

COPY

IN THE CHANCERY COURT FOR SCOTT COUNTY, TENNESSEE Filed 4/29 2021

**TIMOTHY M. HARRIS
and
LINDA G. HARRIS,**

at 2:20 P.M.
**Michael Potter
Clerk & Master**

PETITIONERS,

No.: 11,311

v.

**KNOWN AND UNKNOWN
INTERESTED PERSONS, INCLUDING
CHRISTY GINN;
JERILDEAN LAXTON;
DAVID LAXTON;
DWAYNE LAXTON;
TINA LLOYD; and
MATTHEW LAXTON;**

RESPONDENTS.

**PETITION FOR TERMINATING USE OF LAND AS BURIAL GROUND AND FOR
DISINTERMENT AND REINTERMENT OF JERRY LEE LAXTON**

Petitioners Timothy Harris and Linda Harris (Harrises), by and through the undersigned counsel, respectfully petition the Court for the termination of use of burial ground, all rights and easements to use said burial ground, all rights of ingress and egress relative so said burial ground, and for the disinterment and reinterment of the sole remaining decedent, Jerry Lee Laxton.

PARTIES AND JURISDICTION

1. Petitioners reside in Scott County, Tennessee at 1170 Shotoff Cliff Road, Oneida, Tennessee 37841 (Harris Property).
2. The burial ground at issue is located on the Harris Property. Accordingly, jurisdiction and venue are proper in this Court pursuant to T.C.A. § 46-4-103(a).
3. The following persons are currently buried on the Harris Property: Jerry Lee Laxton.

4. Pursuant to T.C.A. § 46-4-103(b), necessary respondents in this proceeding are all “interested persons”, which are defined in T.C.A. § 46-4-102 as the following:

As used in this chapter, unless context otherwise requires, “interested persons” means any and all persons who have any right or easement or other right in, or incident or appurtenant to, a burial ground as such, including the surviving spouse and children, or if no surviving spouse or children, the nearest relative or relatives by consanguinity of any one (1) or more deceased persons whose remains are buried in any burial ground.

5. The surviving spouse of Jerry Lee Laxton is Christy Ginn.
6. Tyler Laxton and Savannah Laxton are the children of Jerry Lee Laxton and preceded him in death. Tyler and Savannah Laxton were minors at the time of death and had no children.
7. Other known and unknown interested persons are listed as respondents above. It should be noted that David Laxton holds himself out as the Laxton family’s agent relative to the subject matter of this petition.
8. For any remaining unknown interested persons, petitioner requests that the Court cause notice to be made to all unknown interested persons by publication in a newspaper of general circulation in Scott County Tennessee, for four consecutive weeks. T.C.A. § 46-4-103(b) provides, in part, that: *Nonresident* and unknown defendants may be proceeded against by order of publication, and publication, in the manner provided by law.” See also T.C.A. § 21-1-204 (service by publication). Moreover, petitioners have provided notice in anticipation of litigation in the *Independent Herald* beginning January 21, 2021 which is scheduled to run for four (4) consecutive weeks. Exhibit A
9. In addition, petitioners have provided notice to the Tennessee Historical Commission pursuant to T.C.A. § 46-4-103(c). Exhibit B

FACTS

10. In October 2016, the Harrises purchased the Harris Property from Matthew Laxton, said property more specifically described in a warranty deed recorded in in the Scott County Register of Deeds Book 296, page 726.
11. At the time of purchase, the Harris Property contained a small burial ground wherein the remains of Jerry Lee Laxton and his two children, Tyler Laxton and Savannah Laxton (collectively “children”) were buried.
12. At the time of the Harris Property conveyance, the parties contemplated the removal of the deceased as the deed conveying the property contains the following clause:

RESERVATIONS: WITH INGRESS AND EGRESS

- (1) The Grantor reserves the right to maintain the cemetery located on this property;
- (2) The Grantor reserves unto himself and his family the right of ingress and egress to the cemetery located thereon;
- (3) The Grantor reserves the right to add two (2) additional graves to the cemetery; and
- (4) The Grantor reserves the right and access to ***remove the cemetery and will make a good faith effort to remove by December 31, 2019.***

(emphasis added) Exhibit C

13. No effort was made to remove the cemetery by December 31, 2019.
14. On June 6, 2020, Christy Ginn filed a *Petition for Disinterment and Reinterment* relative to the children which was granted by the General Sessions Court for Scott County Probate Division on June 8, 2020. Collective Exhibit D
15. Notably, the June 6, 2020 petition did not include Jerry Lee Laxton.
16. On or about June 15, 2020, the children were disinterred from the Harris Property and, upon information and belief, reinterred at West Cemetery.

