



State Route 6 (Gallatin Pike)

R.O.W. Public Meeting

August 19, 2025

Introductions

- Jay Norris – TDOT Region 3 Director
 - Shaun Armstrong– TDOT Region 3 Director of Pre-Construction
 - Shaun.Armstrong@tn.gov
 - Jonathan Vogel– TDOT Manager of the SR 6 (Gallatin Pike) Project
 - Jonathan.Vogel@tn.gov
 - Erin Zeigler – TDOT Region 3 Community Relations
 - erin.zeigler@tn.gov
 - Dan Goodin – GEC Project Manager
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- Houston Greer – TDOT Region 3 ROW Manager
 - houston.greer@tn.gov
 - ROW Team

Meeting Agenda

- Welcome
- Project Overview
- Design-Build Explained
- Procurement Process
- Q&A

DB2504 Gallatin Pike (SR 6) Project Website

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Department of
Transportation

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Design-Build

DB2504 SR 6 Gallatin Pike Safety Project

Pedestrian safety improvements including sidewalks, crosswalks, pedestrian signal upgrades, and accessible curb ramps

Anticipated Stipend - \$50,000

Industry Outreach Meeting
August 19, 2025 at 9:00 AM
TDOT Region 3 Annex
6038 Centennial Blvd, Nashville, TN 37209

SR 6 GALLATIN PIKE SAFETY PROJECT

PROJECT INFORMATIONAL MEETING

The Tennessee Department of Transportation (TDOT), in cooperation with the Federal Highway Administration (FHWA), is proposing to implement pedestrian safety improvements to SR-6 (Gallatin Pike) from Walton Lane to Wiley Street, and from Liberty Lane to north of Nashville Drive, in Davidson County, Tennessee. The design and construction work for the project will consist of full traffic signal rebuilds, curb ramp installations, additional street lighting, pedestrian signal improvements, PedBikeWAY (pedestrian hybrid beacons/high intensity activated crosswalk) improvements, crosswalk pavement markings, and curb extensions.

TDOT will be delivering the project utilizing the design-build procurement method. TDOT is holding this informational meeting to present the project work, explain the design-build selection process, and review the anticipated procurement schedule. Those new to alternative delivery will learn how simple it is to participate in TDOT's design-build program.

This is an excellent opportunity for contractors new to design-build to get involved and gain valuable design-build experience.

**TUESDAY,
AUGUST 19, 2025,
9:00 AM CST**

TDOT REGION 3 ANNEX
6038 Centennial Boulevard
Nashville, TN 37209

**ONE-ON-ONE
OPPORTUNITY**

Immediately after the informational meeting, TDOT will hold a series of 30-minute, one-on-one meetings with interested parties. These meetings are reserved for contractors only. If interested, please submit a request to Jonathan.Vingalillo@tn.gov by 11:00 a.m. CST on August 13, 2025.

For more information, including functional design plans and project details, [click here](#).



Reference materials - updated 8/14/2025



<https://www.tn.gov/content/tn/tdot/alternative-delivery/design-build/db2504.html>

