effect Report stated that the Project constitutes an adverse effect to the National Register-listed Memphis and Arkansas Bridge and the French Fort Historic District; and

WHEREAS, on **DATE**, the TN-SHPO concurred with the adverse effect determination to the Memphis and Arkansas Bridge and French Fort Historic District pursuant to 36 CFR 800.5; and

WHEREAS, TDOT and ARDOT have participated in the consultation and have been invited to sign this MOA as “invited signatories”; and

WHEREAS, FHWA has consulted with Native American Tribes regarding the UNDERTAKING and has invited the **TRIBE NAMES** to sign this MOA as a concurring party; and

WHEREAS, in accordance with 36 C.F.R. § 800.6(a)(1), FHWA has notified the Advisory Council on Historic Preservation (ACHP) of its adverse effect determination providing the specified documentation, and on **DATE**, the ACHP chose not to participate in the consultation pursuant to 36 C.F.R. § 800.6(a)(1)(iii); and

NOW THEREFORE, the FHWA and the TN-SHPO agree that the undertaking shall be implemented in accordance with the following stipulations in order to consider the effect of the undertaking on the historic property.

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STIPULATIONS

FHWA will ensure that the following measures are carried out:

I. Documentation following Historic American Engineering Record (HAER) Guidelines

Prior to removal of the Memphis and Arkansas Bridge, TDOT will document the bridge following the guidelines of the HAER program through a historic report, measured drawings, and large-format professional photography. The resulting documentation will be filed with the TN-SHPO, AR-SHPO, and other stakeholders upon request.

II. Documentation with Three-Dimensional Laser Imaging

Prior to removal of the Memphis and Arkansas Bridge, TDOT will document the bridge through Three-Dimensional (3-D) laser imaging. Copies of the 3-D laser imaging will be provided to the TN-SHPO, AR-SHPO, and other stakeholders upon request.

III. Publication of Book on Mississippi River Crossings

TDOT will hire a consultant to write a book about Mississippi River crossings in Tennessee. The book will cover the history of Mississippi River crossings in Tennessee, including the five (5) current bridges crossing the Mississippi River, of which four are located in Memphis, Tennessee, prehistoric river crossings, and historic river ferries.

IV. Preparation of National Register of Historic Places Nomination for French Fort Historic District

As the removal and replacement of the Memphis and Arkansas Bridge will constitute an adverse effect to the historic district, TDOT will mitigate this adverse effect by hiring a consultant to prepare a NRHP nomination for the French Fort Historic District as a district under Criteria A and C in the areas of Community Planning and Development, Ethnic Heritage, Social History, and Architecture at the local and state levels. The French Fort Historic District was evaluated during the course of fieldwork for the America's River Crossing Bridge Replacement (I-55) and determined to retain all aspects of integrity that convey its significance.

V. Interpretive Documentation of the French Fort Historic District



TDOT shall create two interpretive panels detailing the history of the French Fort neighborhood. The placement of the panels will be coordinated with French Fort residents and the city of Memphis. The markers will incorporate archival research and architectural information and may also include data collected during oral history interviews with neighborhood residents.

VI. Notification of Inadvertent Post-Review Discovery

No evidence has been found that Native American human remains, associated or unassociated funerary objects, sacred objects, or objects of cultural patrimony (collectively termed "cultural items") are present within the area of potential effects. Should any cultural items be found during the undertaking activities, the following process will occur:

1. TDOT, following adherence to specific state laws governing the inadvertent discovery of human remains, shall notify FHWA immediately of the initial inadvertent discovery of CULTURAL ITEMS at the SITE. The FHWA shall then notify the invited signatories, the representative of National American tribes who have expressed interest in Shelby County, Tennessee and Crittenden County, Arkansas and other consulting parties within 24 hours. The FHWA shall report subsequent discoveries to the tribal representative(s), invited signatories, and other consulting parties via telephone, fax, email, or written notification on a weekly basis. This schedule notwithstanding, the FHWA or designated representative of the TDOT or ARDOT shall keep the consulting parties informed and answer questions regarding the progress and findings of the excavations.
2. A representative of National American tribes who have expressed interest in Shelby County, Tennessee and Crittenden County, Arkansas shall be entitled to be present during fieldwork (all phases of the archaeological survey) at the SITE if CULTURAL ITEMS, as defined below (Appendix F), are encountered. A tribal representative is also entitled to be present for any subsequent analysis, whether in the field at the SITE or at a laboratory facility.
3. The tribal representative shall be reimbursed by the Project for travel, meals, or lodging in the amount of actual costs, subject to maximum amounts and limitations specified in the Tennessee State Comprehensive Travel Regulations which shall be provided as needed, as they are amended from time to time. These expenses will result from inspection visits to the site and/or to the archaeological laboratory facilities. In order to be reimbursed, each Native American consulting party must have a State of Tennessee

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vendor number, obtainable by filing a Vendor Request Form with the TDOT, which form shall be provided upon request. Invoices must be supported by appropriate documentation in order to be reimbursed.

4. In the event that non-Native American human remains are discovered, TDOT will comply with applicable Tennessee state statutes concerning the treatment of human remains, including Tennessee State archaeological statutes T.C.A. §§ 11-6-107 and 11-6-119.
5. If non-mortuary archaeological resources that may be historically significant are discovered or unanticipated effects on historic properties found, the FHWA shall ensure the following steps are implemented:
 - a. All activities that may affect the newly identified resources will cease and the resources will be protected from additional disturbance until the requirements of Stipulation B.6. have been satisfied.
 - b. TDOT will notify the FHWA immediately and the FHWA shall then notify Signatories within 24 hours.
 - c. FHWA will notify Native American tribes with interest in Shelby County, Tennessee and Crittenden County, Arkansas within 24 hours of the discoveries and will consult with tribes that may attach traditional cultural and religious significance to the resources. If non-Native American resources are discovered or found to be otherwise affected, TDOT, on behalf of FHWA, will consult with the TN-SHPO as in Part 6d below.
 - d. TDOT, on behalf of FHWA, will consult with the TN-SHPO to evaluate the NRHP eligibility of the previously unidentified archaeological resources.
 - e. FHWA, in consultation with the TN-SHPO, shall make reasonable and good faith efforts to avoid or minimize adverse effects on NRHP-eligible archaeological resources. If adverse effects to previously unidentified NRHP-eligible archaeological resources cannot be avoided, the FHWA shall consult with the TN-SHPO, the TDOA, and the TDOT to resolve these effects through the execution of an amendment to this MOA.



VII. Duration of the Agreement Document

This MOA will remain in effect for ten (10) years from the date of its execution or until all stipulations have been carried out. The MOA must be extended should a commitment contained herein not be completed by the end of the tenth year.

VIII. Dispute Resolution

Should any signatory or concurring party to this MOA object at any time to any actions proposed or the manner in which the terms of this MOA are implemented, FHWA shall consult with such party to resolve the objection. If FHWA determines that such objection cannot be resolved, FHWA will:

1. Forward all documentation relevant to the dispute, including the FHWA proposed resolution, to the ACHP. The ACHP shall provide FHWA with its advice on the resolution of the objection within thirty (30) days of receiving adequate documentation. Prior to reaching a final decision on the dispute, FHWA shall prepare a written response that takes into account any timely advice or comments regarding the dispute from the ACHP, signatories and concurring parties, and provide them with a copy of this written response. FHWA will then proceed according to its final decision.
2. If the ACHP does not provide its advice regarding the dispute within the thirty (30) days, FHWA may make a final decision on the dispute and proceed accordingly. Prior to reaching a final decision, FHWA shall prepare a written response that takes in account any timely comments regarding the dispute from the signatories and concurring parties to the MOA and provide them and the ACHP with a copy of the written response.
3. FHWA's responsibility to carry out all other actions subject to the terms of this MOA that are not the subject of the dispute remain unchanged.

IX. Amendments

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This MOA may be amended at any time when such an amendment is agreed to in writing by all signatories. The amendment will be effective on the date a copy signed by all of the signatories is filed with the ACHP.

X. Termination

Pursuant to 36 CFR § 800.6(c)(8), any signatory may terminate this MOA by providing thirty (30) days notice to the other parties, provided that the parties shall consult during the period prior to termination to seek agreement on amendments or other actions that would avoid termination. Prior to work continuing on the undertaking, if the MOA is terminated by FHWA, FHWA shall request, take into account, and respond to the comments of the ACHP pursuant to 36 CFR § 800.7(a)(1) and (c). If the MOA is terminated by the TN-SHPO, FHWA may execute an MOA with the ACHP without the TN- 36 CFR § 800.67(a)(2). FHWA shall notify the TN-SHPO as to the course of action it will pursue.

XI. Copies

The Agency Official shall provide each signatory and consulting party with a copy of any Memorandum of Agreement executed for this project.

EXECUTION of this MOA by the FHWA and TN-SHPO and implementation of its terms evidence that FHWA has considered the effects of this undertaking on historic properties and afforded the ACHP an opportunity to comment.

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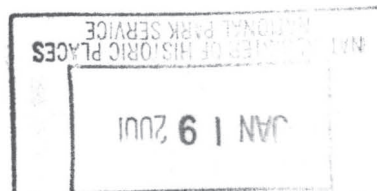
APPENDIX D. NOMINATIONS FOR NATIONAL REGISTER OF HISTORIC PLACES LISTED RESOURCES

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United States Department of the Interior
National Park Service

National Register of Historic Places
Registration Form



139

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Memphis and Arkansas Bridge

other names/site number Interstate 55 Bridge, CT0108

2. Location

street & number Interstate 55

☐ not for publication

city or town West Memphis

☐ vicinity

state Arkansas code AR county Crittenden code 035 zip code 72301

city or town Memphis

☐ vicinity

state Tennessee code TN county Shelby code 157 zip code 38106

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this ☒ nomination ☐
request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic
Places and meets the procedural and professional requirements set for in 36 CFR Part 60. In my opinion, the property ☒ meets ☐
does not meet the National Register criteria. I recommend that this property be considered significant
☐ nationally ☐ statewide ☒ locally. (See continuation sheet for additional comments.)

Cathie Madson
Signature of certifying official/Title

12/8/00
Date

State or Federal agency and bureau

In my opinion, the property ☒ meets ☐ does not meet the National Register criteria. (☐ See Continuation sheet for additional comments.)

Herbert X. Hays
Signature of certifying official/Title

1/3/01
Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:

☒ entered in the National Register.

☐ See continuation sheet

☐ determined eligible for the
National Register.

☐ See continuation sheet

☐ determined not eligible for the
National Register.

☐ removed from the National
Register.

☐ other, (explain:) _____

Signature of the Keeper

Elson H. Beall

Date of Action

2/16/01

Memphis and Arkansas Bridge
Name of Property

Crittenden Co, Arkansas & Shelby Co. Tennessee
County and State

5. Classification

Ownership of Property (Check as many boxes as apply)

- ☐ private
☐ public-local
☒ public-State
☐ public-Federal

Category of Property (Check only one box)

- ☐ building(s)
☐ district
☐ site
☒ structure
☐ object

Number of Resources within Property (Do not include previously listed resources in count.)

Contributing

Noncontributing

	buildings
	sites
1	structures
	objects
1	0
	Total

Name of related multiple property listing

(Enter "N/A" if property is not part of a multiple property listing.)

Historic Bridges of Arkansas

Number of Contributing resources previously listed in the National Register

N/A

6. Function or Use

Historic Functions

(Enter categories from instructions)

TRANSPORTATION: Road-related (vehicular)

Current Functions

(Enter categories from instructions)

TRANSPORTATION: Road-related (vehicular)

7. Description

Architectural Classification

(Enter categories from instructions)

OTHER: Continuous truss, Warren truss with verticals,
through truss bridge

Materials

(Enter categories from instructions)

foundation Concrete, Stone

walls Steel

roof N/A

other N/A

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

SEE CONTINUATION SHEETS.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 1

SUMMARY

The Memphis and Arkansas Bridge is located at the crossing of the Mississippi River, on U.S. Interstate 55 as you enter the towns of West Memphis, Arkansas, and Memphis, Tennessee. Comprised of five spans measuring up to 790 feet each, this steel, through truss, Warren truss with verticals spans a total of 5,222 feet. The Memphis and Arkansas Bridge crosses the Mississippi River and is being nominated to the National Register of Historic Places with **local significance** under **Criterion C** for its distinctive type and method of construction and as the only bridge spanning the Mississippi River that was designed exclusively for vehicular travel before 1950.

ELABORATION

After World War II most bridge designers increasingly turned to concrete or steel deck girder bridges; however, the firm of Modjeski and Masters chose to use a Warren through truss design for the Memphis and Arkansas Bridge, a popular bridge type in the mid nineteenth and early twentieth century. The steel, through truss, Warren truss bridge is accessed from both the southeast and northwest by U.S. Interstate 55. The bridge spans from West Crump Boulevard (Highway 65) in Memphis, Tennessee, to the embankment of the St. Francis Levee on the Arkansas side.

The Memphis and Arkansas Bridge commences from the high bluff on the Tennessee bank and after crossing the Mississippi River at required clearances it descends on an easy grade to the Arkansas overflow land where it joins Highway 70. Existing conditions such as the width of the overflow on the Arkansas side and locations and height of the existing railroad bridge piers determined the length, underclearance, and pier locations of the bridge. The main bridge piers were lined up with those of the existing railroad bridges, and underclearances of equal or greater height were provided under the spans. The west abutment of the bridge was set back the same distance from the river as the abutments in the present bridges, spanning the Mississippi River at Memphis, in order to provide a total overflow opening on the Arkansas approach equal to that in the existing bridges

Because the Memphis and Arkansas Bridge is a through truss, it carries its traffic load level with the bottom chords and traffic actually passes through the framework of the bridge. It consists of a four lane through truss main bridge of multiple cantilever type over the present low water river channel, with two additional through truss simple spans on the Arkansas bank. There are 27 approach spans that lead up to this steel bridge, with Warren trusses and vertical supports. The section of the bridge being supported by the Warren truss consists of 5 spans, each measuring approximately 790 feet at the maximum span length; this in conjunction with the 27 approach spans give the bridge a total structural length of 5,222 feet.

The travel surface is 52 feet wide with an overall deck width of 65 feet. Sidewalks that are five feet wide are cantilevered on brackets outside of the trusses to provide access for pedestrians. To reduce dead load, as much as possible, the roadway is designed of concrete filled grid flooring throughout except in the Memphis Anchor Arm where 7 1/2" concrete slab is used to provide additional anchorage weight. The bridge supports are constructed of cut stone and concrete and the Warren trusses with verticals run the entire length of the bridge on the northwest and southeast sides. The Warren truss with verticals is designed to allow the diagonals to carry both compressive and tensile forces, with the verticals serving as bracing for the triangular web system.