17. On October 15, 2020, David Laxton, Jerry Lee Laxton's brother, joined by surviving spouse, Christy Ginn, filed a *Petition for Disinterment and Reinterment* of Jerry Lee Laxton in the General Sessions Court for Scott County Probate Division. Said petition was granted the same day. Exhibit E

18. Importantly, known interested persons David Laxton and Christy Ginn **agree** that it is in the best interest for Jerry Lee Laxton to be removed from the Harris Property as stated in paragraph six (6) of their joint *Petition for Disinterment and Reinterment* of Jerry Lee Laxton. Exhibit E

“That it is in the **material best interest for the body of the deceased to be removed** and placed in a proper cemetery chosen by Petitioner.” (emphasis added)

19. To date, Jerry Lee Laxton remains buried on the Harris Property.

20. The burial ground is abandoned, and in a neglected condition as summarized below:

- a. Large “widow-maker” tree limbs hang over and around the burial ground, consequently the site is unsuitable as a resting place.
- b. The “path/road” leading from the street to the burial ground is washed out and rutted, consequently the site is unsuitable as a resting place.
- c. During winter months, the burial ground is littered with leaves and fallen branches, consequently the site is unsuitable as a resting place.
- d. During the summer months the burial site is overgrown with weeds and fallen branches, consequently the site is unsuitable as a resting place.

21. The location of the burial ground hinder petitioner's plans for development of the property. Consequently, the site is unsuitable as a resting place.

22. In undertaking the removal and relocation of Jerry Lee Laxton, petitioners will conduct the disinterment and reinterment of the remains with due care and decency in accordance with T.C.A. § 46-4-104.
23. The remains of Jerry Lee Laxton will be removed from the Harris Property and reinterred at a suitable location to be determined by the Harrises and approved by this Court.
24. The Harries have made multiple offers in good faith to the Laxtons to pay for the relocation of Jerry Lee Laxton to the Laxton cemetery wherein Jerry Lee Laxton's father, Milford Laxton was recently buried. Both Jerry Lee Laxton's brother, David Laxton, and mother, Jerildean Laxton, have rejected the Harrises' offer.

WHEREFORE, petitioners respectfully requests that the Court:

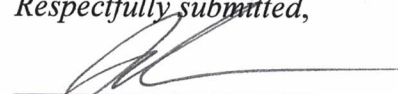
1. In accordance with T.C.A. § § 21-1-204 and 46-4-103, enter an Order authorizing notice to all nonresident and unknown interested persons by publication in a newspaper of general circulation in Scott County, Tennessee, for 4 consecutive weeks, or in the alternative order that Exhibit A satisfies the notice requirements to nonresidents or unknown persons.
2. In accordance with T.C.A. §§ 46-4-101 and 46-4-104, enter an Order finding that the burial ground at issue located on the Harris Property is unsuitable as a resting place because: (1) the burial ground is abandoned; (2) the burial ground is in an abandoned and neglected condition; (3) the conditions and activities about or near the burial ground are inconsistent with the due and proper reverence for the memory of the dead; and (4) possible development of the Harris Property in the future in the area of the burial ground is inconsistent with the proper respect and reverence due to the memory of the deceased.

3. In accordance with T.C.A. §§ 46-4-101 and 46-4-104, enter an Order terminating the use of the Harris Property as a burial ground and terminating any all rights and easements to use said burial ground and all rights of ingress and egress.
4. In accordance with T.C.A. §§ 46-4-101 and 46-4-104, enter an Order for the disinterment and reinterment of Jerry Lee Laxton to a suitable location to be chosen by petitioners and approved by this Court.

On this the 29th day of January, 2021.

Respectfully submitted,

BY:




JEFFREY C. COLLER, BPR. 30854
531 Main Street
P.O. Box 161
Jacksboro, Tennessee 37757
(865) 281-1000
jeff@knoxvillecriminaldefense.com

COST BOND

We hereby acknowledge ourselves as sureties for the costs of this cause for all costs, taxes, and damages, in accordance with Tenn. Code Ann. § 20-12-120.

BY:



JEFFREY C. COLLER, BPR. 30854
531 Main Street
P.O. Box 161
Jacksboro, Tennessee 37757
(865) 281-1000

MARKETPLACE

Deadline: Mondays @ 5 p.m. ads@ihoneida.com (423) 569-6343

Mobile Homes

DOUBLE WIDE
Scott County: 2001 Clayton double-wide, 1,800 plus sq ft., 4 bedrooms, 2 baths with Roman tubs, vaulted ceilings, new flooring, must be moved, \$18,500 OBO. Call (386-681-8058 or (615) 801-0376. (1/7-2/4)

Notices

REPORT CHILD ABUSE & NEGLECT
Call the CPS hotline at 1-877-54-ABUSE. (tf)

CRAFTERS FOR CHRIST
meet at First United Methodist Church, Main Street, Oneida, to create and provide local organizations with hand-made items for those in need (bibs for nursing homes, crocheted hats for cancer patients, etc.) at 9:30 a.m., the 1st Wednesday of each month. For more information, contact Carolyn at (423) 977-9678 or church office, 569-8828.

CELEBRATE RECOVERY
Fire & Purpose Ministries hosts Celebrate Recovery, a Christian based 12-step program designed to help with addiction, co-dependency, domestic abuse and much more, welcomes everyone. Meetings are held every Sunday, from 5 - 8 p.m. 27192 Scott Hwy, Winfield (across from Kenny's Rowboat). Food, fellowship, praise, worship, large and small groups, with childcare provided.