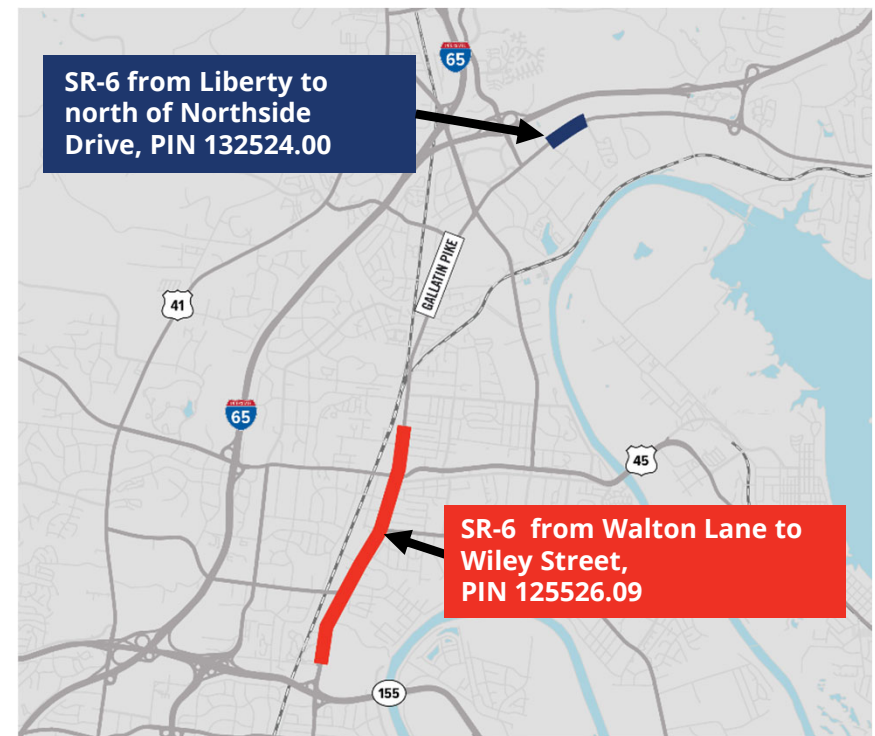


SR-6 Gallatin Pike

Liberty Lane to north of Northside Drive

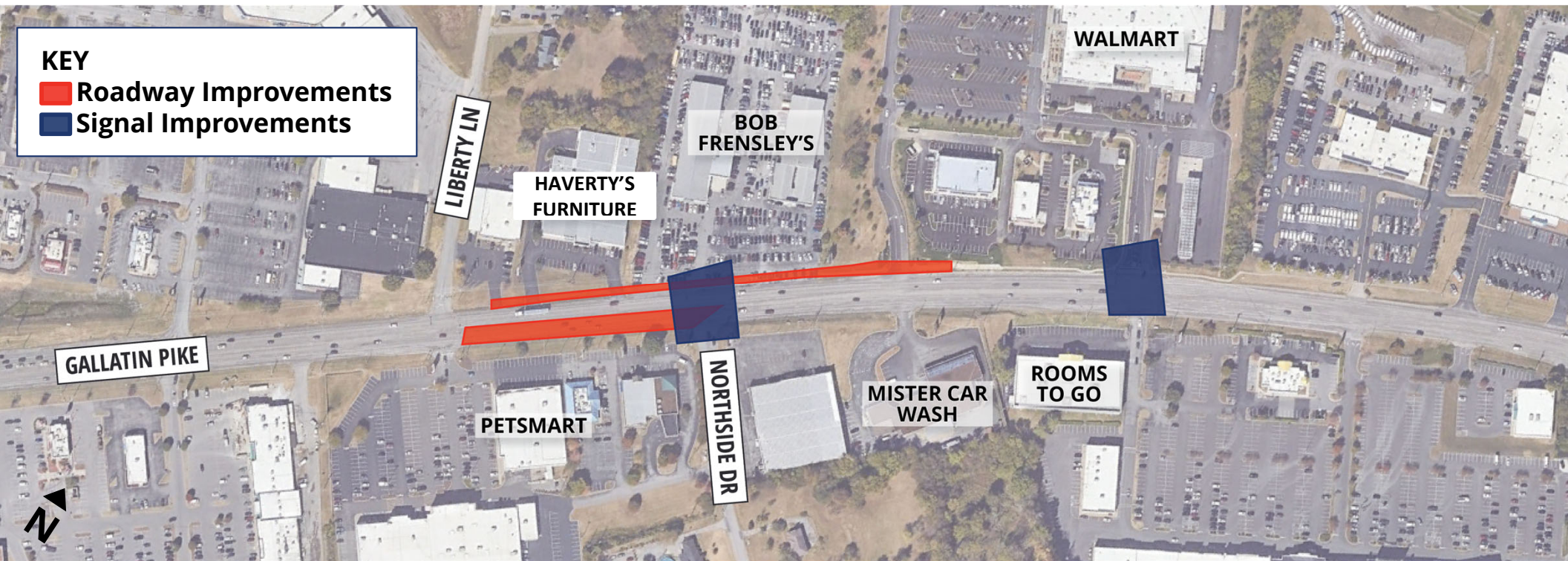
The design and construction work for the project will consist of:

- Full Traffic Signal Rebuilds
- Curb Ramp Installations
- Additional Street Lighting
- Pedestrian Signal Improvements
- PHB/HAWK (Pedestrian Hybrid Beacon/High Intensity Activated Crosswalk) improvements
- Crosswalk Pavement Markings
- Curb Extensions

