



## **Historic Development Grant Program**

### **Part 2 Application - Photograph Documentation Guidance for Rehabilitation of Historic Properties**

- Photographs are required to be submitted with the Part 2 application and should comprehensively document the building, including where work will not take place. Photographs should especially document any areas where work rehabilitation work is proposed and illustrate information provided in the Part 2 narrative descriptions.
- Photographs should be current and show the building as it exists prior to rehabilitation.
- Photographs should be in color and not be digitally altered or edited.
- Photographs should be well-lit and clear. If power is not available within historic buildings, additional, supplementary lighting should be used to ensure the space is adequately lit.
  - Out-of-focus, blurry, fuzzy, dark, over-exposed, or low-resolution photos are not acceptable.

#### **Exterior Elevations:**

- Capture all exterior elevations/sides of the building
- Where elevations are partially blocked by adjacent buildings, trees, landscaping, or etc., it may be necessary to take several photographs from different angles to show the whole elevation/side of the building
- When elevations are covered or boarded up, remove coverings/boards to take photographs
  - Without seeing the entirety of the building, the project cannot be properly evaluated.

#### **Interior Spaces:**

- Must include spaces where rehabilitation work is proposed as well as spaces where no work is intended to take place.
- Wide-angle photographs are recommended.
- Photographs of rooms can be oriented corner-to-corner from opposite corners. If the areas are too large or too difficult an angle, multiple photographs should be taken to ensure full coverage of the space.

**Interior Features and Finishes:**

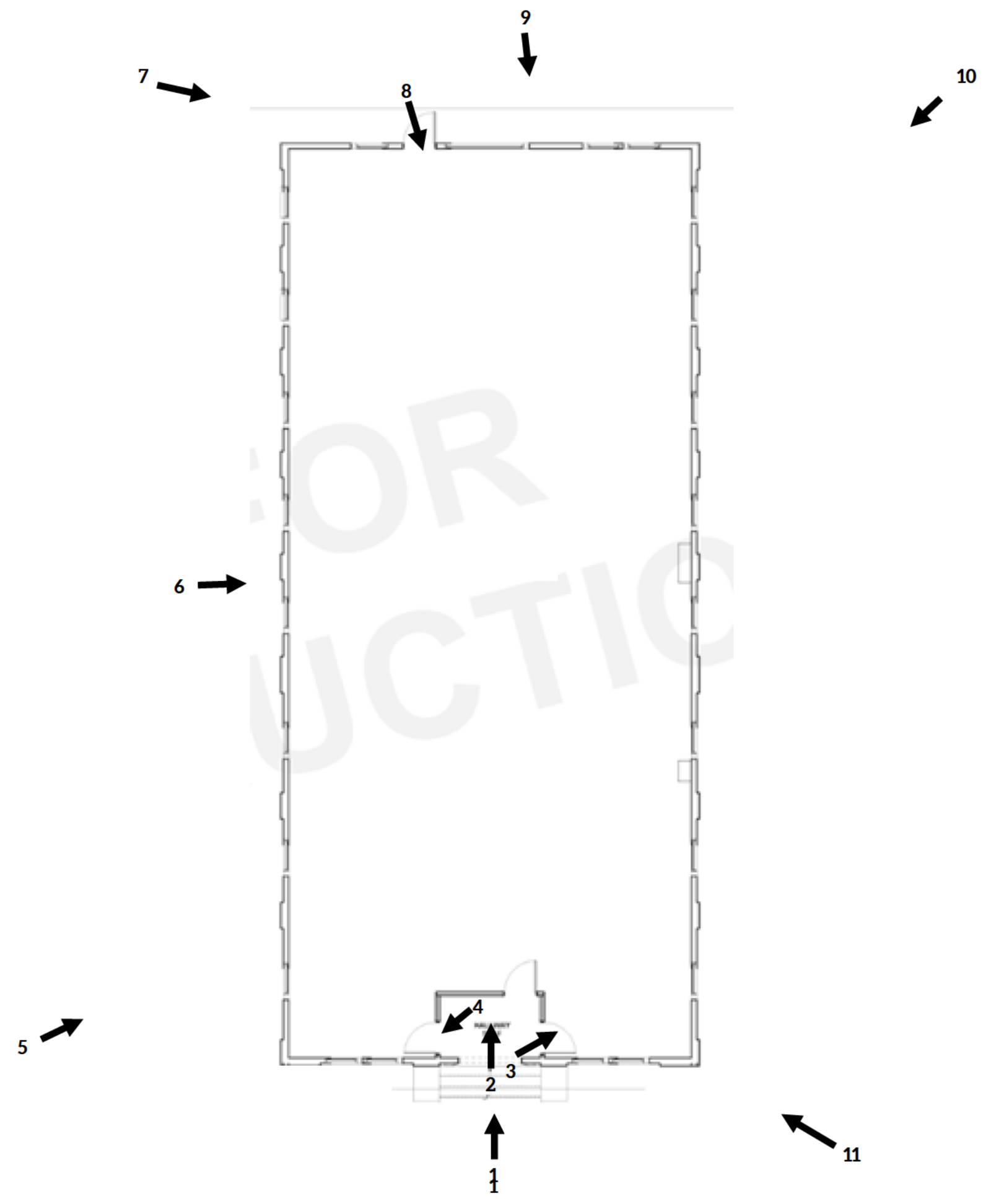
- Photographs should provide an overview of the rooms throughout the building.
  - Buildings with multiple, near identical spaces may not need photographs of every room. In such cases, representative photographs of the typical spaces may be acceptable. Please reach out to [THC.Rehab@tn.gov](mailto:THC.Rehab@tn.gov) if you have any questions.
  - Features include but are not limited to: staircases and balustrades, mantelpieces and surrounds, woodwork and trim, ceilings, fireplaces, windows, doors, walls, ceilings, moldings