HUNTSVILLE PUBLIC LIBRARY
Mon 10 am - 5 pm, Tues. 10 am - 2 pm; Wed., 10 am - 5 pm; Thurs. Closed; Fri. 12:30 - 5:30 pm, Sat. 9 am - 1 pm (tf)

ONEIDA PUBLIC LIBRARY
Mon., Wed, Fri. 9 am - 5 pm; Tues., 10 am - 7 pm; Thurs. 1 - 7 pm; Sat. 9 am - Noon.

WINFIELD PUBLIC LIBRARY
Mon., 1:30-5:30 p.m.; Tues., 1:30-5:30 p.m.; Wed., 9 a.m. - 2 p.m.; Fri. 1:30-5:30 p.m.; Sat., 9 a.m. - 12 noon, Closed Thurs., Sunday. (tf)

FOR THE LOVE OF PAWS HOTLINE
(423) 226-1770. (tf)

TN ACHIEVES

Notices

WALL BUILDERS
If you are struggling with addictions or striving to keep off drugs, Wall Builders meet at Trinity Baptist Church, 2065 Old Jamestown Rd., Helenwood, every Thursday, 7 - 9 p.m. Families welcome. Preaching, teaching, food, fellowship, personal counseling (tf)

DOMESTIC VIOLENCE
Crisis Line: (423) 569-3333. If you are a victim, would like information about domestic violence or are interested in attending a support group, call (423) 569-3355. Support groups meet at 4 p.m., Thursdays. (tf)

ADULT EDUCATION
classes are offered free of charge at Tennessee College of Applied Technology's campus, Eli Lane, Oneida. Day and evening classes are available by calling 569-9348, ext. 5. (tf)

FREE CLOTHING
Second Blessings Clothes Closet, 10am-1pm, 2nd & 4th Wednesday, each month Appalachian Ministry Center (old Winfield School) 24728 Scott Hwy, Winfield. (tf)

FOOD PANTRY & THRIFT STORE:
Scott County Homeless Shelter's (1513 Jeffers Road, Huntsville) Food Pantry is available for everyone in Scott County—it is not based on income. To participate, provide a photo ID & a piece of mail with your Scott County address on it. Pantry hours: Tuesday, 10 a.m. Thrift Store hours: Monday - Friday, 10am-4pm. For more information, call 663-3333. (tf)

NARCOTICS ANONYMOUS (NA)
meets every Thursday 7pm at First United Methodist Church, 234 N. Main Street, Oneida. Enter Church St. entrance Parking in lower lot and/or Church St. (tf)

Notices

AA MEETINGS
Wednesdays, 7pm, First United Methodist Church, 234 N. Main St., Oneida. Enter Church St. entrance. Parking in lower lot and/or Church St. (tf)

Rent/Lease

2 & 3 BEDROOM MOBILE HOMES
for rent in Winfield. Utilities furnished - No pets. 569-1155 (from 9 am - 9 pm), 569-3499 (12/3tu)

1 BR APARTMENTS
w/utilities furnished, convenient location- Oneida. Also mobile home close to Helenwood Post Office, no utilities furnished, deposit/references/ steady, verifiable income required. If you are involved in drugs, do not call; 215-5779 or 569-6087 (12/3tu)

Public Notices

SUBSTITUTE TRUSTEE'S NOTICE OF FORECLOSURE SALE

Default having been made in the terms, conditions, and payments provided in a certain Deed of Trust dated August 24, 2008, executed by DONALD A. DOWNING, A SINGLE PERSON, to KATHY WOMACK, Trustee, of record in TRUST BOOK 227, PAGE 774 - 8 RE-RECORDED IN TRUST BOOK 232, PAGE 436, for the benefit of AID TO DISTRESSED FAMILIES OF APPALACHIAN COUNTIES (ADFAC), in the Register's Office for SCOTT County, Tennessee, and to J. PHILLIP JONES AND/OR JESSICA D. BINKLEY, either of whom may act, appointed as Substitute Trustee in an instrument of record in the Register's Office for SCOTT County, Tennessee, to secure the indebtedness described; WHEREAS, said Deed of Trust was last assigned to TENNESSEE HOUSING DEVELOPMENT AGENCY, the entire indebtedness having been declared due and payable by TENNESSEE HOUSING DEVELOPMENT AGENCY, being the present owner/holder or authorized agent, assignee or servicer of the note/owner of said indebtedness, has requested foreclosure proceedings to be instituted; and as provided in said Deed of Trust, J. PHILLIP JONES, JESSICA D. BINKLEY will by virtue of the power and authority vested in me as Substitute Trustee, on FRIDAY, FEBRUARY 5, 2021 at 10:00 A.M. LOCAL TIME AT THE FRONT STEPS OF THE SCOTT COUNTY COURT HOUSE IN HUNTSVILLE, SCOTT COUNTY, TENNESSEE, sell to the highest bidder for cash, free from the equity of redemption, homestead, and dower, and all other exemptions which are expressly waived, and subject to any unpaid taxes, if any, the following described property in SCOTT County, Tennessee to wit:

PROPERTY LOCATED IN THE COUNTY OF SCOTT, TENNESSEE: LOCATED IN THE SECOND (2ND)