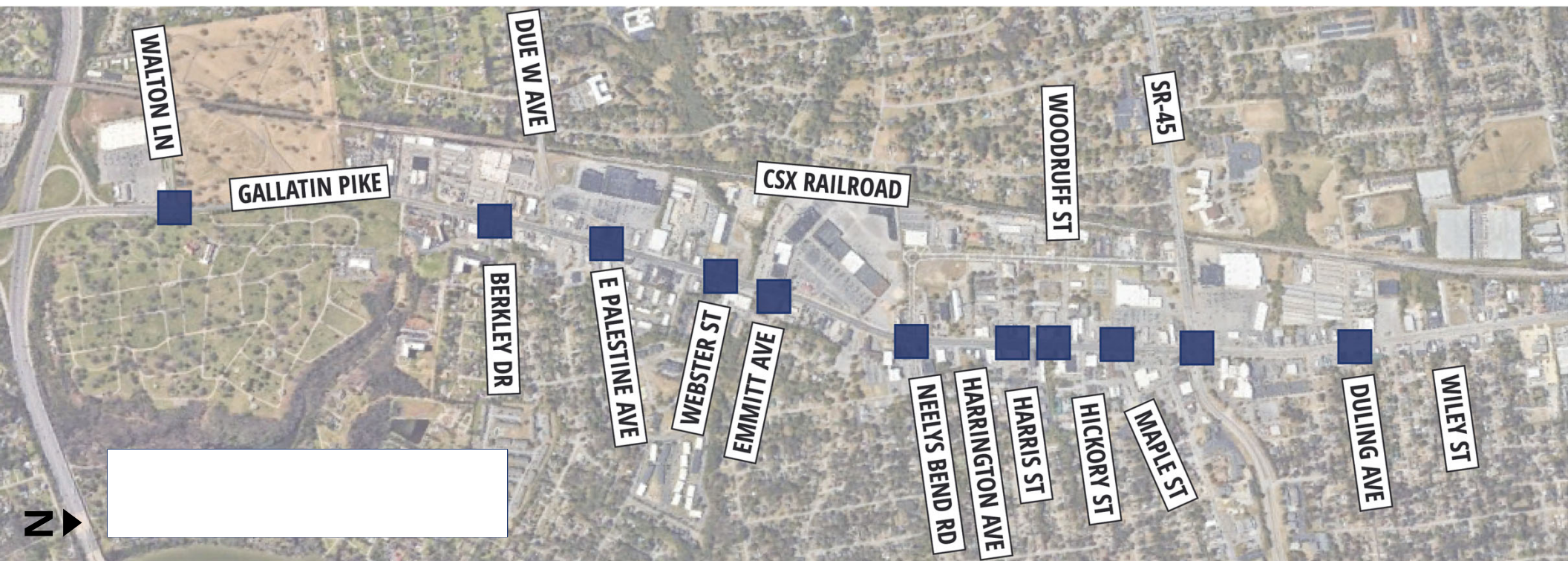


SR-6 Gallatin Pike

Liberty Lane to north of Northside Drive



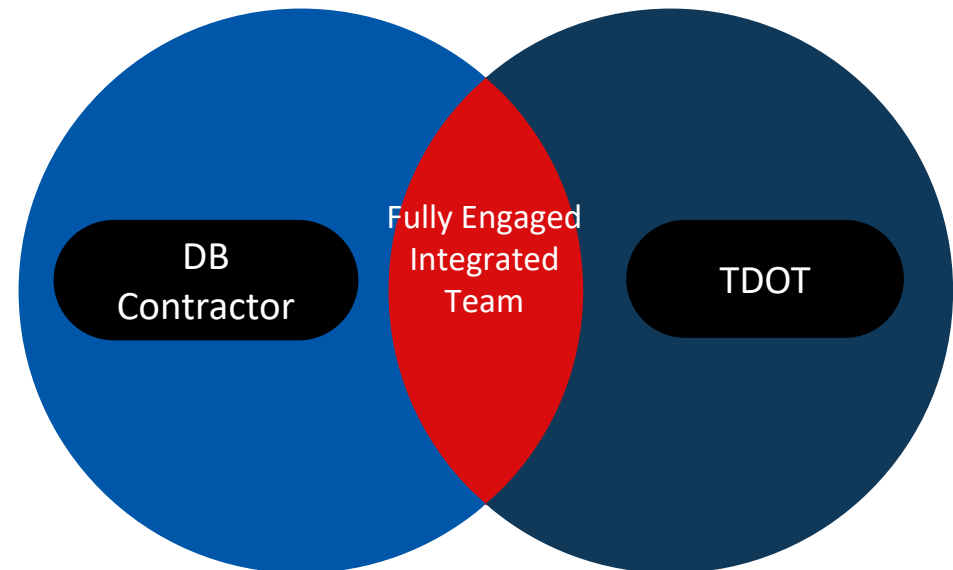
SR-6 Gallatin Pike Walton Lane to Wiley Street



Design-Build Explained: Partnering

The Design-Build Partnering mindset & culture is essential to success

- Use **Partnering** to solve challenges quickly in a shared risk environment
 - Establish decision-making process and response times
 - Establish responsible parties in the decision-making process
 - Create the foundation for trust to develop between team members
 - Encourage project teams to recognize the goals of all team members



Right-of-Way Process

- Title Reports (already completed)
 - Determines ownership and any lienholders (including mortgages)
- Appraisals (October 2025 - January 2026)
 - Determines value of property; 3 main methods:
 - Cost
 - Sales
 - Income
 - Done by independent, contracted fee appraiser
 - You will have the opportunity to accompany the appraiser when s/he values your property