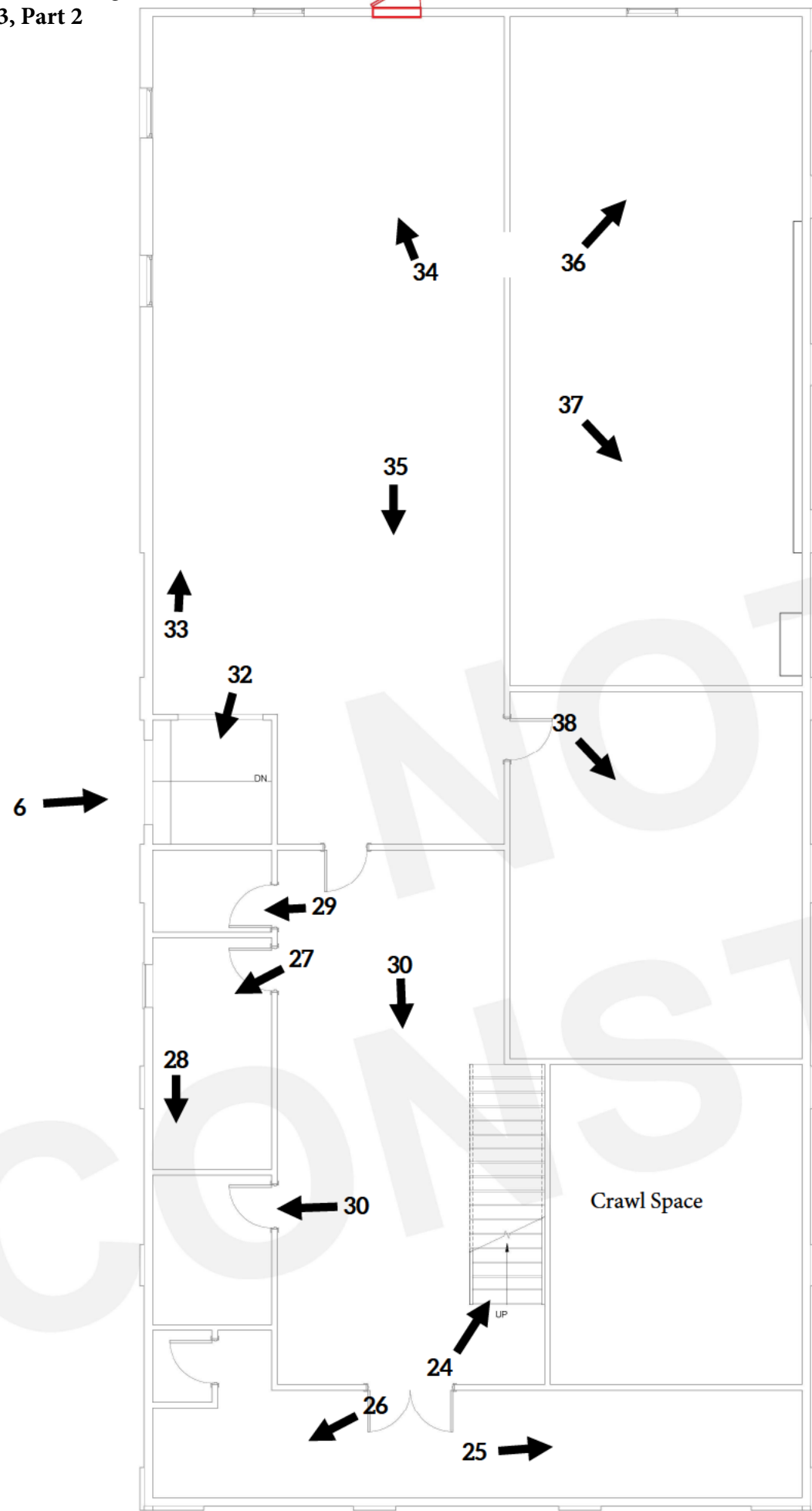
**Questions?**

Email: [THC.Rehab@tn.gov](mailto:THC.Rehab@tn.gov)