Public Notices

CIVIL DISTRICT OF SCOTT COUNTY, TENNESSEE AND MORE FULLY DESCRIBED AS FOLLOWS:
BEGINNING ON AN IRON PIN LOCATED APPROXIMATELY N 2°00'00" W 136 FEET FROM THE INTERSECTION OF HWY. 82 AND THE WEST ROBBINS ROAD, BEING IN THE 2ND CIVIL DISTRICT OF SCOTT COUNTY, TENNESSEE, SAID CORNER REFERENCED TO AND STANDING AT A POINT N 23°43'44" E 13.98 FEET FROM AN IRON PIN, BEING A COMMON CORNER OF SAID 2.47 ACRE TRACT, THENCE FROM THE BEGINNING RUNNING N 23° 43'44" E 248.42 FEET TO A NAIL IN ROAD, BEING A SOUTHWEST CORNER TO THE HICKS CEMETERY, THENCE WITH THE SOUTH LINE OF SAID CEMETERY AT 9 58°59'31" E CROSSING THE SOUTHEAST CORNER OF CEMETERY AT 180.13 FEET IN ALL 513.24 FEET TO AN IRON PIN IN A PAINTED LINE, THENCE WITH SAID PAINTED LINE AT 9 82°51' W 153.99 FEET TO AN IRON PIN WITH MAPLE AND POPLAR POINTERS, THENCE RUNNING WITH THE DIVISIONAL LINE OF THE APPALACHIA HABITAT TRACT AT N 82°33' W 270.00 FEET TO AN IRON PIN, BEING THE POINT OF BEGINNING, CONTAINING 1.09 ACRES, MORE OR LESS.
SURVEYED JULY 7, 2008 BY C

Continued on Page B7

ADVERTISEMENT FOR BIDS

Huntsville Utility District will be accepting sealed bids for these listed items:

- 1998 Chevrolet Kodiak C7500 Dump Truck
- 2000 12 ton / 25ft Equipment trailer
- 1994 Chevrolet Kodiak C7500 Dump Truck
- 2004 Chevrolet Silverado 1500 truck
- 1998 Vermeer V-8100 Trencher

All sealed bids are to have the item being bid on written on the front of the envelope. **If you are bidding on more than 1 item, please place each bid in its own envelope.** Also, in the bid envelope you will need your name and phone number to reach you by.

For further questions, you can call the office at 423-663-3550.

Sealed bids are to be dropped off at the office at 300 Larry Crowley Way, Huntsville, Tennessee by **February 8, 2021 by 12:00 noon.** The bids will be opened that evening at 4:00 pm at the regular board meeting. Huntsville Utility District reserves the right to reject any and all bids.

(01/14-02/04/2021)

PUBLIC NOTICE

TO DELINQUENT TAXPAYERS OF SCOTT COUNTY

Chancery Court Suits are now being prepared by Delinquent Tax Attorney on all delinquent 2019 Scott County taxes.

This validating action is required by State Law, Tennessee Code Annotated Section 67-5-2401. You are advised that after February 1, additional penalties and costs will be imposed in consequence of suits to be filed for enforcement of the lien for taxes against land; until the filing of such suits, taxes may be paid at my office. By paying these past-due and delinquent taxes by February 28, you may save:

COURT COST ON EACH PARCEL
PLUS ATTORNEY FEE ON EACH PARCEL
PLUS ADDITIONAL PENALTY ON EACH PARCEL

Summons will be prepared on each parcel and served under jurisdiction of Chancery Court.

PLEASE DO YOUR BEST TO AVOID THIS COSTLY PROCEDURE

February 28, 2021 is the last day to pay the 2020 Property Taxes without interest and penalty.

Jimmy D. Byrd, Trustee
Scott County
663-2598

(01/14-01/21/2021)

Mostoller, Stulberg, Whitfield & Allen
BANKRUPTCY ATTORNEYS AT LAW

BANKRUPTCY LAW Chapter 7 Chapter 13
Certified as a Consumer Bankruptcy Specialist by the Tennessee Commission on Continuing Legal Education and Specialization
"We Are A Debt Relief Agency. We Help People Get Out of Bankruptcy Relief Under the Bankruptcy Code."
136 S. Illinois Ave., Suite 104
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Mostoller, Stulberg, Whitfield & Allen
Law Firm

Social Security Disability
Attorneys:
Hannah Tippett

No Fee Unless Approved for Benefits
136 S. Illinois Ave., Suite 104
Oak Ridge • (865) 482-4466
www.mslaw.com

Court-Ordered
REAL ESTATE AUCTION
Homer Chambers Estate • Probate No. 2020-PR-19
SATURDAY - JANUARY 30
tabbles

EXHIBIT
A

Under the TN Achieves Program, all high school seniors in Scott County have the opportunity to attend Roane State Community College for 2 years for the cost of books. For additional information, contact your guidance counselor. (rf)

NOTICE PURS TO TCA 46-8-103(c)

Name of Proponent of Action: Timothy & Linda Harris

Location of Property: 1170 Shutoff Cliff Road, Oneida, TN 37841

Any names that can be discerned from the site of any person there interred: Jerry Lee Laxton

10/21 02/11/2020)