Right-of-Way Process

- Negotiations
 - ROW Agent makes formal written offer to property owner
 - Property Owners are given a reasonable timeframe to consider the State's offer. Property Owners are guaranteed at least 30 days to consider an offer, with negotiations expected to conclude within 60 days in most cases.
 - At the conclusion of negotiations, property owners can:
 - Accept the State's offer
 - Make a detailed and justified counter-offer in writing
 - Go through the Eminent Domain Process

Right-of-Way Process

- Closing – Closing Agent will be assigned
 - Closing agent will re-check title to ensure ownership and ensure no new liens (mortgages) have been placed.
 - If no liens are present, closing agent orders closing check, meets with property owner who signs the deed and gets the check at the same meeting.
 - If lien(s) are present, the lien(s) must be released by the holder.
 - If the holder refuses to release the liens or does not do so in a timely manner, the State will be forced to use Eminent Domain even if the property owner agrees with the offer.
 - Lienholder may have rights to some or all of proceeds, depending on contract.
 - State will collect prorated taxes up until date of sale.

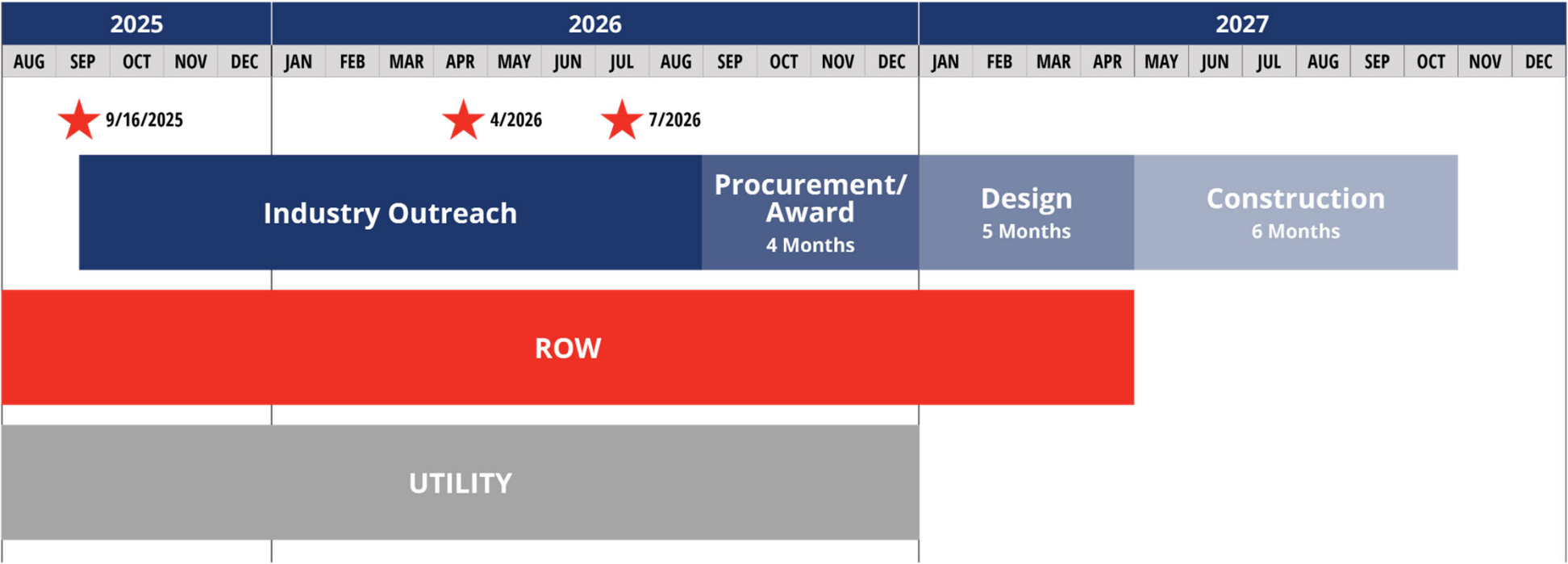
Right-of-Way Process

- Eminent Domain (Condemnation), 5th and 14th Amendments of US Constitution
 - When Property Owner and State cannot come to agreement, the court grants possession of the property to the State.
 - No loss of land without just compensation; deposit equal to State's Approved Offer is given to Court and can be withdrawn by property owner after that without affecting the case.

Right-of-Way Process

- Miscellaneous
 - Utility Adjustments
 - Infrastructure such as backflow preventors and water spigots in the area that the State needs to purchase for the project must be moved. The State will make money available to the property owners to do this with no out of pocket cost.
 - Relocations
 - Signs
 - Signs standing in the acquisition area will either be purchased by the State or the State will pay to move the sign out of the acquisition area, depending on the type of sign it is.
 - Residential
 - Non-Residential

Project Schedule





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