Memphis and Arkansas Bridge

Name of Property

Crittenden Co, Arkansas & Shelby Co. Tennessee

County and State

United States Department of the Interior

National Park Service

National Register of Historic Places

Continuation Sheet

Section number 7 Page 2

Integrity

No structural alterations have been made to the bridge to alter its integrity. Its location and setting remains pristine and it exemplifies its original historic design and materials. No changes have been made to alter the historic workmanship or detract from its feeling or association as it is still used as a bridge for vehicular travel.

8. Statement of Significance**Applicable National Register Criteria**

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☐ **A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ **B** Property is associated with the lives of persons significant in our past.
- ☒ **C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ **D** Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- ☐ **A** owned by a religious institution or used for religious purposes.
- ☐ **B** removed from its original location.
- ☐ **C** moved from its original location.
- ☐ **D** a cemetery.
- ☐ **E** a reconstructed building, object, or structure.
- ☐ **F** a commemorative property
- ☐ **G** less than 50 years of age or achieved significance within the past 50 years.

Levels of Significance (local, state, national)

LOCAL

Areas of Significance (Enter categories from instructions)

ENGINEERING

Period of Significance

1949-1950

Significant Dates

1949

Significant Person (Complete if Criterion B is marked)**Cultural Affiliation** (Complete if Criterion D is marked)

Architect/Builder: Modjeski and Masters – Contractors;
Merritt-Chapman and Scott Corp., Harris Structural Steel Co.,
Virginia Bridge Company – Builders

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

SEE CONTINUATION SHEETS.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 8 Page 1

SUMMARY

Constructed in 1949, the Memphis and Arkansas Bridge over the Mississippi River is being nominated to the National Register of Historic Places with **local significance** under **Criterion C** because it embodies the distinctive characteristics of a continuous truss, Warren truss with verticals, through truss bridge and is the best example of this design, used exclusively for a vehicular travel, spanning the Mississippi River at Memphis. This bridge is significant in the area of engineering and is being submitted under the multiple property listing "Historic Bridges of Arkansas" and under the associated historic context "Post WWII Era".

ELABORATION

The planning and construction of the Memphis and Arkansas Bridge, between 1945 and 1949, reflected the boom in automobile travel in the immediate postwar era and the interest from city and regional planners for better transportation links across the Mississippi River. The first bridge to span the Mississippi River at Memphis was the Frisco Bridge, designed by George Morison it was constructed in the late 1880s and early 1890s. The Frisco Bridge was built for the Kansas City, Ft. Scott and Memphis System and its construction was an engineering feat of great professional interest among engineers world wide. Although the concept of the bridge was motivated by the railroad, Congress granted the charter for the construction of the bridge and required that the bridge be designed to allow the passage of railway trains, wagons, vehicles, pedestrians, and the passage of animals. The design of the bridge allowed it to carry interstate traffic on a roadway constructed on the same floor with and between the railway tracks.

In 1916 the Harahan Bridge, a combination vehicular and railroad bridge, was designed by engineers Ralph Modjeski and K. G. Williams. This bridge was adequate for automobile travel in the Memphis area throughout the 1920s and 1930s, but highway planners realized that a wider bridge capable of handling more automobiles—the bridge was 51 feet wide – was essential for future traffic and urban growth in Memphis. There was interest in constructing a new Mississippi River bridge in the late New Deal years, but the involvement of the United States in World War II, and the subsequent control placed on building materials, meant that planning and building the bridge was delayed until the war was over.

Interestingly, the consulting engineers for the Memphis and Arkansas Bridge, Modjeski and Masters, was a successor firm to the earlier significant work of Ralph Modjeski, whom scholars such as David Plowden recognize as one of the pre-eminent bridge designers of the early twentieth century. Modjeski had been involved in the design of the adjacent Frisco railroad bridge in 1894 and the Harahan bridge in 1916. Modjeski later entered into a partnership with Frank Masters in 1923. Modjeski died in 1940, but the firm name lived on as Modjeski and Masters.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 8 Page 2

The construction of the Memphis and Arkansas Bridge was part of a larger urban development/renewal plan in Memphis in the late 1940s. The bridge spanned from the embankment of the St. Francis Levee on the Arkansas side to West Crump Boulevard (Interstate 65) in Memphis, Tennessee. At the same time that the new bridge for U.S. Highway 70 was under construction, a new bypass route for the highway around the downtown area and the historic African-American neighborhoods of South Memphis was being constructed. This four-lane highway was named E. H. Crump Boulevard, in honor of the Memphis political boss Edward Hull Crump. The bypass, like the bridge, was to divert interstate traffic away from the increasingly congested downtown. Along with attracting various types of commercial development in Memphis, the new bridge and highway soon attracted investors wishing to build Memphis' first "motor hotel." As the roadside architecture historian Keith Sculle has observed:

In 1950 Memphis was the junction of five major federal highways: the east-west routes of U. S. Highways 64, 70, 78, and 79 and the north-south route of U. S. Highway 51. Just as important, it possessed the only highway bridge [the Memphis and Arkansas] crossing the Mississippi River for some 170 miles. Motorists were using this highway network at far greater rates than ever before; it is of little surprise, therefore, that businesspeople of various levels of aspiration and financial capacity began to look at Memphis as a travelers' hub in the twentieth century's consumer culture. (Sculle, 304)

In 1953 Lemuel L. and Milton L. Stroud, along with investors Royal C. Miller and Clint W. Murchison, Sr., established the Town Park Motor Hotel, complete with a Sherry's Restaurant, at the junction of Pennsylvania Avenue and Crump Boulevard, the first highway juncture for east-bound travelers over Memphis and Arkansas Bridge into Memphis. Developed as a high-end motor hotel for traveling businessmen as well as tourists, it was the first major tourist-related business along the new highway. Its early success led to other tourism-related businesses on the east side of the bridge, and within a decade, the Crump Boulevard bypass had developed into a busy commercial artery for Memphis commerce.

Memphis and Arkansas Bridge

The initiative to build the Memphis and Arkansas Bridge was spearheaded by the Memphis and Arkansas Bridge Commission formed in 1939 by prominent Tennesseans and Arkansans. In May of 1944 the Arkansas State Highway Commission and the Department of Highway and Public Works of Tennessee, with the approval of the Bureau of Public Roads, hired the firm of Modjeski and Masters for the "checking of contractors' details" and the supervision of construction. Although post-war bridge designers increasingly turned to concrete or steel deck girder bridges, the firm Modjeski and Masters chose to use a Warren through truss design. According to Allan Comp, Senior Historian, and Donald Jackson, Civil Engineer (HAER), the Warren truss design dates back to the 1840s. During the late part of the nineteenth century different styles of trusses were developed but it was the Pratt and the Warren designs that gradually demonstrated their versatility, durability, and economic desirability. Because of the success of both bridge designs, nearly all bridge trusses in the mid nineteenth century through the early twentieth century were constructed using variations of these forms.

Between 1945 and 1948 bids were advertised for construction of the bridge. Due to the unattainability of necessary construction materials, as a direct result of World War II, many of the bids had to be re-advertised several times because of the high cost estimates submitted by contractors. In the end Contract No. 1 and Contract No. 2 were

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 8 Page 3

awarded to the Merritt-Chapman and Scott Corporation of New York City; Contract No. 3 was awarded to the Harris Structural Steel Company of New York; and Contract No. 4 was awarded to the Virginia Bridge Company of Roanoke, Virginia. Actual construction work in the field began on 24 August 1945 and the bridge was opened for vehicular traffic on 17 December 1949. During the construction of the bridge, the decision was made to use 57 mercury vapor lights with 16,000 lumens intensity for the bridge roadway and that contract was awarded to the Townsend Electric Company of Jackson, Tennessee. Ten years after the formation of the Bridge Commission and approximately eight years after the start of active engineering work the Memphis and Arkansas Bridge, spanning the Mississippi River, was completed. The entire project was financed as an interstate Federal-aid project.

Conclusion/Significance

The construction of the Memphis and Arkansas Bridge resulted from the need to provide a more efficient transportation route across the Mississippi River. This bridge is being nominated to the National Register of Historic Places with **local significance** under **Criterion C** because it is the best example of a continuous truss, Warren truss with verticals, through truss, bridge designed exclusively for vehicular traffic in this area. This bridge is significant in the area of engineering and is being submitted under the **multiple property listing** "**Historic Bridges of Arkansas**" and under the associated **historic context** "**Post WWII Era.**"

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Arkansas State Highway and Transportation Department (Environmental Division). *Arkansas Historic Bridge Review and Evaluation: Volume I (December 1987) and Volume II (April 1996)*. Little Rock, AR: no publisher.

Arkansas Highway Department. "OASIS INQUIRY – Bridge 2271." (database). 2000.

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Carver, Martha. *Draft Survey Report for Historic Highway Bridges. Parts I and II*. Nashville: Tennessee Department of Transportation, 1992.

Comp, Allan, and Donald Jackson. "Technical Leaflet 95: Bridge Truss Types: A Guide to Dating and Identifying." American Association for State and Local History, 1977.

Johnson, Eugene J. and Robert D. Russell, Jr. Memphis: An Architectural Guide. Knoxville: University of Tennessee Press, 1990.

Modjeski & Masters. "*Memphis and Arkansas Highway Bridge Over the Mississippi River: Final Report to Arkansas State Highway Commission and Department of Highways and Public Works State of Tennessee.*" 1950.

Plowden, David. *Bridges*. New York: Viking Press, 1974.

Sculle, Keith A. "'A Completely New Mode of Living:' the Origins of the Town Park Motor Hotel in Memphis." *Tennessee Historical Quarterly* 58 (Winter 1999): 302-315.

Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 67) has been requested
- ☐ previously listed in the National Register
- ☐ Previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey # _____
- ☐ recorded by Historic American Engineering Record # _____

Primary location of additional data:

- ☒ State Historic Preservation Office
- ☐ Other State Agency
- ☐ Federal Agency
- ☐ Local Government
- ☐ University
- ☐ Other

Name of repository:

Arkansas Highway Department; Tennessee Department of
Transportation

10. Geographical DataAcreage of Property Approximately 26 Acres**UTM References**

(Place additional UTM references on a continuation sheet.)

A	<u>15</u>	<u>766730</u>	<u>3890690</u>
	Zone	Easting	Northing
B	<u>15</u>	<u>766690</u>	<u>3890640</u>

C	<u>15</u>	<u>765470</u>	<u>3891670</u>
	Zone	Easting	Northing
D	<u>15</u>	<u>765480</u>	<u>3891710</u>

☐ See continuation sheet**Verbal Boundary Description**

(Describe the boundaries of the property on a continuation sheet.)

Beginning at the east corner of the southeast end of the bridge the boundary proceeds south approximately 65 feet, crossing Interstate 55, to the south corner of the bridge. The boundary then turns west and proceeds along the southwest side of the bridge for 5,222 feet (crossing the Mississippi River) at which point the boundary turns north at the western corner of the bridge. The boundary then extends approximately 65 feet to the north corner of the northwest end of the bridge. Next the boundary turns and follows the northeastern side of the bridge for approximately 5,222 feet, heading in a southeasterly direction to its point of origin at the east corner of the southeast end of the bridge.

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

This boundary has been established to isolate the bridge, abutments, and piers, all of which are historically associated with this resource and maintain their integrity.

11. Form Prepared Byname/title Kara Mills, National Register/Survey Coordinatororganization Arkansas Historic Preservation Program

date _____

street & number 1500 Tower Building, 323 Center Streettelephone (501) 324-9880city or town Little Rockstate ARzip code 72201**Additional Documentation**

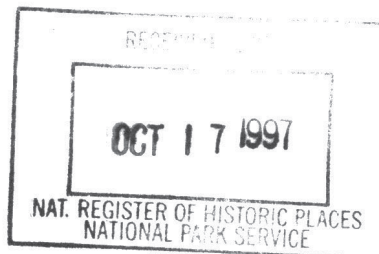
Submit the following items with the completed form:

Continuation Sheets**Maps**A **USGS map** (7.5 or 15 minute series) indicating the property's locationA **Sketch map** for historic districts and properties having large acreage or numerous resources.**Photographs**Representative **black and white photographs** of the property.**Additional items**

(Check with the SHPO or FPO for any additional items.)

United States Department of the Interior
National Park Service

National Register of Historic Places
Registration Form



This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Chickasaw Heritage Park (preferred)
other names/site number Fort Pickering; Jackson Mound Park; DeSoto Park; 40SY5

2. Location

street & number corner of Riverside Blvd. & Ornamental Metal Museum Dr. NA ☐ not for publication
city or town Memphis NA ☐ vicinity
state Tennessee code TN county Shelby code 157 zip code 38104

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this ☒ nomination ☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set for in 36 CFR Part 60. In my opinion, the property ☒ meets ☐ does not meet the National Register criteria. I recommend that this property be considered significant ☐ nationally ☐ statewide ☒ locally. (See continuation sheet for additional comments.)

Herbert L. Gayle
Signature of certifying official/Title

10/8/97
Date

Deputy State Historic Preservation Officer, Tennessee Historical Commission
State or Federal agency and bureau

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. (☐ See Continuation sheet for additional comments.)

Signature of certifying official/Title

Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:

- ☒ entered in the National Register.
☐ See continuation sheet
☐ determined eligible for the National Register.
☐ See continuation sheet
☐ determined not eligible for the National Register
☐ removed from the National Register
☐ other, (explain:) _____

for Signature of the Keeper

Date of Action

Barbara L. Zath

11/25/97

Chickasaw Heritage Park
Name of Property

Shelby County, Tennessee
County and State

5. Classification

Ownership of Property
(Check as many boxes as apply)

- ☐ private
☒ public-local
☐ public-State
☐ public-Federal

Category of Property
(Check only one box)

- ☐ building(s)
☐ district
☒ site
☐ structure
☐ object

Number of Resources within Property
(Do not include previously listed resources in count)

Contributing	Noncontributing	
	2	buildings
1		sites
	1	structures
		objects
1		Total

Name of related multiple property listing

(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of Contributing resources previously listed in the National Register

0

6. Function or Use

Historic Functions

(Enter categories from instructions)

DOMESTIC: village site

RELIGION: religious facility

Current Functions

(Enter categories from instructions)

LANDSCAPE: park

7. Description

Architectural Classification

(Enter categories from instructions)

NA

Materials

(Enter categories from instructions)

foundation NA

walls NA

roof NA

other NA

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

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National Register of Historic Places Continuation Sheet

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Chickasaw Heritage Park
Shelby County, Tennessee

NARRATIVE DESCRIPTION

Summary

The area currently known as Chickasaw Heritage Park in Memphis, TN., was part of a large prehistoric (Mississippian) Native American village which included seven mounds. The village contained pole – construction buildings and earthen platform mounds that served as raised platforms for special political or religious buildings. The park presently contains two of these structure mounds and the remains of the village site.