**HIGHLAND TELEPHONE COOPERATIVE, INC.
NONDISCRIMINATION STATEMENT**

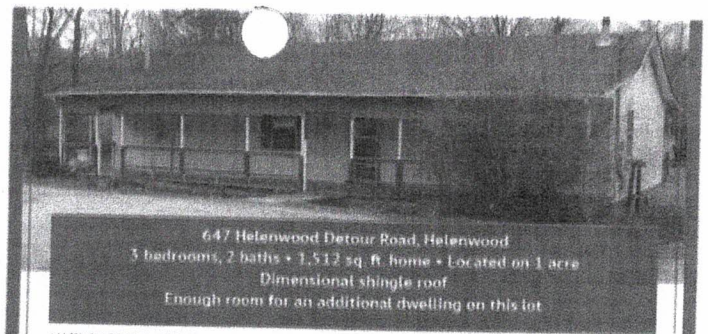
In accordance with Federal civil rights law and U.S. Department of Agriculture (USDA) civil rights regulations and policies, the USDA, its Agencies, offices, and employees and institutions participating in or administering USDA programs are prohibited from discriminating based on race, color, national origin, religion, sex, gender identity (including gender expression), sexual orientation, disability, age, marital status, family/parental status, income derived from a public assistance program, political beliefs, or reprisal or retaliation for prior civil rights activity, in any program or activity conducted or funded by USDA (not all bases apply to all programs). Remedies and complaint filing deadlines vary by program or incident.

Persons with disabilities who require alternative means of communication for program information (e.g., Braille, large print, audiotape, American Sign Language, etc.) should contact the responsible Agency or USDA's TARGET Center at (202) 720-2600 (voice or TTY) or contact USDA through the Federal Relay Service at (800) 877-8339. Additionally, program information may be made available in languages other than English.

To file a discrimination complaint, complete the USDA Program Discrimination Complaint Form, AD-3027, found online at http://www.aser.usda.gov/complaint_filing_cust.html and at any USDA office or write a letter addressed to USDA and provide in the letter all of the information requested in the form. To request a copy of the complaint form, call (866) 632-9992. Submit your completed form or letter to USDA by:

- (1) mail: U.S. Department of Agriculture
Office of the Assistant Secretary for Civil Rights
1400 Independence Avenue, SW
Washington, D.C. 20250-9410;
- (2) fax: (202) 690-7442; or
- (3) email: program.intake@usda.gov

This institution is an equal opportunity provider and employer



647 Helenwood Detour Road, Helenwood
3 bedrooms, 2 baths • 1,512 sq. ft. home • Located on 1 acre
Dimensional shingle roof
Enough room for an additional dwelling on this lot

AUCTIONEER'S NOTE: This home is structurally sound and will make a great rental home or good place to call home. In a good location, 1 minute from Hwy. 27. Plenty of room.

DIRECTIONS: From U.S. Hwy 27, go west on Main Street one-fourth mile, cross railroad tracks, go right one-half mile. Property will be on the left. Watch for signs.

OPEN HOUSE: SUNDAY, JANUARY 24, 2 PM - 3 PM

County Property Taxes: \$449.05 Map 077, Parcel 041, Book 114, Page 143

TERMS: 10% down day of sale. A 10% buyer's premium will be added to the final bid to determine the final sale price. Selling "AS-IS". Balance dues within 60 days of court confirmation.

Sale conducted for Donnie Phillips, Scott County Probate Clerk, subject to court rules.

Disclosure: Information day of sale takes precedence over all previous advertising.

Longmire
AUCTION REAL ESTATE

423-286-LAND (5263) • 17647 ALBERTA • ONEIDA, TN 37841
jesslongmirerealestate.com • TAL#5002

AUCTIONEERS: Jess Longmire, David Longmire, Luke Longmire



JEFFREY COLLER

KNOXVILLE CRIMINAL DEFENSE ATTORNEY

Phone: 865-281-1000

knoxvillecriminaldefenselaw.com

Fax: 865-590-4439

KNOXVILLE OFFICE:

550 Main Street SW, Suite 775 • Knoxville, TN 37902

MAILING ADDRESS:

Post Office Box 161 • Jacksboro, TN 37757

JACKSBORO OFFICE:

531 Main Street • Jacksboro, TN 37757

January 18, 2021

(Via Email and U.S. Mail)

Tennessee Historical Commission
c/o E. Patrick McIntyre, Jr.
Executive Director and State Historic Preservation Officer
312 Rosa L. Parks Avenue
Nashville, TN 37243
Patrick.McIntyre@tn.gov

Tennessee Historical Commission
c/o Mr. G. Graham Perry III, ABD
Historic Preservation Specialist-Cemeteries
2941 Lebanon Pike
Nashville, TN 37214
Graham.Perry@tn.gov

**RE: Tenn. Code Ann. §46-4-103(c)(1)(A)- Filing of Notice re: Cemetery at
1170 Shotoff Cliff Road, Oneida, TN 37841**

Dear Mr. McIntyre and Mr. Perry,

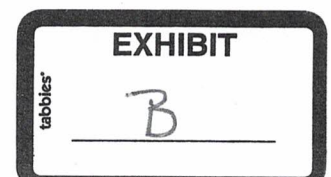
Please take notice that Timothy and Linda Harris (Harrises) are seeking to transfer the remains of Jerry Lee Laxton from the real property located at 1170 Shotoff Cliff Road, Oneida, Tennessee 37841, commonly known as Chestnut Ridge Cemetery. This cemetery was established approximately April 2003.