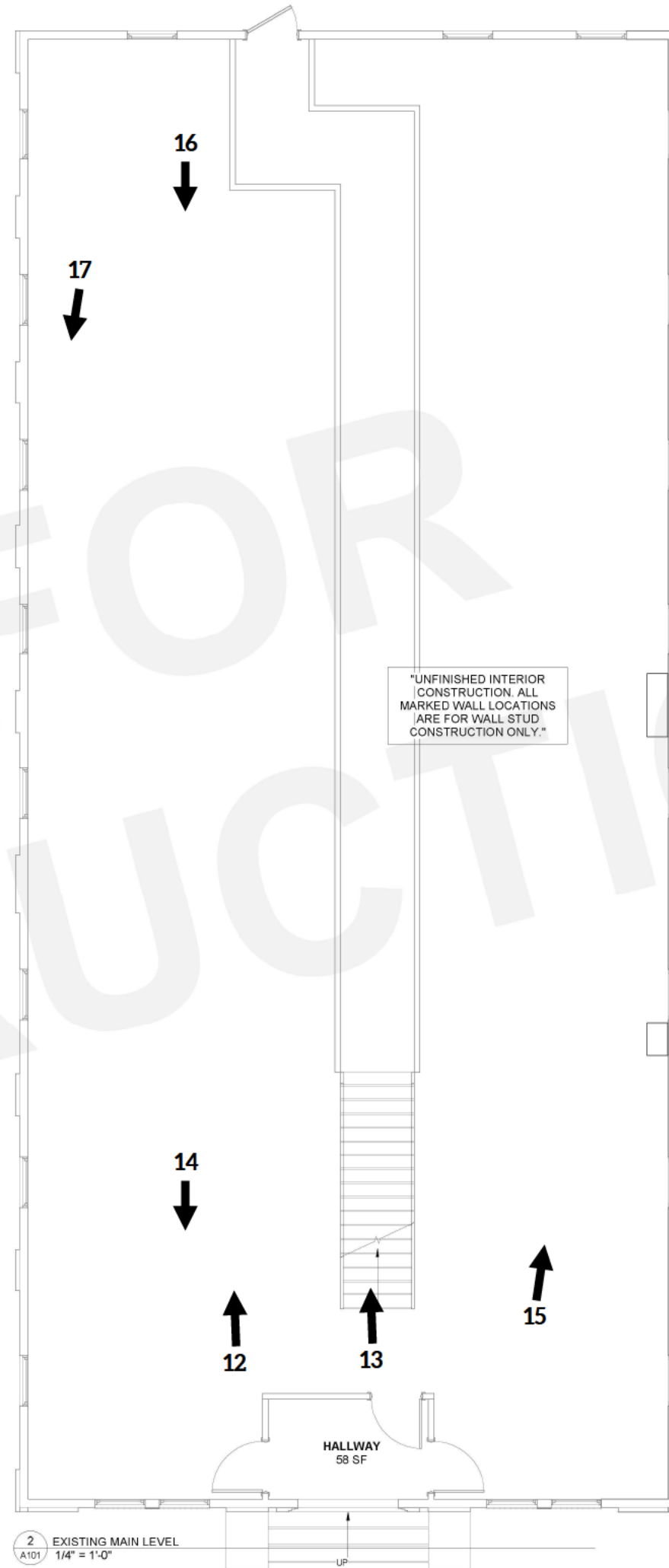
Please see examples on the following pages.

# **Photo Key Example**





1 EXISTING BASEMENT LEVEL  
A101 1/4" = 1'-0"



2 EXISTING MAIN LEVEL  
A101 1/4" = 1'-0"

# Photo Sheets Example



Photo 1, Front façade, camera facing southeast



Photo 2, Front façade, Inset Entryway. Three single leaf doorways. Only central door is original, all have original transoms