Since its prehistoric occupation, however, Chickasaw Heritage Park has been the site of several historical activities. The mound area was part of the town of Fort Pickering which included the westernmost mound (Mound A) as Monument Square, or public land. Later, during the construction of a Civil War fort also named Fort Pickering, two of the mounds (Mounds A and B) were used as gun batteries. In 1887 the area became an amusement park known as Jackson Mound Park. A bandstand and dance pavilion were built on top of the largest mound (Mound A) with a bowling alley, shooting gallery, and restaurant installed on the surrounding grounds. The City of Memphis purchased the park in 1912 changing the name to DeSoto Park. Most recently, the park was renamed Chickasaw Heritage Park and presently contains a basketball court, swings, public rest rooms and other park features.

Detailed Description

Prehistoric Occupation

The site is situated on one (the fourth Chickasaw) of a series of high bluffs overlooking the Mississippi River. These bluffs are the result of numerous Pleistocene loess deposits, the portion of which has been identified as the Peorian loess sheet and corresponds to the terminal period of the last glaciation [Nash, 1972:1]. This area is situated well above the flood plain and consequently contains no accumulated alluvial deposits. Loess, a silty type of soil, erodes easily, forming extensive gullies and ravines perpendicular to the river.

Although prehistoric use of the site probably began in the Archaic period, substantial use of the site, based on the presence of distinctive grog tempered ceramic sherds of the Baytown Plain type, occurred during the Late Woodland Period (AD 400 – 700). The presence of the mounds, as well as Bell Plain type ceramic sherds, indicates a prehistoric expansion of the site in the Mississippian Period. Based on an 1843 map of the area (Figure 1), the site contained at least seven mounds and associated village area.

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Chickasaw Heritage Park
Shelby County, Tennessee

Presently, two substructure mounds (Mounds A and B) are extant on the site. Exposed surface areas exhibit a mixed assemblage of artifactual debris including lithic debitage, ceramic sherds, and historic period artifacts. No known burial mounds exist on the site, but the prehistoric people, who preceded historically known tribes in the area (Chickasaw and Choctaw), had the custom of burying their dead in and around their village area. Consequently, there may be isolated human burials in the park area.

Previous Archaeological Investigations

Several private collections include artifacts which were purportedly taken from the site area by early collectors. The Bartholomew Collection contains a number of vessels including a hooded water bottle, a Rhodes Incised jar, a Walls Engraved jar, and an animal effigy (cat-serpent) Walls Engraved bowl. Family accounts indicate that these vessels were found by Robert Bartholomew who moved to Memphis in the late 1800s or early 1900s. Working as a grading contractor on a bluff overlooking the Mississippi River at Memphis, Mr. Bartholomew unearthed these vessels from an Indian burial mound located on the bluff [Robert Mainfort, personal communication, 1995]. Another collection contains a Barton var. Kent jar (Mississippi paste), which came from a mound in Chickasaw Heritage Park [Dye, personal communication, 1995]. Two surface collections made by amateurs at the site and later donated to the museum at Chucalissa include a celt, a discoidal (chunkey stone), a nutting stone, and numerous ceramic sherds (predominately Baytown Plain). Recently, two small triangular projectile points (Madison), diagnostic of the Mississippian period, were recovered from the surface of Mound A [Johnson, personal communication, 1995].

Approximately thirty burials, including the remains of a Federal soldier, were uncovered during the 1937 construction of a park roadway. A Memphis newspaper account from July 15th of that year stated that the Indians had been encased in earthenware coffins which were probably broken by WPA picks. This account may actually describe broken ceramic funerary vessels placed with the burials. Various lithic artifacts were also uncovered during road construction. Records do not indicate the disposition of the skeletal material or the cultural artifacts

In 1981, a University of Memphis (formerly Memphis State University) anthropology student excavated a 70 x 100 x 70 centimeter test pit along an existing drainage ditch between the two mounds [Weaver and Bowman, 1982]. The soil stratigraphy was detailed, but in light of recently discovered documentary evidence of the amount of park disturbance, the stratigraphic evidence is inconclusive. Weaver and Bowman [1982: 3] concluded that the site dates from the Late Mississippian Walls Phase (AD 1450 –1550). Other researchers think that the site may be better placed in the earlier Middle Mississippian time period since large multiple mound complexes are not known for the Walls Phase [Dye, personal communication, 1995].

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National Park Service

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Chickasaw Heritage Park
Shelby County, Tennessee

The Department of Anthropology of The University of Memphis attempted an archaeological testing program of the site in June 1988, but protest by Native American activists, on grounds of violation of their religious beliefs on the sanctity of prehistoric Indian sites, led to cancellation of the project. The Tennessee Division of Archaeology staff mapped and photographed portions of the site on September 13, 1988. Plans to test the site were abandoned "because of escalating protests from Native American and community and religious leaders ..." [Beifuss, 1988: B1]

In 1993, Fred Prouty, Military Sites Preservation Specialist for the Tennessee Historical Commission, investigated the supposed powder magazine located within Mound A. The bricked - over entrance to the underground feature is located on the north side of the mound and had been presumed to open into a redoubt and/or powder magazine constructed during the Civil War at Fort Pickering. Prouty found that, unlike powder magazines representative of this historical period, the tunnel leading to the main room did not take a characteristic 90 degree turn, but instead angled slightly. A small chamber on the east end of the main room contained a 6 to 8 inch iron pipe which may have led to a septic tank or drain (Figure 2). In addition, the earliest graffiti on the tunnel walls dated only to 1882. Prouty believes that the underground chamber represents part of the construction of the 1887 Jackson Mound Park dance pavilion [Prouty, personal communication, 1995].

Current and Past Disruptive Influences

Alterations to the site are numerous due to the long history of use. Subsequent to its last use as a Native American village, perhaps around AD 1500, the site was apparently incorporated into the original Fort Pickering, established as a frontier post on the bluff south of Memphis in 1798. Roper (1975) concludes that the account placing the fort's watchtower on the "summit" may have been referring to the largest mound on the site. The fort was abandoned sometime after 1808 as the American frontier moved westward [Roper, 1970]. The town of Fort Pickering, including a park area called Monument Square, was developed in 1840 by John C. McLemore and became an important landing site. An 1843 map made by the Navy Department shows the town of Fort Pickering and seven mounds (Figure 1). The notes on the map are as follows :

Plat of a part of the Town of Fort Pickering exhibiting also a portion of the lands belonging to John C. McLemore and John Trigg with the height of the bluff, the table bench, the depth of the soundings and etc.

Surveyed and platted for the use of the commissioners appointed to survey the Harbor of Memphis, with a view to its adaptation for a Naval Depot and Dock Yard.

Monument Square has been conveyed by Mr. McLemore to Martin Van Buren and others trust for the purpose of erecting therein a monument to General Andrew

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Chickasaw Heritage Park
Shelby County, Tennessee

Jackson.. Taken from actual survey of undersigned ... this 3rd day of May 1843.
[Signed] C. Baumgantner, Surveyor and Draftsman.

The next account of the site comes from I. Dille [1872: 361] in which he describes the main mound:

At Fort Pickering ... stands what the writer supposed to be an altar, which is one of the most conspicuous objects on the river. It is in the form of a parallelogram, which by stepping was found to be about two hundred twenty feet long by one hundred twenty feet wide and by estimation about twenty to twenty-five feet high with steep sides and a flat upper surface. In 1849 this mound was in a good state of preservation, and on digging into the material of which it was composed was found to be calcined clay, changed by burning into a brick color, the clay before being burnt having been mixed with the twigs of cypress, birch, and poplar, which is clearly shown by examining fragments of charcoal under a magnifying glass.

In the vicinity of this mound were several small circles of fifteen or twenty feet diameter, some of which were circular ridges, and others were low mounds, seldom exceeding one foot in height, and flat on top.

The above account apparently describes a burned structure in the mound (Mound A) complete with wall daub. The second account appears to describe small house mounds and semi - subterranean dwelling structures. Other nineteenth and early twentieth century reports of these relatively undisturbed prehistoric sites contain similar house site descriptions. A drawing of the principal mound (Mound A) made in 1858 by H. J. Lewis probably depicts the mound described in Dille's account (Figure 3). A penciled notation on the front of the drawing reads, " Mound in South Memphis Tenn – in Fort Pickering ." [Jeter, 1990:8].

An 1858 map (Rucker) of this part of Memphis delineates three mounds and shows Carroll Street running north-south between Mound A and Mound C. Armstrong Street bounds the site on the east. Van Buren and Coffee Streets which run east-west also transect the site. Mound B is shown at the southwest corner of Armstrong and Van Buren. Mounds D, E, F, and G are not depicted (Figure 4).

Civil War Fort Pickering

During the Civil War the mound complex was incorporated into the massive earthworks of the new Fort Pickering, following the occupation by Federal troops of Memphis on June 6, 1862. Numerous sources indicate that mound A was hollowed out and converted into a redoubt and/or powder magazine. The site is located at the southern end of the fort and at least two of the mounds

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Chickasaw Heritage Park
Shelby County, Tennessee

(Mound A and possibly Mound B) are depicted on the fort plans shown in the Official Records of the Union and Confederate Armies (Figure 5). The mounds were apparently utilized as gun emplacements. Mounds C, D, E, F, and G are not noted. Presently the southern ditch and rampart earthworks are the sole surviving features of the once extensive Fort Pickering fortification. Weaver's investigations suggest that the previously mentioned prehistoric house mounds may have been incorporated into these Civil War features. If so, the ramparts may have served to protect some of the archaeological deposits on the site [Weaver and Bowman, 1982].

In 1884 a U. S. Marine Hospital was constructed by the U. S. Public Health Service on the northern boundary of the site effectively destroying mound F and associated village archaeological deposits.

Jackson Mound Park Construction

The park area was purchased by Daniel Lake in 1871, and later leased to the Jackson Mound Park Association for the development of an amusement park. Jackson Mound Park officially opened on July 4, 1887. An 1888 Sanborn Fire Insurance Map (Figure 6) documents the structures present at the park, including a dance pavilion and bandstand on Mound A, as well as a combination restaurant, bar and sleeping rooms. Other buildings shown are a shooting gallery, a bowling alley, and a horse shed. Outside of the park are the cattle pens and fertilizer works of the Union Stock Yard and Fertilizer Company.

The most detailed map of Jackson Mound Park development is a one inch equals fifty feet scale topographic (five foot contour interval) map prepared for the Memphis Park Commission on September 22, 1910 (Figure 7). This map shows Mound A with the dance pavilion and Mound B. Mound A top elevation is 195 feet AMSL and Mound B is noted at 191.8 feet AMSL. A deep erosional ravine is shown at the west end of Colorado Avenue (formerly Gaines Street in 1858). California Avenue (formerly Coffee Street) separates the hospital from the park. Mound B is shown at the corner of Armstrong and Jackson Mound Avenue (the western extension of Van Buren Street). Jersey Street (formerly Carroll) runs on the east side of Mound A. Several residences are shown on the west side of Delaware Avenue which also contains the tracks of the Memphis Street Railway. The area formerly occupied by Mound E is being used as the W. P. Stave Company. Mound D was located in an area now part of the large erosional ravine at the foot of Colorado Avenue.

The 1910 appearance of the park had been changed by the 1930s when Work Projects Administration labor was used to construct a roadway around the park boundary (the present Riverside Drive). Archaeological deposits from the village area and possibly Mound C were affected by this construction. As mentioned in the summary, some thirty burials were encountered at this time.

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Chickasaw Heritage Park
Shelby County, Tennessee

The most recent disturbance to the site occurred around 1966 when a public rest room, backstop, swings, and landscape planters were installed. A basketball court was added at a later date. Presently the site is crossed by a sewer line and overhead power lines on wooden poles. The ravines shown on the 1910 map have been filled and some grading has occurred south of Mound B (Figure 8). It is not known if archaeological remains were encountered during the most recent construction projects. The present park location is bounded by Ornamental Metal Museum Drive on the north, west, and south, and by Riverside Drive on the east.

There have been numerous disturbances to the archaeological integrity of the original prehistoric site by its incorporation into Fort Pickering and later into Jackson Mound/DeSoto Park. Only two of the original seven known mounds still exist.

The basketball court and two rest rooms are considered noncontributing resources. The mounds are considered part of one contributing site.

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☐ **A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ **B** Property is associated with the lives of persons significant in our past.
- ☐ **C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☒ **D** Property has yielded, or is likely to yield, information important in prehistory or history.

Areas of Significance

(Enter categories from instructions)

ARCHAEOLOGY: prehistoric

RELIGION

SETTLEMENT

Period of Significance

AD 400 - AD 700

AD 1000 - AD 1500

Significant Dates

NA

Significant Person

(complete if Criterion B is marked)

NA

Cultural Affiliation

Woodland; Mississippian

Architect/Builder

unknown

Criteria Considerations N/A

(Mark "x" in all boxes that apply.)

Property is:

- ☐ **A** owned by a religious institution or used for religious purposes.
- ☐ **B** removed from its original location.
- ☐ **C** moved from its original location.
- ☐ **D** a cemetery.
- ☐ **E** a reconstructed building, object, or structure.
- ☐ **F** a commemorative property
- ☐ **G** less than 50 year of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS): N/A

- ☐ preliminary determination of individual listing (36 CFR 67) has been requested
- ☐ previously listed in the National Register
- ☐ Previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey # _____
- ☐ recorded by Historic American Engineering Record # _____

Primary location of additional data:

- ☐ State Historic Preservation Office
- ☒ Other State Agency
- ☐ Federal Agency
- ☐ Local Government
- ☐ University
- ☐ Other

Name of repository:

Tennessee Division of Archaeology

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National Park Service

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Chickasaw Heritage Park
Shelby County, Tennessee

STATEMENT OF SIGNIFICANCE

Summary

Chickasaw Heritage Park is eligible for inclusion in the National Register under Criterion D because it is likely to yield information important to the understanding of the Woodland and Mississippian cultural periods in the Mississippi Alluvial Valley region of Tennessee, Mississippi, and Arkansas. In its original form, the site represented the largest multiple mound complex on the bluffs of the Mississippi River in this area. If the site was occupied during the Walls Phase, it may have been the major ceremonial center for that polity. Although the site has a long history of use, it has not been subjected to the types of disturbances typically associated with sites in the Mississippi Alluvial Valley, namely agricultural plowing or the construction of large commercial buildings.