Accordingly, this letter serves as notice under TCA §43-4-103(c) that the Harrises intend to file a Petition in the Chancery Court of Scott County, Tennessee to terminate the use of Chestnut Ridge Cemetery as a burial ground. In 2020, Tyler Laxton and Savannah Laxton were disinterred from Chestnut Ridge Cemetery and reinterred at West Cemetery in Scott County, Tennessee. Any names that can be discerned from the site of any person therein interred is Jerry Lee Laxton.

If you have any questions, please do not hesitate to contact me at the number above.

Very truly yours,

Jeffrey C. Coller



This deed prepared without benefit of title search and upon information furnished by the parties.

This instrument must be recorded in the Register's Office of the County where property below is located.

Name and Address of Owner:	Map and Parcel Numbers:
Timothy M. Harris and wife, Linda G. Harris P. O. Box 90586 Lakeland, FL 33804	[MAP: 17 [PARCEL: 4.01
Name and Address of Person Responsible for Taxes:	This Instrument Prepared on Information Furnished by the Parties By:
Timothy M. Harris and wife, Linda G. Harris P. O. Box 90586 Lakeland, FL 33804	[Sexton, Sexton & Leach, P.C. [425 Industrial Lane [P.O. Box 4187 [Oneida, TN 37841 [(423) 569-8341

WARRANTY DEED

THIS INDENTURE, made this 30th day of October, 2016, between MATTHEW LAXTON, of Scott County, in the State of Tennessee, party of the first part, and TIMOTHY M. HARRIS and wife, LINDA G. HARRIS, of Polk County, Florida, parties of the second part.

WITNESSETH

That the said party of the first part, for and in consideration of the sum of Ten (\$10.00) Dollars and other valuable consideration to him in hand paid by the said parties of the second part, the receipt of which is hereby acknowledged, has granted, bargained, sold, conveyed and does hereby grant, bargain, sell and convey unto the said parties of the second part, the following described premises, to-wit:

"Located in the Fourth (4th) Civil District of Scott County, Tennessee, lying on the waters of Williams Creek and Fanchers Camp Fork, and identified on the records of the Scott County Tax Assessor as Map 17, Parcel 4.00, and more fully described by metes and bounds by the following directive calls, to-wit:

"BEGINNING ON A METAL DISC ON THE EASTERN SIDE OF SHOTTOFF CLIFF ROAD SAID POINT BEARS N 65 31' 00" 76.80 FT FROM CONCRETE MONUMENT 509-2. THENCE WITH THE LINE OF BIG SOUTH FORK N 65 31' 00" E 1647.46 FT TO A CONCRETE MONUMENT 509-1. THENCE WITH THE LINE OF DON JEFFERS S 5 00' 00" E 1736.59 FT. TO AN IRON PIN ON THE NORTH SIDE OF SHOTTOFF CLIFF ROAD THENCE WITH THE MEANDORS OF SHOTTOFF CLIFF RD THE FOLLOWING CALLS S 88 43' 09" W 80.52 FT TO A POINT THENCE WITH A CURVE TO THE LEFT A RADIUS OF 359.85 FT A LENGTH OF 130.80 FT A CHORD BEARING OF N 82 04' 56" W 130.08 FT TO A POINT THENCE N 68 34' 58" W 250.98 FT TO A POINT THENCE WITH A CURVE TO THE LEFT A RADIUS OF 3244.02 LENGTH OF 331.57 CHORD BEARING N 75.39' 23" W 331.42 FT TO A

FILED
DATE 11/24 TIME 10:11
DONNIE PHILLIPS, CLERK

EXHIBIT

C

tabbles

party, then and in such event, Grantor's "first right of refusal" against the Property is forever and fully terminated, and shall have no effect on said third-party purchaser of the entire Property, or its heirs, successors or assigns."

MINERAL RIGHTS: It is the intent of the Grantor to quitclaim and release over to Grantee all of its rights, title and interest to the mineral rights in and under the Property herein conveyed; however, the Grantor makes this conveyance without any warranties or covenants whatsoever and subject to any prior deeds or other documents of public record that would be a cloud on the title to the mineral rights in and under the real property herein conveyed, without acknowledging any validity to such deeds or documents

RESERVATIONS: WITH INGRESS AND EGRESS:

- (1) The Grantor reserves the right to maintain the cemetery located on this property;
- (2) The Grantor reserves unto himself and his family the right of ingress and egress to the cemetery located thereon;
- (3) The Grantor reserves the right to add two (2) additional graves to the cemetery; and
- (4) The Grantor reserves the right and access to remove the cemetery and will make a good faith effort to remove by December 31, 2019.

RESTRICTIVE COVENANTS

The above-described Property shall be affected by, and this conveyance is made subject to, the restrictive covenants, easements, reservations and other land use restrictions (hereafter collectively referred to as the "Covenants") set forth below, said Covenants applying to Grantee, and Grantee's heirs, successors and assigns, and to all future transferees of real property deriving from the parent acreage conveyed in this instrument. These Covenants, as originally enacted by the Grantor, Matthew Laxton, are hereby established as follows:

There shall be no mobile homes or double-wide mobile homes, allowed or located on a lot at any time or for any reason, either temporarily or permanently.