Photo 3, Front façade, inset entryway, right door



Photo 4, Front façade, inset entryway, left door





Photo 5, East elevation from North Henry Street

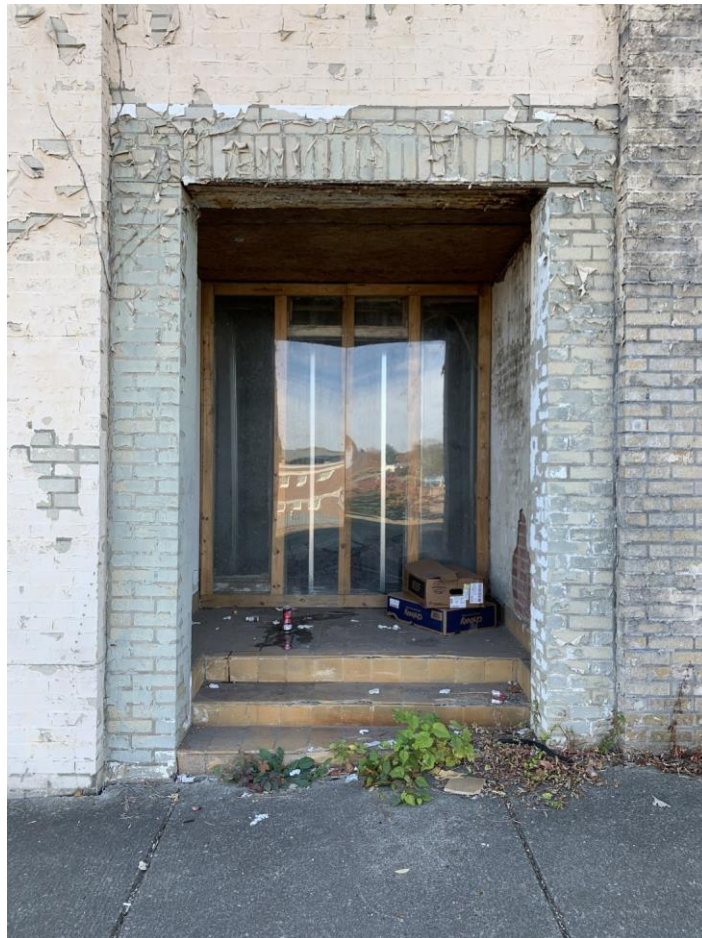


Photo 6, East elevation, Inset N. Henry Street Entryway on later addition



Photo 7, Rear elevation as seen from North Henry Street



Photo 8, Basement entryway on rear elevation. Only original entry door left on rear elevation.



Photo 9, Rear elevation, camera facing northwest



Photo 10, West elevation, camera facing northwest



Photo 11, Front and east elevations from W 2nd North Street



Photo 12, First floor, Looking from left of stairs

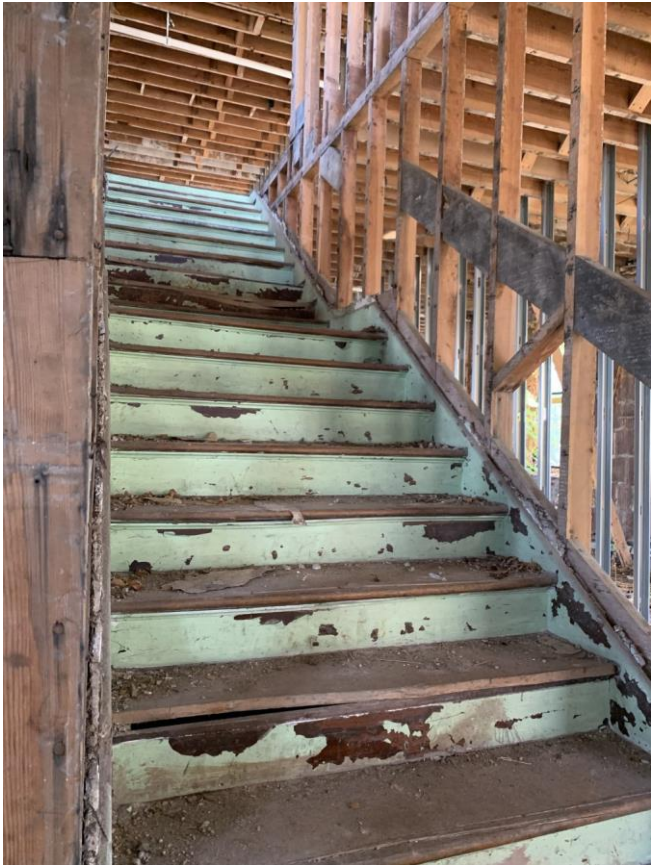


Photo 13, Interior front stair



Photo 14, First Floor facing front entryways and stair



Photo 15, First Floor, west wall from front of building



Photo 16, first floor, facing front of building



Photo 17, first floor, east wall front rear of building. Opposite wall has same conditions



Photo 18, second floor, top of stairs facing front entryways



Photo 19, second floor, northwest corner of building



Photo 20, second floor, front façade and northeast corner of building





Photo 21, second floor, facing rear and east walls from front of building (stairs to left). Wood flooring and tile finishes remain in portions



Photo 22, second floor, camera facing front from rear. East half of second floor.



Photo 23, second floor, camera facing rear. East half of second floor.



Photo 24, basement, camera facing stairs to first floor