Historic Context

The prehistoric components of the site relate to two historic contexts: the Woodland Cultural Period (Baytown Phase), and the Mississippian Cultural Period. Major construction and occupation occurred during the Mississippian period, but some scattered Woodland artifacts are present on the site.

The Woodland Cultural Period

The Baytown period is synonymous with the Late Woodland in the Central Mississippi Valley. Sites with this component are relatively plentiful in the physiographic region [Smith and Weinstein, 1987]. Unlike the florescence of the Middle Woodland (Marksville period) these sites lack exotic artifacts and earthworks. "Pottery decoration ... was at a remarkably low ebb " [Phillips, 1970:901] Two distinct ceramic technologies are evident. Sites located along braided streams exhibit the sand – tempered Barrens tradition while sites on meander belts contain the grog – tempered Baytown tradition [Morse and Morse, 1983]. Baytown Plain and Mulberry Creek Cord Marked sherds are characteristic of meander belt sites [Phillips, 1970]. The Baytown period at this site is evidenced by the presence of grog-tempered Baytown Plain ceramic sherds [Weaver and Bowman, 1982].

Settlement patterns generally consist of small, dispersed villages. The presence of larger, often fortified sedentary villages, characteristic of the later Mississippian period, are absent. Evidence suggests seasonal movement possibly in response to changing environmental conditions. Morse and Morse [1983:182] note the similarity in dates with the Scandic climatic episodes (AD 320 to AD 740).

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Shelby County, Tennessee

The Mississippian Cultural Period

Throughout much of the Southeastern United States, the Mississippian period denotes a significant change in aboriginal cultural development from the earlier Woodland Period. The use of large earthen platform mounds as substructures for temples and elite residences, the practice of intensive horticulture, and the development of organized chiefdoms comprise significant achievements during the Mississippian period [Griffin, 1990]. This tradition began during the middle to latter part of the first millennium, emerging as a distinct lifestyle by AD 800 to AD 1000 [Hudson, 1976; Walthall, 1980]. A recent radiocarbon date from the Ames Plantation mound group (40FY7) in nearby Fayette County indicates the construction of Emergent Mississippian platform mounds and the use of shell tempered ceramics around AD 1000 [Mainfort, n.d.; cf. Jenkins, 1982]. Large multiple mound ceremonial centers, with surrounding fortified villages and farmsteads became apparent between AD 1000 and AD 1350. Populations throughout the Central Mississippi Valley increase in size and distribution. By the late 1300s to early 1500s the cultural florescence of the preceding centuries began to subside, marking the decline of the Mississippian period. Large areas of the Central Mississippi Valley were abandoned, while others became the focus of intense population nucleation [Morse and Morse, 1983].

Diagnostic Mississippian Features and Artifacts

A variety of features and artifacts are associated with sites which readily identify them as Mississippian. The truncated, pyramidal platform mound is one such feature. Used as substructures for temples and elite residences, these mounds have steep slopes with a ramp leading up one side to a flat top. Often these and other mounds were arranged to form a "plaza" or open courtyard which served as the staging arena for many ceremonial and social events of the community.

In general, the presence of shell tempered ceramics is one of the best diagnostic markers for Mississippian period sites. Assemblages from this time contain a wide variety of vessel forms including jars, bowls, bottles, pans, and plates. These vessels are usually separated into fine versus utilitarian wares based on a continuum of paste texture and surface luster. The fine nonutilitarian wares, classified as Bell Plain [Phillips, 1970], are characterized by a fine-textured paste with smooth to polished exterior surfaces. In contrast, utilitarian wares have coarser textured paste with larger temper particles. These coarse wares include Parkin Punctated, Barton Incised, and Mississippi Plain var. Neelys Ferry.

Jars are among the more common vessel forms recovered from Mississippian sites in the Central Mississippi Valley. These are generally characterized as globular, smooth surfaced, shouldered vessels with rounded bottoms and everted rims. Strap or lug handles are often present on or near the rim. The neck and shoulders may exhibit incised or punctate designs.

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Chickasaw Heritage Park
Shelby County, Tennessee

Bowls have round to flat bottoms with smooth exterior surfaces. One of the most common bowl types associated with the Central Mississippi Valley is the effigy bowl. These well-crafted vessels were made to resemble a number of shapes including humans, ducks, fish, dogs, turtles, owls, and frogs.

Bottles from Mississippian sites include effigy forms as well, although these are often of humans. Males and females alike are represented in these assemblages. Other bottle forms include: (1) round to flat bottomed, globular vessels with elongated necks, and (2) subglobular vessels with elongated necks and large, tetrapod legs for support.

With the exception of projectile point styles and exotic stone artifacts, chipped stone assemblages from Mississippi Alluvial Valley Mississippian sites are not much different from earlier occupations. One diagnostic projectile point for this time is the small, triangular Madison Point [Cambron and Hulse, 1975:84]. This thin point exhibits a straight base (sometimes slightly incurvate) and blade edges. The large chipped stone hoe used in agricultural activities is another diagnostic Mississippian artifact.

A variety of exotic, ground and polished stone artifacts were manufactured by Mississippian craftsmen. These include monolithic axes, spatulate celts, celts, bannerstones, ear spools, discoidals ("chunkey stones"), and pipes. Shell artifacts such as gorgets of non-local marine shell, beads, and spoons are common as well. The gorgets are often incised with motifs depicting important events and symbols.

The Walls Phase (AD 1450–1550) of the Late Mississippian Cultural Period is centered just south of Memphis in northern Mississippi (Figure 9) [Lumb and McNutt, 1988: 127]. Although Phillips [1970: Fig. 447] shows Wall's Phase sites on both sides of the Mississippi River, most of the sites are located on the eastern side. Morse and Morse [1983: 296] include Chucalissa (40SY1) in the Walls Phase and give radiocarbon dates of AD 1410, 1550, and 1560 for this site. Other Walls Phase sites include Cheatham, Irlly, Lake Cormorant, Norfolk, Walls, and Woodlyn [Smith, 1990]. Lumb and McNutt [1988: 137] note that the Chickasaw Heritage Park site may be the major ceremonial center for the Walls Phase.

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Chickasaw Heritage Park
Shelby County, Tennessee

Specific Site Significance

Prehistoric Component

Although the archaeological test data from the Chickasaw Heritage site is limited, there is evidence which indicates possible intact archaeological remains in the following categories:

1. Structural and stratigraphic information in Mound B and possibly protected premound surfaces beneath Mound B.
2. Structural and stratigraphic information in the southern one-fourth of Mound A and possibly protected premound surfaces beneath Mound A
3. Residential structures beneath remaining Fort Pickering earthworks; and
4. Aboriginal features.

Mound B and the southern one-fourth of mound A offer potential structural and stratigraphic data which could provide better insight into dates of site construction and use. As previously mentioned, debate exists regarding the timing of site construction. If the sites are contemporaneous, comparisons with Chucalissa (40SY1), located in a similar geographic situation approximately two miles south, may indicate prehistoric political affiliations. Protected premound surfaces may yield evidence of earlier occupations. In addition, data derived from mound fill could prove invaluable in establishing cultural sequences in the area. The initial cultural sequence in East Tennessee was based in large part on mound fill from Hiwassee Island Mound [Lewis and Kneberg, 1946].

Weaver's sketch of the remaining Fort Pickering earthworks (Figure 10) suggests that they may cover prehistoric house mounds and/or associated features such as hearths and pits. If so, this area could provide data on house structure, diet, and subsistence patterns. The site may also contain human remains of the Mississippian occupation period allowing greater information on questions related to status, diet, disease, stress, and warfare.

Additional Considerations

The information in this nomination assessed the property for its significance in prehistoric archaeology, as it relates to settlement and religion. There is historical information on additional uses of the site that are noted in this nomination. The site has not been assessed for integrity that relate to the later uses. If additional investigations determine that the site retains integrity, the considerations noted below may be important.

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Section number 8 Page 11

Chickasaw Heritage Park
Shelby County, Tennessee

A search of the literature indicates that some form of subterranean activity associated with Mound A was evident in 1858. Lewis 1858 drawing of the mound (Figure 3) suggests an opening on the northern face of the mound in a location similar to that of the present bricked entrance. A map of Fort Pickering (Figure 5), including inserts of gun emplacements on Mounds A and B, indicates a tunnel running from the northwestern side of Mound A to the southwestern side. Prouty (1993) observations suggest the use of this tunnel as part of the dance pavilion engineering design. Archaeological testing of Mound A may reveal the relationships, if any, of the above mentioned activities and the chronological sequencing of related structures.

Historical accounts of the region state that the French constructed a fort (Assumption) in 1739 on the bluffs overlooking the Mississippi River at Memphis in their campaign against the Chickasaw Indians. Although numerous historians estimate the location of the fort in the vicinity of Chickasaw Heritage Park [Roper, 1970; Robinson, 1951], no evidence of the fortification has ever been found. The park location offers the most strategic point along the river from both an offensive and defensive view. If Fort Assumption was indeed located on park acreage, archaeological evidence of its location may be present.

Civil War Component

Fort Pickering was an extensive fortification occupying most of the present day Memphis bluff line. A small earthwork line near Mound B may be the only remaining extant portion of the fort. Widescale and intense metal detecting in the park has probably removed a significant portion of metal artifactual evidence of Civil War activities. The earthworks may contain limited information on construction techniques, but from an archaeological viewpoint the site contains very limited research potential on the Civil War component. Archaeological excavation could discover remains of Civil War period soldiers as were found during roadway construction in 1937.

Park Construction Component

Chickasaw Heritage Park as an archaeological site also may yield information on the nature of late nineteenth century park construction as evidenced by the detailed 1910 map documenting the existence of such structures as a concession stand, shooting gallery, ticket office, and dance pavilion. Extensive relic collecting with metal detectors has compromised the archaeological potential of this aspect of the site, however, structural remains of some of the park's facilities should be intact. Prouty investigations of the room within Mound A indicate additional evidence which may relate to the engineering design of the dance pavilion.

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Chickasaw Heritage Park
Shelby County, Tennessee

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United States Department of the Interior
National Park Service

National Register of Historic Places

Continuation Sheet

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Chickasaw Heritage Park
Shelby County, Tennessee

-
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National Park Service

National Register of Historic Places

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Chickasaw Heritage Park
Shelby County, Tennessee

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Chickasaw Heritage Park
Name of Property

Shelby County, Tennessee
County and State

10. Geographical Data

Acreage of Property 17.22 acres 404 SE Southwest Memphis

UTM References

(place additional UTM references on a continuation sheet.)

1	15	766780	3890420	3	15	766430	3890280
	Zone	Easting	Northing		Zone	Easting	Northing
2	15	766780	3890280	4	15	766410	3890430

☐ See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

name/title Susan J. Haun, c/o Charles McNutt
organization Dept. of Anthropology date November 1995
street & number University of Memphis telephone 901/678-3331
city or town Memphis state TN zip code 38152

Additional Documentation

submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 Or 15 minute series) indicating the property's location

A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional items

(Check with the SHPO) or FPO for any additional items

Property Owner

(Complete this item at the request of SHPO or FPO.)

name City of Memphis, Department of Parks and Recreation, c/o Wayne Bower
street & number 2599 Avery Avenue telephone 901/454-5200
city or town Memphis state TN zip code 38112

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listing. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*)

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P. O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20303.

United States Department of the Interior
National Park Service

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Chickasaw Heritage Park
Shelby County, Tennessee

VERBAL BOUNDARY DESCRIPTION

Chickasaw Heritage Park is bounded on the west, south, and north by Ornamental Metal Museum Drive (formerly DeSoto Dr.), and by Riverside Drive on the east (excluding the residential area). A small northeastern segment is bounded by Illinois Ave. It contains the 17.22 acres associated with the park. See figure 8.

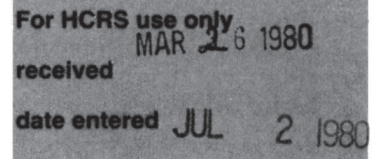
BOUNDARY JUSTIFICATION

Boundaries of the site were selected using the edge of the bluff overlooking the Mississippi River, the surrounding streets, and the residential area on the east side of the park. The site was originally much larger, but urban development has encroached on site boundaries effectively limiting the extent of archaeological research potential. The boundary includes all land under ownership of the City of Memphis that is part of the park.

**United States Department of the Interior
Heritage Conservation and Recreation Service**

**National Register of Historic Places
Inventory—Nomination Form**

See instructions in *How to Complete National Register Forms*
Type all entries—complete applicable sections



1. Name

historic U.S. Marine Hospital Executive Building and Laundry-Kitchen

and/or common

2. Location

street & number 360 and 374 W. California Avenue _____ not for publication

city, town Memphis _____ vicinity of _____ congressional district Eighth

state Tennessee code 047 county Shelby code 157

3. Classification

Category	Ownership	Status	Present Use	
____ district	<input checked="" type="checkbox"/> public	____ occupied	____ agriculture	____ museum
<input checked="" type="checkbox"/> building(s)	____ private	<input checked="" type="checkbox"/> unoccupied	____ commercial	____ park
____ structure	____ both	____ work in progress	____ educational	____ private residence
____ site	Public Acquisition	Accessible	____ entertainment	____ religious
____ object	____ in process	<input checked="" type="checkbox"/> yes: restricted	____ government	____ scientific
	____ being considered	____ yes: unrestricted	____ industrial	____ transportation
		____ no	____ military	<input checked="" type="checkbox"/> other: storage

4. Owner of Property

name See Continuation

street & number

city, town _____ vicinity of _____ state

5. Location of Legal Description

courthouse, registry of deeds, etc. Shelby County Registrar

street & number Shelby County Courthouse

city, town Memphis state Tennessee 38103

6. Representation in Existing Surveys

title Memphis Landmarks Commission Survey has this property been determined eligible? ☒ yes _____ no

date January, 1978 _____ federal _____ state _____ county ☒ local

depository for survey records Memphis Landmarks Commission

city, town Memphis state Tennessee

7. Description

Condition		Check one	Check one
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input type="checkbox"/> original site
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input checked="" type="checkbox"/> moved
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed		date 1937 (See Below)

Describe the present and original (if known) physical appearance

Built in 1883-1884 as part of the U.S. Marine Hospital complex, the Executive Building and Laundry-Kitchen are situated respectively in the northwest and northeast sectors of the original hospital site, which is located on an eighty-five foot bluff overlooking the Mississippi River south of downtown Memphis. The site is bounded by the base of the bluff on the west, W. Illinois Avenue on the north, Delaware Street on the east and W. California Avenue on the south. Across California Avenue is DeSoto Park.