The Covenants set forth above shall be binding on all heirs, successors, assigns and future transferees of tracts deriving from the parent Property described herein, and shall run with the land for a period of twenty-five (25) years from the date of October 3, 2016.

The attorney preparing this document is not the closing attorney in this transaction.

The drafters of this deed by virtue of its preparation, make no representations whatsoever regarding the status of title, encroachments, acreage, easements or other access, or the accuracy of the boundary-calls for the real property described herein; this instrument was prepared solely from the directions, notes and bounds description, and other information provided by the grantor(s) and grantee(s) named in this deed.

TO HAVE AND HOLD the said premises to the said parties of the second part, their heirs and assigns forever.

And the said party of the first part, for himself and for his Heirs, Executors and Administrators does hereby covenant with the said parties of the second part, their heirs and assigns, that he is lawfully seized in fee simple of the premises above conveyed and he has full power,

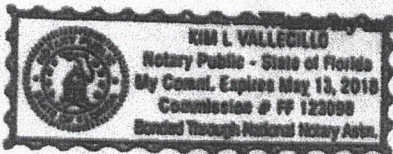
authority and right to convey the same; that said premises is free from all encumbrances and that he will forever warrant and defend the said premises and the title thereto against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal the day and year first above written.

Matthew Laxton
MATTHEW LAXTON

Florida (w)
STATE OF TENNESSEE
COUNTY OF SCOTT Bay (w)

Personally appeared before me, a Notary Public of said County and State, the within named bargainer, MATTHEW LAXTON, with whom I am personally acquainted, or proved to me on the basis of satisfactory evidence, and who acknowledged that he executed the within instrument for the purposes therein contained.



and official seal at office this 3rd day of October, 2016.

Kim L. Vallecillo
NOTARY PUBLIC

My Commission Expires: May 13, 2018

STATE OF TENNESSEE
COUNTY OF SCOTT

I, or we, hereby swear or affirm that the actual consideration for this transfer, or value of the property transferred, whichever is greater, is \$ 143,500.00 which amount is equal to or greater than the amount which the property transferred would command at a fair, voluntary sale.

Tim Davis
Signed

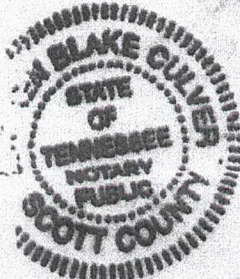
Subscribed and sworn to before me this 5 day of October, 2016.

Diana Blakely Culver
NOTARY PUBLIC

My Commission Expires: 1/24/18

STATE OF TENNESSEE, SCOTT COUNTY

Received October 21, 2016 at 11:24 AM
and recorded in Deed Book 296 Page 726
and entered in Note Book 0 Page 10
State Tax \$ 730.75 Fee 1.00 Recording Fee \$ 20.00
Data Fee 2.00 Total \$ 753.75 Receipt No. 56258



Curtis B. Pate
Register

IN THE PROBATE COURT FOR SCOOT COUNTY, TENNESSEE
AT HUNTSVILLE

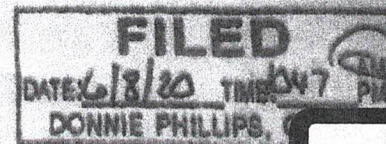
IN RE: TYLER LAXTON AND
SAVANNAH LAXTON

)
)
)
NO 2020-CV-183

PETITION FOR DISINTERMENT AND RE-INTERMENT

Comes now your Petitioner, Christy Ginn, and would petition this Honorable Court for disinterment and re-interment of her minor children, Tyler Laxton and Savannah Laxton. For Grounds the Petitioner would show as follows:

1. The Petitioner is the Natural Mother of the deceased, Tyler and Savannah Laxton.
2. The bodies of the Tyler Laxton and Savannah Laxton were buried on real property that was believed to be dedicated as a family cemetery when laid to rest.
3. Petitioner has discovered that the real property was not dedicated as a family cemetery and has in fact been sold to Timothy and Lisa Harris.
4. Petitioner has discussed the removal of the bodies of the deceased with the land owners and has their full consent to remove the bodies of the deceased.
5. The Harrises when receiving their real property were in contemplation of the removal of the deceased, for the deed conveying the property to them had a restriction for the removal of the deceased. Attached Deed.
6. That it is in the material best interest for the bodies of the deceased to be removed and placed in a proper cemetery chosen by the Petitioner.



EXHIBIT

tabbles

D (coll.)

WHEREFORE, having fully set forth grounds, your Petitioner respectfully requests this Court to allow the disinterment of the bodies of Tyler Laxton and Savannah Laxton, and that all cost will be borne by the Petitioner.

Submitted this 8 day of June, 2020.



CHRISTY GINN



IN THE GENERAL SESSIONS COURT FOR SCOTT COUNTY, TENNESSEE
PROBATE DIVISION

IN RE: Tyler and Savannah Laxton

No. 2020-CV-163

Petitioner(s): Christy Ginn

FILED
DATE: 6/18/20 TIME 2:56 AM
DONNIE PHILLIPS, CLERK

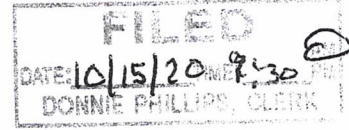
ORDER FOR DISINTERMENT/RE-INTERMENT

This cause having been heard on the 8 day of June 2020 before the Honorable James L. Cotton, Jr., Probate Judge of Scott County, Tennessee and abased upon a petition for Interment filed by the Petitioner(s), Christy Ginn, statement of counsel, and the entire record of this cause, it is ORDERED ADJUDGED AND DECREED that Tyler and Savannah Laxton be disinterred from the Chestnut Ridge Cemetery and be re-interred in the West Cemetery.

Entered this the 8 day of June, 2020


Honorable James L. Cotton, Jr.
CLERK

IN THE GENERAL SESSION COURT FOR FOR SCOTT COUNTY TENNESSEE
PROBATE DIVISION



IN RE: JERRY LEE LAXTON,)

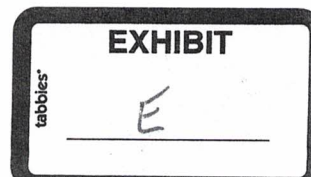
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NO. 2020 CV-340

PETITION FOR DISINTERMENT AND RE-INTERMENT

Comes now your Petitioner, David Laxton, and would petition this Honorable Court for disinterment and re-interment of his brother, Jerry Lee Laxton. For grounds the Petitioner would show as follows:

1. The Petitioner is the brother of the deceased, Jerry Lee Laxton.
2. The body of Jerry Lee Laxton was buried on real property that was believed to be dedicated as a family cemetery when laid to rest.
3. Petitioner knows that the real property was not dedicated as a family cemetery and has been sold to Timothy Harris and Lisa Harris.
4. Petitioner has discussed the removal of the body of the deceased with the land owners and have their full consent to remove the body of the deceased.
5. The Harrises, when receiving their real property were in contemplation of the removal of the deceased, for the deed conveying the property to them had a restriction for the removal of the deceased.
6. That it is in the material best interest for the body of the deceased to be removed and placed in a proper cemetery chosen by the Petitioner.



7. That Christy Ginn, as surviving spouse of Jerry Lee Laxton, joins in this Petition to give her consent for the removal and re-interment.

8. Petitioner files herewith a copy of the deed on which the decedent is buried and where recorded in the Register's Office of Scott County, Tennessee.

WHEREFORE, having fully set forth grounds, your Petitioner respectfully requests this Court to allow the disinterment of the body of Jerry Lee Laxton and that all cost will be borne by the Petitioner, David Laxton.

Submitted this 7th day of ~~September~~ ^{October}, 2020.

David Laxton
DAVID LAXTON
Christy Ginn
CHRISTY GINN

STATE OF TENNESSEE
COUNTY OF SCOTT

Personally appeared before me, a Notary Public of said County and State, the within named affiant, David Laxton, with whom I am personally acquainted, or proved to me on the basis of satisfactory evidence, and who acknowledged that he executed the within instrument for the purposes therein contained.

Witness my hand and official seal at office this 14th day of October, 2020.



Erika L. Byrge
NOTARY PUBLIC

My Commission Expires: 12-19-23

STATE OF TENNESSEE
COUNTY OF SCOTT

Personally appeared before me, a Notary Public of said County and State, the within named affiant, Christy Ginn, with whom I am personally acquainted, or proved to me on the basis of satisfactory evidence, and who acknowledged that she executed the within instrument for the purposes therein contained.

Witness my hand and official seal at office this 7th day of October, 2020.

Erika L. Byrge
NOTARY PUBLIC



My Commission Expires: 12-19-23

IN THE GENERAL SESSION COURT FOR FOR SCOTT COUNTY TENNESSEE
PROBATE DIVISION

IN RE: JERRY LEE LAXTON,)

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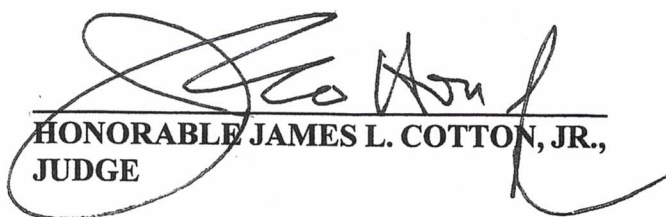
NO. 2020 CV-340

Petitioner: David Laxton

ORDER FOR DISINTERMENT AND RE-INTERMENT

This cause having been heard on the 15 day of October, 2020, before the Honorable James L. Cotton, Jr., Probate Judge of Scott County, Tennessee, and based upon a petition for Disinterment and Re-Internment filed by the Petition, David Laxton, and agreement of Christy Ginn, statement of counsel, and the entire record of this cause, it is ORDERED, ADJUDGED AND DECREED that Jerry Lee Laxton be disinterred from the Chestnut Ridge Cemetery and be re-interred in the Laxton Cemetery.

ENTERED this the 15 day of October, 2020.


HONORABLE JAMES L. COTTON, JR.,
JUDGE