During initial construction of the hospital facility, six buildings were erected. The Executive Building was centrally located along California Avenue; it was connected by covered porches to the Laundry-Kitchen to the east and two frame ward buildings to the north and south. Surgeon's quarters and a stable completed the complex. In 1934 the wards and stable were razed to make way for the construction of a new hospital building that housed additional bed space and new surgical facilities. In 1937 plans were made to construct an addition to the south end of the 1934 building. In preparation for that addition, the Executive Building was moved approximately one hundred feet northwest, while the Laundry-Kitchen was moved one hundred seven feet northeast. Both buildings remain at those locations, facing west. Three additional hospital buildings were constructed--two along the western end of California Avenue in 1937 and another east of the new hospital in 1939. The surgeon's quarters were demolished in 1964. Thus, the two nominated buildings are the only survivors of the 1884 hospital plant.

In 1970, five years after the hospital was closed, the property was divided. The federal government retained ownership of the three buildings on the eastern end of the site, including the Laundry-Kitchen, and leased them to the 330th Army Reserve. The City of Memphis purchased the western portion of the site; the three buildings in that section, including the Executive Building, were leased to the National Ornamental Metals Museum.

The Executive Building and the Laundry-Kitchen are examples of vernacular Italianate architecture as evidenced by the use of segmentally arched window and door openings, hip roofs, two-light sashes and a bracketed frieze (on the Laundry-Kitchen only). Except for the alteration of the porch on the Executive Building, the building's exterior features have not been altered.

Because of the varied uses of the Laundry-Kitchen (it was converted to nurses' quarters and later to attendants' quarters), it has undergone extensive interior alteration. The interior of the Executive Building has also been altered but does retain two original plain wood mantels. It originally housed a pharmacy, operating room, surgeon's office and stewards' quarters.

UNITED STATES DEPARTMENT OF THE INTERIOR
HERITAGE CONSERVATION AND RECREATION SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR HCRS USE ONLY
RECEIVED MAR 26 1980
DATE ENTERED JUL 2 1980

CONTINUATION SHEET

ITEM NUMBER 4

PAGE 2

<u>Property</u>	<u>Address</u>	<u>Owner</u>
Executive Building	374 W. California Avenue	City of Memphis Office of the Mayor City Hall 125 North Main Street Memphis, TN 38103
Laundry-Kitchen	360 W. California Avenue	330th Army Reserve Unit 360 W. California Avenue Memphis, TN 38103

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

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RECEIVED MAR 26 1980
DATE ENTERED JUL 2 1980

CONTINUATION SHEET

ITEM NUMBER 7 PAGE 2

Descriptions of Nominated Buildings:

1. Executive Building, 374 W. California Avenue (1884):

Constructed of red brick laid in stretcher bond and painted white, this two-story rectangular building has a five-bay facade, a plain entablature, a hip roof and two-over-two double hung sash windows set into segmentally arched openings with stone sills, double radiating voussoirs and carved wood tympanums. The three center bays of the main facade are covered by a frame enclosed porch featuring a pedimented gable with lunette, paired two-over-two rectangular double hung sash windows, a double leaf main door under a three-light transom and plain square pilasters at the corners and between the bays. This 1937 porch replaced the original two-tier wood porch with diamond-patterned railing.

2. Laundry-Kitchen, 360 W. California Avenue (1884):

This structure is a two-story rectangular building constructed of red brick laid in stretcher bond and painted white. It has a six-bay facade, two-over-two rectangular double hung sash windows with stone sills set into segmentally arched openings decorated with double radiating voussoirs and carved wood tympanums, and single leaf doors with single-light transoms set into openings of the same configuration as those described for the windows. Two bays deep, the building is surrounded by a one-story wood porch featuring chamfered posts with bracketed heads, diamond-patterned railing and a modillioned cornice under a sloped roof. The building's metal hip roof has a projecting cornice over a wooden frieze decorated with brackets and carved panels.

8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400–1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500–1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600–1699	<input type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input checked="" type="checkbox"/> social/
<input type="checkbox"/> 1700–1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input checked="" type="checkbox"/> 1800–1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input type="checkbox"/> 1900–	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

Specific dates 1883–1884

Builder/Architect John Reid, Builder

Statement of Significance (in one paragraph)

The Executive Building and the Laundry-Kitchen Building are significant in the history of medical care in Memphis since they are the only buildings which survive from Memphis' first federally-funded public health facility, the U.S. Marine Hospital. Until the construction of the Veteran's Administration after World War I, it was the only government hospital in the area.

The origins of the U.S. Marine Hospital date back to July 16, 1798, when President John Adams signed an act creating the Marine Hospital Service, an act designed to administer aid to sick and disabled seamen. The act also initiated the practice of payroll deductions to help finance medical care. The Marine Hospital Service was the forerunner of the U.S. Public Health Service.

After the destruction by spring flood waters of a marine hospital in Napoleon, Arkansas, in 1868, the Marine Hospital Service decided to replace that facility with one in Memphis. In 1881 a site on an 85-foot bluff in what was then known as the Fort Pickering addition to Memphis was chosen for the dryness of the location, ventilation and the remote chance of crowding. That same year \$30,000 was appropriated by Congress for the hospital's construction. Work on the complex began in 1883 and was completed in 1884. The original plant consisted of six buildings--the surgeon's house, a stable, two wards, an executive building and a laundry-kitchen. A need for additional bed space and improved facilities necessitated new construction in the 1930s. Consequently, the wards and stables were demolished. In 1937, the laundry-kitchen and the executive building were moved from their original sites along California Avenue north to their present locations, east and west respectively of the rear wing of the new hospital building. Construction continued from 1937–1939, resulting in a total of four new buildings. After the demolition of the surgeon's quarters in 1964, the Executive Building and Laundry-Kitchen were the only two original structures left on the site.

In 1951 the name of the hospital was changed to the U.S. Public Service Hospital. Financial problems resulted in the closing of the facility on June 30, 1965.

The two nominated buildings illustrate a vernacular interpretation of the Italianate style. Of brick construction, both buildings feature segmentally arched window and door openings capped by voussoirs over carved wood tympanums. The laundry-kitchen remains virtually unchanged and features a one-story porch and a bracketed and panelled frieze. The Executive Building was altered in 1937 by the addition of a two-story enclosed porch that conforms stylistically to the Georgian Revival design of the newer buildings.

Although ownership of the original grounds is now divided between the city and the federal government, the acreage and topography of the property is virtually unchanged. A tree-covered lawn links the individual structures. The proximity of DeSoto Park to the south and a wooded area to the north have served as a buffer to residential and commercial development in the area, thus preserving the seclusion of the grounds.

9. Major Bibliographical References

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Coppock, Paul. "Marine Hospital Pioneered Prepaid Plan". Memphis Commercial Appeal. January 14, 1973 and on November 12, 1933.

10. Geographical Data

ACREAGE NOT VERIFIED

UTM NOT VERIFIED

Acreage of nominated property .1

Quadrangle name Southwest Memphis, Tenn-Ark

Quadrangle scale 1:24000

UMT References

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Zone Easting Northing

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Zone Easting Northing

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Verbal boundary description and justification

The nominated properties are shown on the attached sketch map entitled "U.S. Marine Hospital" and drawn at a scale of 50 feet to the inch. The boundaries are drawn to include only the area occupied by the two structures. *Correction: see phone slip 7/1/80 - K.O'Connell*

List all states and counties for properties overlapping state or county boundaries

state	code	county	code
-------	------	--------	------

state	code	county	code
-------	------	--------	------

11. Form Prepared By

name/title Kay Benton, Preservation Planner

organization Memphis Landmarks Commission

date February, 1980

street & number 22 North Front Street

telephone 901-528-2834

city or town Memphis

state Tennessee 38103

12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

☐ national ☐ state ☒ local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the Heritage Conservation and Recreation Service.

State Historic Preservation Officer signature

Herbert L. Harper

Herbert L. Harper

title Executive Director, Tennessee Historical Commission

date 3/19/80

For HCRS use only

I hereby certify that this property is included in the National Register

for W. Ray Luce

Keeper of the National Register

date 7/2/80

Attest:

Kristin O'Connell

date 7/1/80

Chief of Registration

UNITED STATES DEPARTMENT OF THE INTERIOR
HERITAGE CONSERVATION AND RECREATION SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

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RECEIVED MAR 3-6 1980
DATE ENTERED JUL 2 1980

CONTINUATION SHEET

ITEM NUMBER 8 PAGE 2

Although in need of repairs, the nominated buildings are structurally sound and in good condition. Both are presently used for storage. Administrators of both the National Ornamental Metals Museum and the Army Reserve have stated a desire to rehabilitate their individual buildings as soon as funds become available.

The boundaries of this nomination conform only to that area occupied by each building.

FHR-8-300A
(11/78)

UNITED STATES DEPARTMENT OF THE INTERIOR
HERITAGE CONSERVATION AND RECREATION SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR HCRS USE ONLY

RECEIVED MAR 26 1980

DATE ENTERED JUL 2 1980

CONTINUATION SHEET

ITEM NUMBER 9 PAGE 2

Memphis Commercial Appeal

June 5, 1936
July 4, 1951
May 27, 1953
November 12, 1964

Memphis Press Scimitar

November 6, 1937



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE

NPS Project Number

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name U.S. Marine Hospital

Street 360 Metal Museum Drive

City Memphis County Shelby State TN Zip 38103

Name of Historic District _____

☐ National Register district ☐ certified state or local district ☐ potential district

2. Nature of request (check only one box)

- ☐ certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
☐ certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
☐ certification that the building does not contribute to the significance of the above-named district.
☒ preliminary determination for individual listing in the National Register.
☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.
☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project Contact (if different from applicant)

Name Greg Morrison Company LRK, Inc.

Street 175 Toyota Plaza, Suite 500 City Memphis State TN

Zip 38103 Telephone (901) 521-1449 Email Address gmorrison@lrk.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) ☐ if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Lauren Crews Signature _____ Date _____

Applicant Entity Desoto Point Partners SSN _____ or TIN _____

Street _____ City Memphis State TN

Zip _____ Telephone (901) 309-1118 Email Address laurencrews@bellsouth.net

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- ☐ contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
☐ does not contribute to the significance of the above-named district.

Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
☐ appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
☐ does not appear to qualify as a certified historic structure.

Date _____

National Park Service Authorized Signature _____

☐ NPS comments attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 1 – EVALUATION OF SIGNIFICANCE

Property name	U.S. Marine Hospital			NPS Project Number	
Property address	360 Metal Museum Drive	Memphis	Shelby	TN	38103

5. Description of physical appearance

1. U.S. Marine Hospital Building (1934, 1937)

Constructed in two phases between 1934 and 1937, the y-shaped hospital building faces Metal Museum Drive. Its massing and orientation define it as the primary building of the historic Marine Hospital site. A partial daylight basement and attic adjoin its three full stories. This concrete and masonry structure is clad in red brick laid in a Flemish bond and topped with a slate-covered hipped roof. A highly ordered example of the Colonial Revival style, the primary façade (south) consists of a five-bay central block with full-height hyphens connecting it to angled wings at the east and west ends. The central block features a three-bay portico and copper-domed cupola. Limestone accents are utilized in the columns, portico, cornice, and water table. Recessed loggias with decorative iron railings provide relief to the central portions of the east and west wings. Historic photographs show the same railing design repeated along the ends of the east and west wing; these railings were removed at some point in the building's history.

A single-story passage cuts through the ground floor at the connection to the northern (1934) wing of the building. A simple rhythm of multi-pane hung windows provides the primary architectural definition along this section of the building. Detailed brick work including quoining at protruding corners and jack arches at windows along with segmental-arched dormers and copper gutters complement its Colonial Revival design. Along the north boundary of the site, facing W. Illinois Ave, the building takes on a more utilitarian, somewhat industrial appearance, evidencing the placement of the building's interior support spaces.

On the interior, the building is arranged around a main lobby located at the center of the 1937 addition, with corridors extending to the north, east, and west. The ground floor lobby is arranged as an elongated octagon and features ornamental plasterwork and molding in the Colonial Revival style. While they are similar in size, the upper floor lobbies are simpler in their form and detailing. The spaces accessed from the corridors vary in size, with larger rooms typically concentrated at the ends of each wing. At least one interior renovation occurred in the 1960s, obscuring some of the original finishes. In the years since the hospital's closing, much of the interior has become deteriorated due to exposure to the elements and vandalism.

2. Nurses Quarters/Laundry-Kitchen(1884, 1936, 1939)

A simple rectangular mass, this six-bay wide, two-bay deep building stands two stories tall over a partial-daylight basement. A wrap-around porch with a hipped roof, bracketed cornice, and ornamental wood railing surround the building. Constructed in 1884 as part of the original hospital complex, this NR listed building was moved to its present location in 1936 to allow for construction of the new hospital. Reflecting its initial date of construction and original Italianate detailing, it features two-over-two double-hung windows set in segmentally-arched openings. Three doors along the west elevation provide access to the porch, with transoms located above each door. Period photographs show that this building's brick exterior was historically painted a light color. In 1939 it was stripped of its paint to better compliment the main building and newly constructed laundry. At the same time, an ornamental second-story balustrade was removed from the porch roof. Historic newspaper articles also document the occurrence of some interior renovations during this campaign, although the exact scope of this work is unknown. Over time, the building has been re-painted. Portions of the porch are deteriorated, although the majority remains intact.

A winding stair with Italianate detailing serves as the main circulation element in this building. Located in an enclosed hall, the stair is located to the north of the building's centerline. Doors from this hall lead to suites of rooms with little dedicated interior circulation. The first-floor porch provides additional access to some of the interior spaces. During one of the building's twentieth-century renovations, the stairs connecting the first floor and basement was removed, making the exterior areaway the only access point for this level.

3. Steam Laundry(1939)

Viewed from its primary (south) elevation, the Steam Laundry Building appears to be primarily a single-story building, with a double-height volume and smoke stack located to its rear. Along its

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 1 – EVALUATION OF SIGNIFICANCE

Property name U.S. Marine Hospital NPS Project Number _____
Property address 360 Metal Museum Drive Memphis Shelby TN 38103

north elevation, however, a full daylight basement story emerges due to the change in grade along W. Illinois Ave. A departure from the Colonial Revival buildings found on the site, this building exhibits elements of the Modern Movement. Two banks of nine windows in a horizontal two-over-two pattern form a ribbon window effect in the building's central block. Three pairs of entry doors frame the window openings. Paired garage door openings flank this portion of the building to the east and west. The use of red brick with precast concrete accents and stylized quoins around the main entry doors relate this building back to the Colonial Revival style found throughout the site. The remaining elevations are defined by a less ordered mix of large industrial steel windows and garage doors. Clerestory windows along the west and south elevations provide additional light to the double-height space at the rear of the building. Smaller interior spaces area gathered along the building's single story front section, while the double height portion to the rear is divided into fewer spaces of a larger scale.

Date(s) of building(s) 1884, 1934, 1937, 1939 Date(s) of alteration(s) 1936, 1939, 1963
Has building been moved? ☐ no ☒ yes, specify date (Nurses' Quarters, moved 1936)

6. Statement of significance

Conversations about the desire for a Marine Hospital in Memphis began in the U.S. House of Representatives as early as 1836, although it took over forty years for funding to be secured. Period documents suggest that the city's 1878 yellow fever epidemic contributed to resurrecting the discussion about a Marine Hospital in Memphis. Further documentation shows that the greater scope of Reconstruction and tension between the North and South in the post-Civil War-era may have contributed to delays in the appropriation of funding for the Memphis facility. Ultimately, in 1883 work began on a complex of frame and masonry buildings, exhibiting elements of the then-popular Italianate style. These buildings, completed by 1884, remained in use for approximately fifty years, when they were removed or relocated in phases for construction of the present facility.

Design work for the current hospital building began in 1931, when the Memphis firm of Regan & Weller was hired by the federal government to design what was initially described as a three-story addition to the existing facility. By the end of that year, a rendering was released showing a new freestanding building. This design closely matched what appears to have been constructed in 1934, although changes in planning had altered its relationship to other buildings on the site. By the time of its completion, the new building was once again referred to as an addition and was connected to the 1884 Administration Building by a rudimentary covered walkway.

In 1933, additional funds had been secured and plans were being drawn by the Office of the Supervising Architect of the Treasury, under the supervision of Louis A. Simon. With nearly three times the amount budgeted in 1931, the proposed new facility would include a new main hospital building and two smaller buildings for staff quarters. A newspaper article published in this year, only two months after he took office, cites President Roosevelt's personal interest in the project, referring to his concern over crowding in the existing building and calling the expansion part of his "new work relief program."

Typical of the work associated with the Office of the Supervising Architect during Simon's tenure, the new hospital building exhibits a sense of monumentality in its massing and orientation. Its restrained Colonial Revival detailing further evidences the level of refinement often associated with work created under Simon's direction. In his AIA fellowship application, Simon's contemporaries described his work as "characterized by an effort toward simplicity and restraint and the attainment of pleasing results, by a studied consideration of mass and proportion, rather than by excess of elaboration or non-functional expression..."

The steam laundry, constructed in 1939 to serve the new hospital complex, provides additional information about the work being produced by the Office of the Supervising Architects during its transition into to the Public Works Administration. Its materiality and detailing reflect a desire to relate to the main hospital building it served, while its overall style represents a departure from what was used throughout the rest of the facility. Of the accessory buildings constructed on the site during the 1930s, it is the only one to utilize elements of the modern style often associated with other public works projects of this era.

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 1 – EVALUATION OF SIGNIFICANCE

Property name U.S. Marine Hospital NPS Project Number _____

Property address 360 Metal Museum Drive Memphis Shelby TN 38103

In addition to its federal associations, the hospital facility represents an important example of its type within a local context. Due to the demolition of the John Gaston Hospital, the Baptist Memorial Hospital, the Kennedy VA Hospital, and portions of the Methodist Hospital, the U S. Marine Hospital exists as one of Memphis' few remaining healthcare facilities constructed during the first half of the twentieth century. Each of these facilities exhibited elements of the Colonial Revival style, making this remaining facility an important record of the architecture associated with healthcare buildings in Memphis during this period.

7. Photographs and maps. Send photographs and map with application.

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APPENDIX E. HISTORIC BRIDGE ASSESSMENT

DRAFT - DELIBERATIVE

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To: Ted Kniazewycz, Structures Director

From: Kimberly Vasut-Shelby,
Cultural Resources Supervisor

Date: March 13, 2023

**Subject: Shelby, America's River Crossing, I-55 Bridge over the
Mississippi River PIN 132733.01**

As you know, TDOT has applied for a Large Bridge Grant to replace the I-55 Bridge over the Mississippi River. The Memphis-Arkansas Bridge is listed in the National Register of Historic Places in 2001.

Since this bridge is listed in the National Register, federal laws require TDOT to evaluate a variety of options to preserve the bridge. The Environmental Division or their consultants will prepare reports that meet these requirements, but we will need information from your office to do that. TDOT has recently received more scrutiny regarding the replacement of historic bridges such as this. For that reason, I would request that the rehabilitation alternative be evaluated very carefully. In order to meet the project schedule, I will need this information

Please provide the following information:

1. Can this bridge be rehabilitated for continued use on the existing route? **No.**

- What specific repairs would be necessary?

The existing bridge was not designed for interstate traffic and is functionally obsolete. The current roadway width and lack of shoulders do not meet any current roadway standards for a route with the traffic characteristics carried on this bridge.

With respect to needed repairs, there are numerous structural steel elements that need to be replaced or strengthened. The deck has recently been overlayed with a polymer concrete material, but this is not a long term fix for the deck. The existing deck structural system needs to be replaced. The existing structure does not meet the seismic requirements for the location. Seismic retrofit would not be a viable option due to the configuration of the bridge and the condition of the approach spans.

- What would be the estimated cost of these repairs? What would be the estimated cost of a new structure?

A new structure is estimated at \$800M. The cost of the needed seismic upgrades alone would exceed \$300M based on the costs for the repairs on the Hernando de Soto bridge located just upstream of this bridge.

(I could generate some SF costs for replacing the approaches, replacing the bridge deck system, and estimate some SF costs for other structural steel repairs, but these costs would not address the lack of shoulders and other operational issues with the bridge. It may be good to check with HNTB and see if they generated some costs in the Grant application so we can use consistent numbers.)

- How long would such repairs extend the life of the bridge (versus the life expectancy of a new bridge)?

A new bridge would be expected to have a 100+ year service life. Any structural repairs to the truss would only address current issues. The remaining original members of the bridge would continue to deteriorate and require future maintenance. One could expect to complete major structural repairs every 15-20 years including the need to paint system maintenance.

- What would be the relative advantages and disadvantages of repairing the bridge?
There are no relative advantages to repairing the bridge compared to a new replacement structure. The disadvantages include the risk associated with a structure built in 1947 carrying significantly more traffic than the structure was originally designed to carry. Metal materials generally have a finite service and fatigue life. Until the original steel members are replaced, there is elevated risk to keeping the bridge in service.

- What would be the relative advantages and disadvantages of replacing the bridge?
The advantages to replacing the bridge are that the new structure would be designed for the traffic that is using the bridge and the design would incorporate details that would provide a 100+ year service life. Additionally, navigational traffic would be provided an enhanced channel – especially when the existing railroad bridges are replaced in the future. There would also be minimal disruption to vehicular traffic as the new bridge could be built while traffic uses the existing bridge. There would be minimal disruption when traffic was switched to the new structure.

2. If a new structure is built, could the existing bridge be left in place either as a ruin or for pedestrian use?

No – because of the navigational requirements of the USCG, the bridge would need to be removed from the navigational footprint of the river. The replacement structure will likely have a larger clear span requirement and this bridge would not allow the larger span to be functional. The larger span requirement is ultimately based on the future replacement of the adjacent railroad bridges at some point in the future.

3.

- If the bridge were left in place, how would that affect the location of a new bridge?
There would be no impact as the new bridge would be constructed while the existing bridge remained in service.
- Would it be necessary to make any repairs to the bridge (such as to the substructure) if the existing bridge were left in place as a ruin?
Repairs would be needed, but the USCG would not allow the structure to remain with potential impacts to the navigational traffic. Additionally the railroads may object to a “ruin” remaining as its potential for future deterioration could be seen as a liability to the future railroad operations.
- If the existing bridge were left in place for pedestrian use, would it be necessary to make any repairs to the bridge? If so, how much would these repairs cost?
See information provided in previous answers above.
- If cleaning is recommended, please provide cost estimates for water cleaning as well as sandblast cleaning.
It is estimated that a new paint system on the existing truss portions of the bridge would cost

in excess of \$50M based on the size of the bridge and containment system requirements.

- If a new deck is recommended, please provide cost estimates for both wood and concrete decking.

With the existing pedestrian access across the river, and the condition of this structure without seismic upgrades, this option was not developed.

4. If preservation in place is not feasible can the open spandrel arch bridge be relocated for reuse to other sites?

Due the configuration and size of the existing truss, relocation would not be a viable option.

- In addition to the traditional relocation efforts by truck, please consider other relocation options such as moving the bridge on waterways or lifting them with helicopters.

See previous answer.

- If it were to be feasible to relocate the bridge, how much would it cost?

N/A

5. Is the bridge sufficiently sound to re-use for pedestrian traffic at a new location?

No.

- If repairs are needed for pedestrian re-use, what repairs would be needed?

N/A

- How much would these repairs cost?

N/A

- If cleaning is recommended, please provide cost estimates for water cleaning as well as blast cleaning.

N/A

- If a new deck is recommended, please provide cost estimates for both wood and concrete decking.

N/A

6. What is the estimated demolition cost of the bridge?

\$11M

7. Do you have any general comments on the feasibility of preserving this bridge, either on its existing location (for continued vehicular use, as a ruin, or for pedestrian use) or at a new location?

None other than stated previously.

Thank you for your assistance. In order to ensure that the Section 106 and Programmatic 4(f) documents are completed in accordance with the project schedule, **we will need your response on or before April 1, 2024**. If your staff can not provide the requested information within the needed timeframe please let me know and the project schedule will need to be updated to reflect when the information is provided. If you have any questions or comments, please feel free to contact Kimberly.vasut-shelby@tn.gov.

cc: K. Brandon Chance and Tammy Sellers

APPENDIX F. SUPPLEMENTAL MATERIALS FOR THE FRENCH FORT HISTORIC DISTRICT

DRAFT - DELIBERATIVE

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SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-15	185 W Illinois Ave	Contributing	
HS-16	193 W Illinois Ave	Contributing	
HS-17	199 W Illinois Ave	Contributing	
HS-18	207 W Illinois Ave	Contributing	
HS-19	213 W Illinois Ave	Contributing	
HS-20	219 W Illinois Ave	Contributing	
HS-21	227 W Illinois Ave	Contributing	
HS-22	233 W Illinois Ave	Contributing	
HS-23	241 W Illinois Ave	Non-contributing	carport enclosed, replacement windows, fence added
HS-24	247 W Illinois Ave	Contributing	
HS-25	251 W Illinois Ave	Contributing	
HS-26	259 W Illinois Ave	Contributing	
HS-27	265 W Illinois Ave	Contributing	
HS-28	886 Riverside Blvd	Contributing	

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-29	894 Riverside Blvd	Contributing	
HS-30	1195 Esplanade PI	Contributing	
HS-31	1185 Esplanade PI	Contributing	
HS-32	1179 Esplanade PI	Contributing	
HS-33	1175 Esplanade PI	Non-contributing	Infilled carport, replacement windows, loss of ironwork
HS-34	242 Napoleon PI	Contributing	
HS-35	236 Napoleon PI	Contributing	
HS-36	228 Napoleon PI	Contributing	
HS-37	220 Napoleon PI	Contributing	
HS-38	214 Napoleon PI	Contributing	

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SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-39	204 Napoleon PI	Contributing	
HS-40	200 Napoleon PI	Contributing	
HS-41	196 Napoleon PI	Contributing	
HS-42	192 Napoleon PI	Contributing	
HS-43	188 Napoleon PI	Contributing	
HS-44	180 Napoleon PI	Contributing	
HS-45	205 Napoleon PI	Contributing	
HS-46	209 Napoleon PI	Contributing	
HS-47	215 Napoleon PI	Contributing	
HS-48	217 Napoleon PI	Non-contributing	Additional bay changes form, change in cladding, change in windows

DRAFT - DELIBERATIVE

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-49	1155 Esplanade PI	Non-contributing	Additions alter form, carport enclosed, replacement windows, loss of ironwork
HS-50	1145 Esplanade PI	Non-contributing	Garage enclosed, addition changes form, replacement windows
HS-51	1135 Esplanade PI	Contributing	
HS-52	220 Chartres PI	Contributing	
HS-53	214 Chartres PI	Contributing	
HS-54	215 Chartres PI	Contributing	
HS-55	219 Chartres PI	Contributing	
HS-56	227 Chartres PI	Contributing	
HS-57	1111 Esplanade PI	Contributing	
HS-58	232 Rampart PI	Contributing	
HS-59	224 Rampart PI	Contributing	
HS-60	218 Rampart PI	Contributing	
HS-61	221 Rampart PI	Non- Contributing	Additional bay changes form, change in cladding, change in windows

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SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-62	227 Rampart Pl	Contributing	
HS-63	233 Rampart Pl	Contributing	
HS-64	1085 Esplanade Pl	Contributing	
HS-65	234 Wisconsin Ave	Contributing	
HS-66	226 Wisconsin Ave	Contributing	
HS-67	227 Wisconsin Ave	Contributing	
HS-68	1063 Esplanade Pl	Contributing	
HS-69	1053 Esplanade Pl	Contributing	
HS-70	1030 Deumaine Pl	Non-contributing	Entrance replaced, porch and front sidewalk altered
HS-71	1038 Deumaine Pl	Contributing	
HS-72	1044 Deumaine Pl	Contributing	

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-73	1050 Deumaine PI	Non-contributing	Additions alter form, replacement windows, entrance altered
HS-74	1056 Deumaine PI	Contributing	
HS-75	1062 Deumaine PI	Contributing	
HS-76	1068 Deumaine PI	Contributing	
HS-77	1072 Deumaine PI	Contributing	
HS-78	1076 Deumaine PI	Contributing	
HS-79	1080 Deumaine PI	Non-contributing	New construction
HS-80	1084 Deumaine PI	Contributing	
HS-81	1088 Deumaine PI	Contributing	
HS-82	1092 Deumaine PI	Contributing	
HS-83	1087 Bourbon PI	Contributing	

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SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-84	1083 Bourbon Pl	Non-contributing	Additions alter form, carport enclosed
HS-85	1079 Bourbon Pl	Contributing	
HS-86	1073 Bourbon Pl	Contributing	
HS-87	1067 Bourbon Pl	Contributing	
HS-88	1061 Bourbon Pl	Contributing	
HS-89	1055 Bourbon Pl	Non-contributing	Replacement windows, brick veneer painted
HS-90	1049 Bourbon Pl	Non-contributing	Form altered, replacement windows, change in cladding
HS-91	1045 Bourbon Pl	Contributing	
HS-92	1039 Bourbon Pl	Contributing	
HS-93	1035 Bourbon Pl	Contributing	
HS-94	1031 Bourbon Pl	Contributing	
HS-95	1027 Bourbon Pl	Contributing	
HS-96	1035 Esplanade Pl	Contributing	

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-97	1039 Esplanade PI	Contributing	
HS-98	1049 Esplanade PI	Contributing	
HS-99	1047 Deumaine PI	Non-contributing	Additions alter form
HS-100	1055 Deumaine PI	Contributing	
HS-101	1061 Deumaine PI	Contributing	
HS-102	1067 Deumaine PI	Contributing	
HS-103	1071 Deumaine PI	Contributing	
HS-104	1075 Deumaine PI	Contributing	
HS-105	1078 Bourbon PI	Contributing	
HS-106	1072 Bourbon PI	Contributing	
HS-107	1066 Bourbon PI	Contributing	

DRAFT - DELIBERATIVE

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-108	1060 Bourbon Pl	Contributing	
HS-109	1054 Bourbon Pl	Contributing	
HS-110	1048 Bourbon Pl	Contributing	
HS-111	1040 Bourbon Pl	Contributing	
HS-112	1011 Esplanade Pl	Non-contributing	Replacement windows, brick veneer painted, loss of ironwork
HS-113	1005 Esplanade Pl	Contributing	
HS-114	999 Esplanade Pl	Non-contributing	Replacement windows, loss of ironwork, painted brick veneer
HS-115	991 Esplanade Pl	Contributing	
HS-116	983 Esplanade Pl	Non-contributing	Replacement windows, loss of ironwork, carport enclosed
HS-117	979 Esplanade Pl	Contributing	
HS-118	975 Riverside Blvd	Contributing	

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-119	969 Riverside Blvd	Contributing	
HS-120	965 Riverside Blvd	Contributing	
HS-121	955 Riverside Blvd	Contributing	
HS-122	937 Riverside Blvd	Contributing	
HS-123	927 Riverside Blvd	Contributing	
HS-124	921 Riverside Blvd	Contributing	
HS-125	915 Riverside Blvd	Contributing	
HS-126	907 Riverside Blvd	Contributing	Form altered, replacement windows, change in cladding
HS-127	914 Riverside Blvd	Non-contributing	
HS-128	1174 Esplanade PI	Non-contributing	Additions alter form, replacement windows, enclosed carport

DRAFT - DELIBERATIVE

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-129	1154 Esplanade PI	Contributing	
HS-130	1142 Esplanade PI	Contributing	
HS-131	1136 Esplanade PI	Contributing	
HS-132	1130 Esplanade PI	Contributing	
HS-133	1122 Esplanade PI	Contributing	
HS-134	1116 Esplanade PI	Contributing	
HS-135	1110 Esplanade PI	Non-contributing	Additions alter form
HS-136	1104 Esplanade PI	Contributing	
HS-137	1098 Esplanade PI	Contributing	
HS-138	1094 Esplanade PI	Contributing	

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-139	1086 Esplanade PI	Contributing	
HS-140	1080 Esplanade PI	Contributing	
HS-141	1074 Esplanade PI	Contributing	
HS-142	1066 Esplanade PI	Contributing	
HS-143	1054 Esplanade PI	Contributing	
HS-144	1040 Esplanade PI	Contributing	
HS-145	1022 Esplanade PI	Non-contributing	New construction
HS-146	1012 Esplanade PI	Contributing	
HS-147	1006 Esplanade PI	Contributing	
HS-148	998 Esplanade PI	Contributing	

DRAFT - DELIBERATIVE

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-149	992 Esplanade PI	Contributing	
HS-150	986 Esplanade PI	Contributing	
HS-151	980 Esplanade PI	Contributing	
HS-152	968 Riverside Blvd	Contributing	
HS-153	964 Riverside Blvd	Contributing	
HS-154	958 Riverside Blvd	Contributing	
HS-155	954 Riverside Blvd	Contributing	
HS-156	948 Riverside Blvd	Contributing	
HS-157	938 Riverside Blvd	Contributing	
HS-158	928 Riverside Blvd	Contributing	

SURVEY ID	ADDRESS	CONTRIBUTING	NOTES
HS-159	922 Riverside Blvd	Contributing	

DRAFT - DELIBERATIVE

Figure F1: 1960 Historic Aerial, showing the area that became French Fort neighborhood



Accessed via HistoricAerials.com

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Figure F2: 1963 Historic Aerial, showing beginning of French Fort development



Accessed via HistoricAerials.com

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Figure F3: 1971 Historic Aerial showing French Fort neighborhood



Accessed via HistoricAerials.com

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Figure F4: 1973 Historic Aerial showing French Fort neighborhood



Accessed via HistoricAerials.com

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Figure F5: 1984 Historic Aerial showing French Fort neighborhood



Accessed via HistoricAerials.com

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Figure F6: 1994 Historic Aerial showing French Fort neighborhood



Accessed via HistoricAerials.com

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Figure F7: 2006 Historic Aerial showing French Fort neighborhood



Accessed via HistoricAerials.com

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Figure F8: 2021 Historic Aerial showing French Fort neighborhood



Accessed via HistoricAerials.com

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Figure F9: Clipped from 1743 map showing French territory along the Mississippi, by Broutin, de Vergés, and Saucier



Accessed via Library of Congress.

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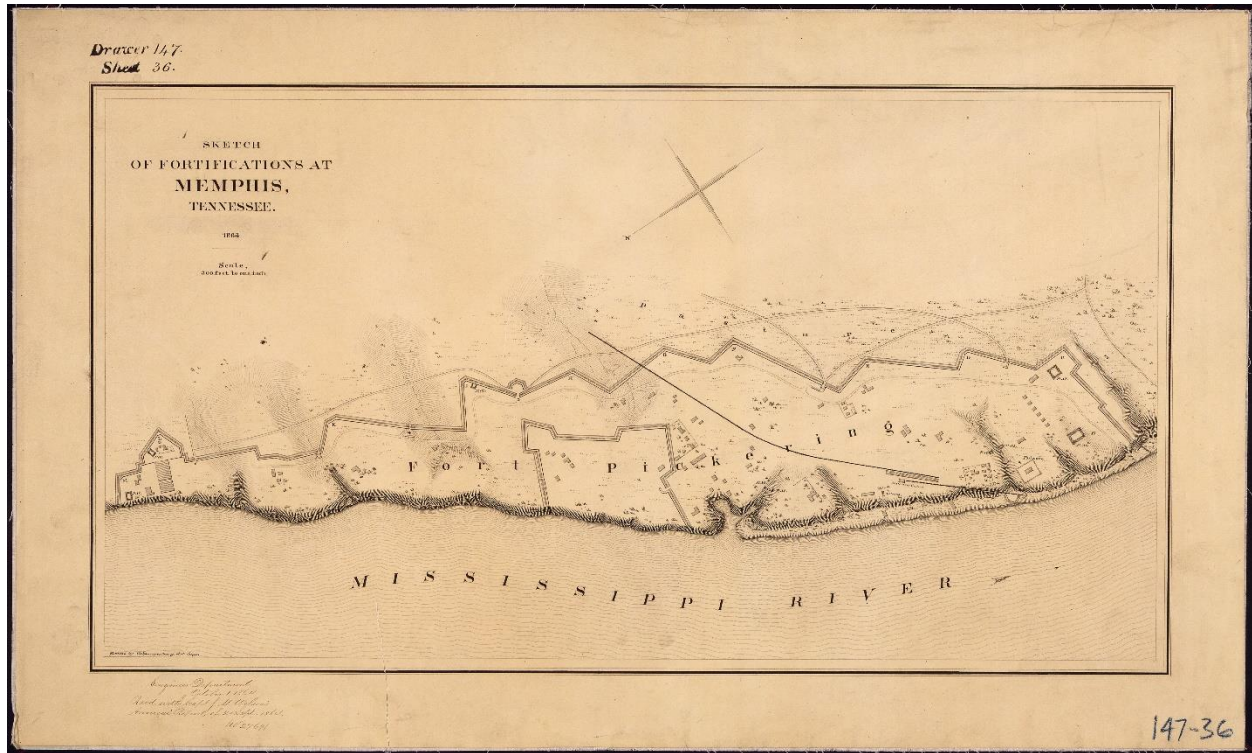


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Transportation

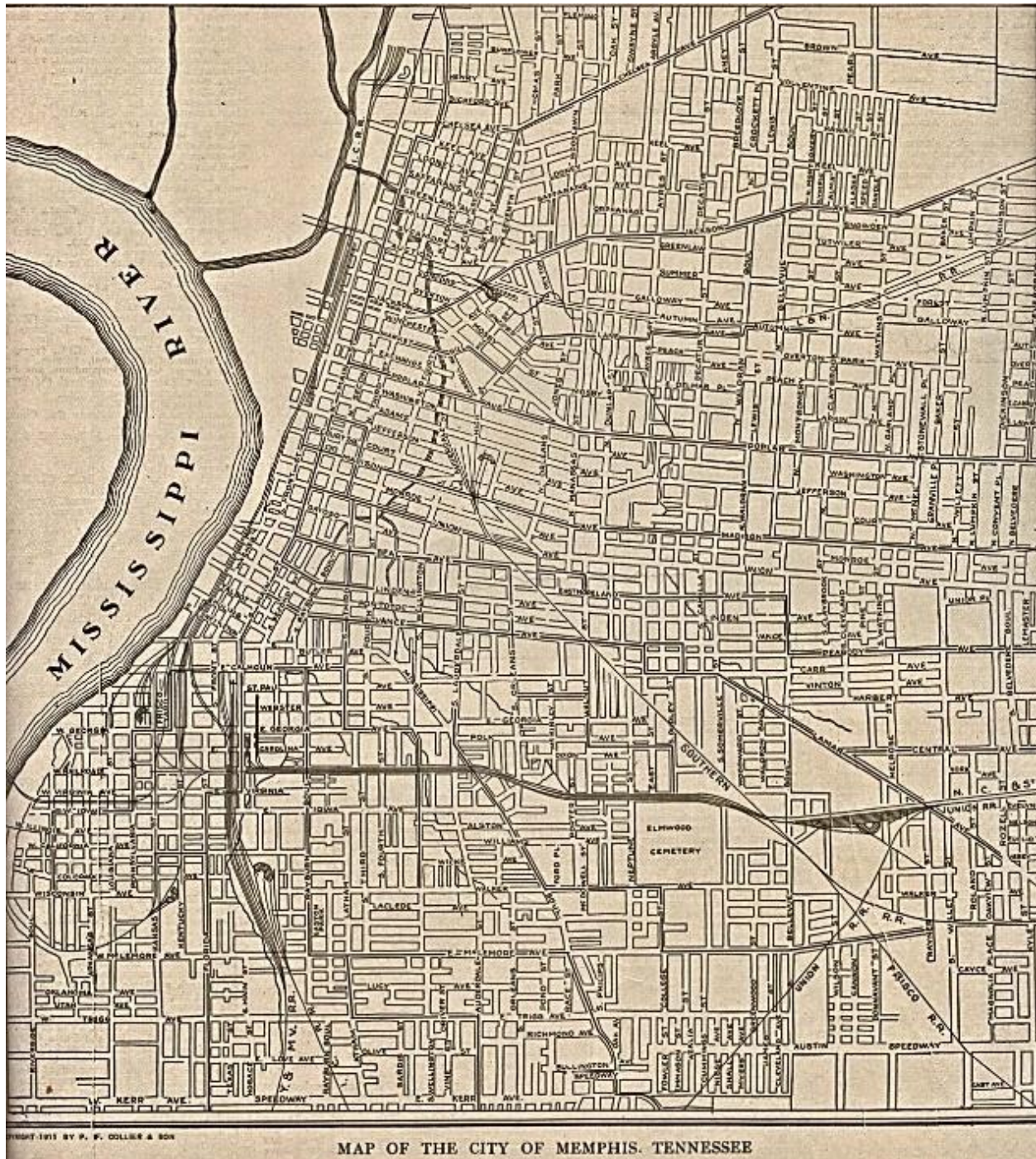
Figure F11: Sketch of Fortifications at Memphis, Tennessee 1864 by Charles Spangenberg



Accessed via Tennessee State Library and Archives Virtual Archive.

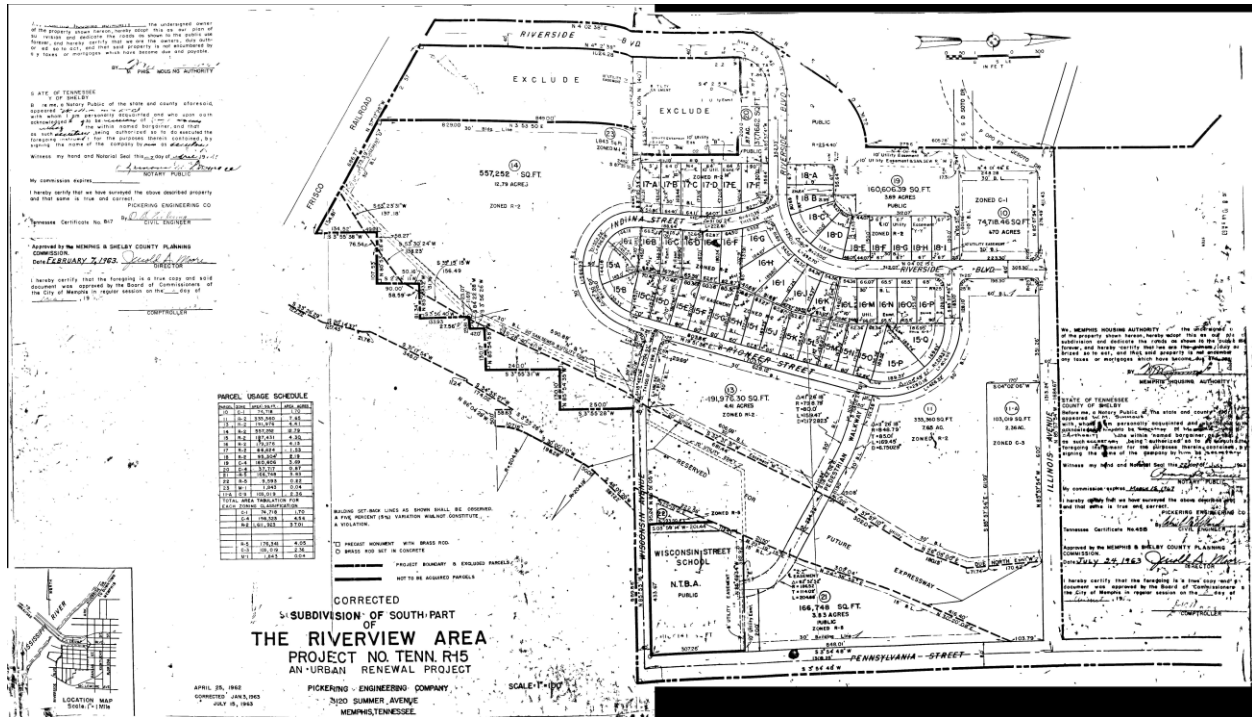
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Figure F12: Map of the City of Memphis, Tennessee, 1911 from The New Encyclopedic Atlas and Gazetteer of the World



Accessed via University of Texas Libraries.

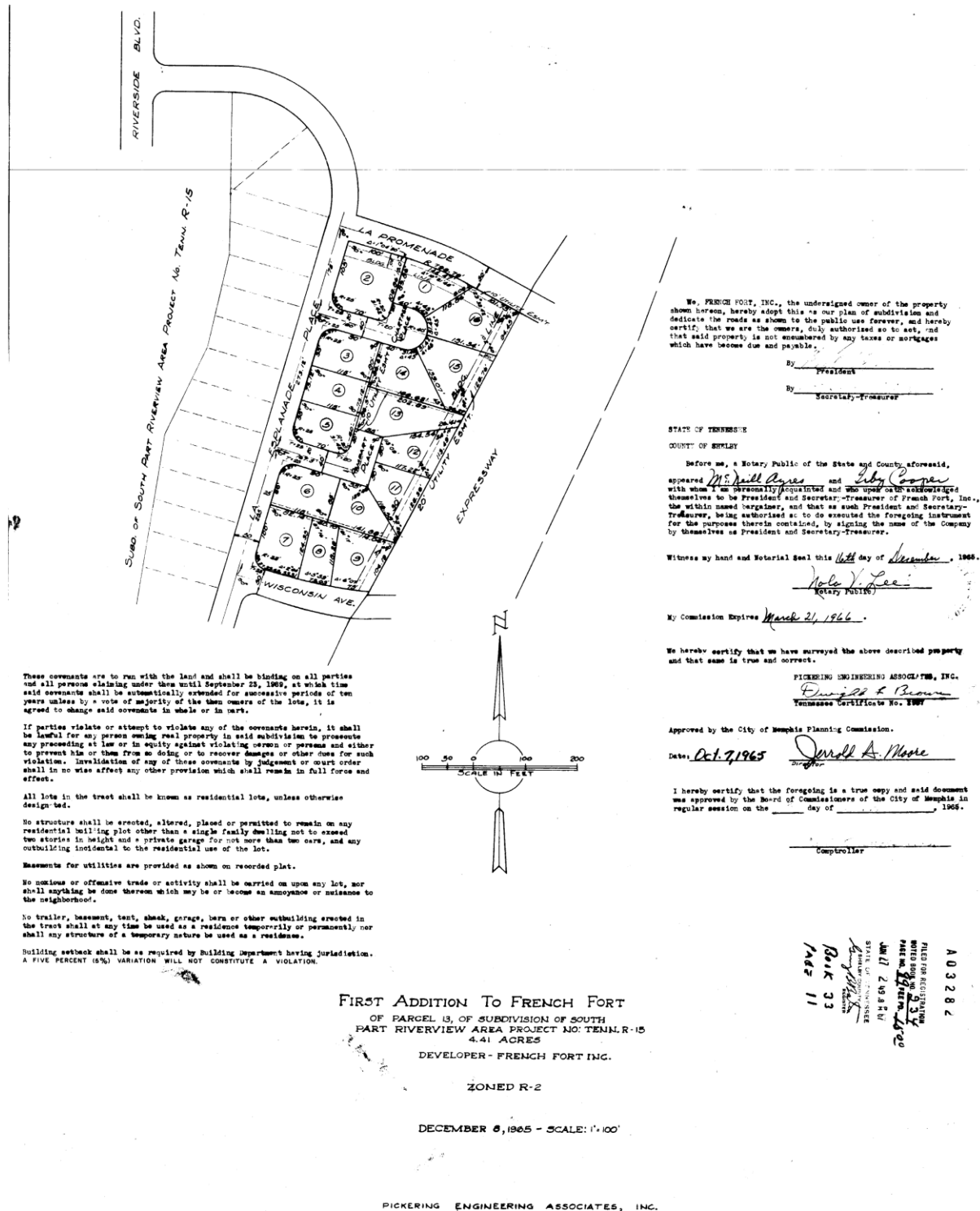
Figure F13: Plat of French Fort, 1963



Accessed via Shelby County property records.

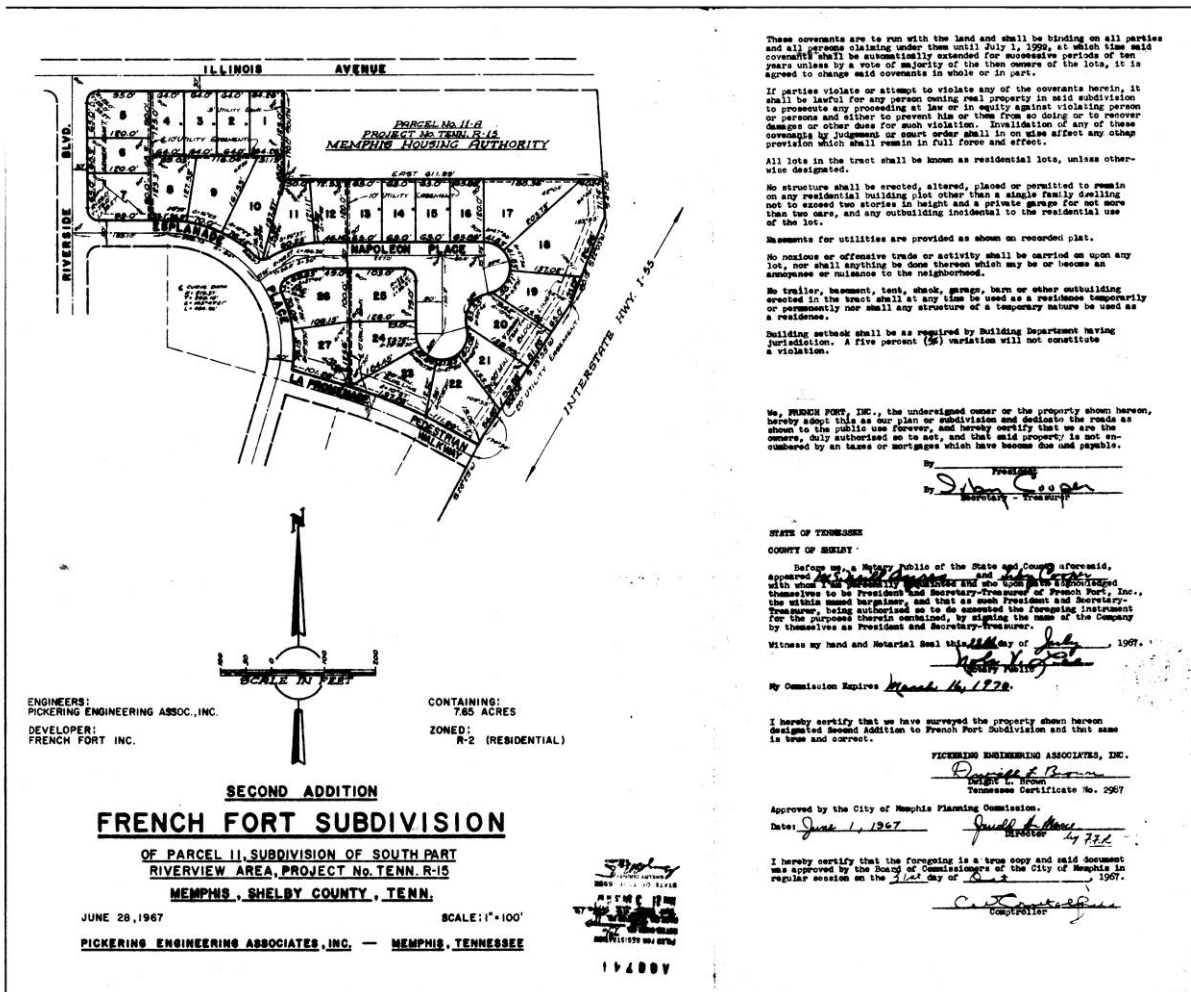
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Figure F14: Plat of First Addition to French Fort, 1966



Accessed via Shelby County property records.

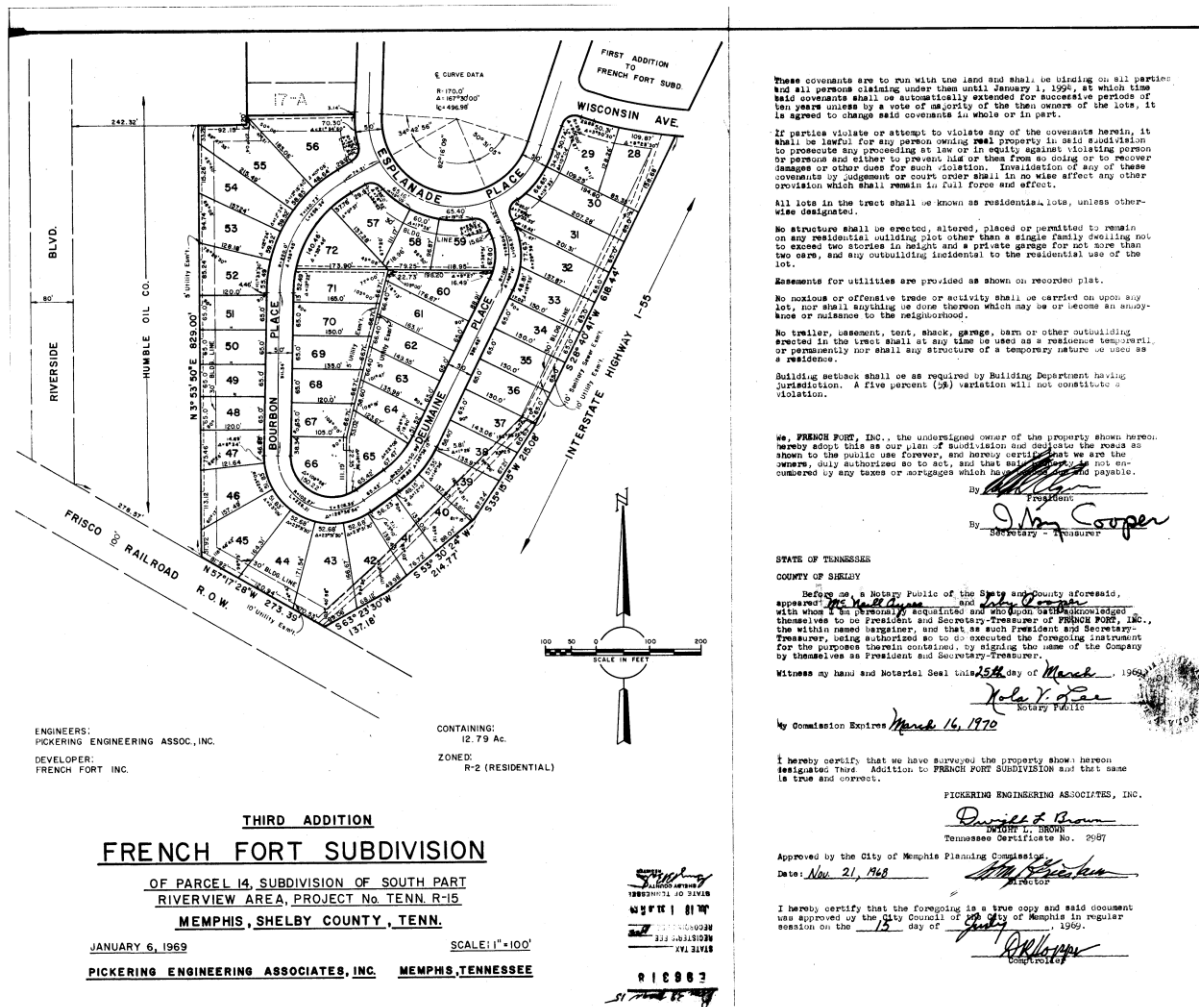
Figure F15: Plat of Second Addition to French Fort, 1967



Accessed via Shelby County property records.

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Figure F16: Plat of Third Addition to French Fort, 1969



Accessed via Shelby County property records.

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Figure F17: Advertisement for French Fort in The Commercial Appeal, June 7, 1965

Homes for Sale—Negro—178 Homes for Sale—Negro—178Homes for Sale—Negro—178Homes for Sale—Negro—178 Homes for Sale—Negro—178 Homes for Sale, Negro —178

French Fort

New Homes in The
HEART of MEMPHIS

3 Great Builders . . .
Present a Display Of
**OUTSTANDING HOMES
OPENING TODAY!**



LE BURGUNDY by Cooper Realty Co.
Easy living is offered by this all-brick, three-bedroom, one and a half bath home.

LE BOURBON by Cooper Realty Co.
"Dignified" and "Warm-Looking" describe the appearance of this lovely 3-bedroom brick Provincial.

THE RIVIERA by Blaylock & Brown
A feeling of spaciousness and loveliness is inspired by this three-bedroom, two-bath, split-level home.

THE MARDI GRAS by Blaylock and Brown
Blends the elegance of the traditional with the durability of the new in this three-bedroom, two-bath home.

MAISON de VILLE by Ayres Construction Co.
This four-bedroom, two-bath home features all that's new and desirable for relaxed living in a true French setting.

MAISON RIVIERE by Ayres Construction Co.
The quarry tile entry hall impresses visitors before they reach the large living room of this three-bedroom, one and a half bath home.



**HOMES PRICED
\$15,000—\$20,000**

DIRECTIONS: Turn South on Riverside Drive from Crump near the River Bridge. Turn at the French Fort Arrow. Just south of Holiday Inn, Riverbluff.

An address of distinction
rich in history and prestige, is French Fort, on the site of old Fort Assumption. The French New Orleans influence may be noted in the brick homes, tastefully decorated with wrought iron. Live with the history of DeSoto Park at your doorstep, a splendid view of the Memphis skyline from your window, and with the expressway system just down the street.

You'll see happiness
opportunities at French Fort—near the picnic and recreational advantages of Riverside Park, handy to McKellar Lake for boating and skiing, adjacent to the DeSoto Park playground with fun for youngsters.

A French Fort home
saves time for busy families. The new homes are located near business and commerce with advantages to the business or professional man. City advantages include street lights and bus service.

New, modern floor plans
have been used with Roman brick, used brick and other fashionable brick styles. The new homes are on extra large lots, level and landscaped, with superior workmanship and quality materials used throughout.

FRENCH FORT—NEW HOMES BUILT BY:
COOPER REALTY CO. • BLAYLOCK & BROWN • AYRES CONST. CO.

Accessed via Newspapers.com.

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