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JOINT FORCE HEADQUARTERS REROOF AND FACILITY UPDATE

NASHVILLE, DAVIDSON COUNTY, TN

SBC PROJ. No. 361/067-01-2017

CONSTRUCTION DOCUMENTS

OWNER

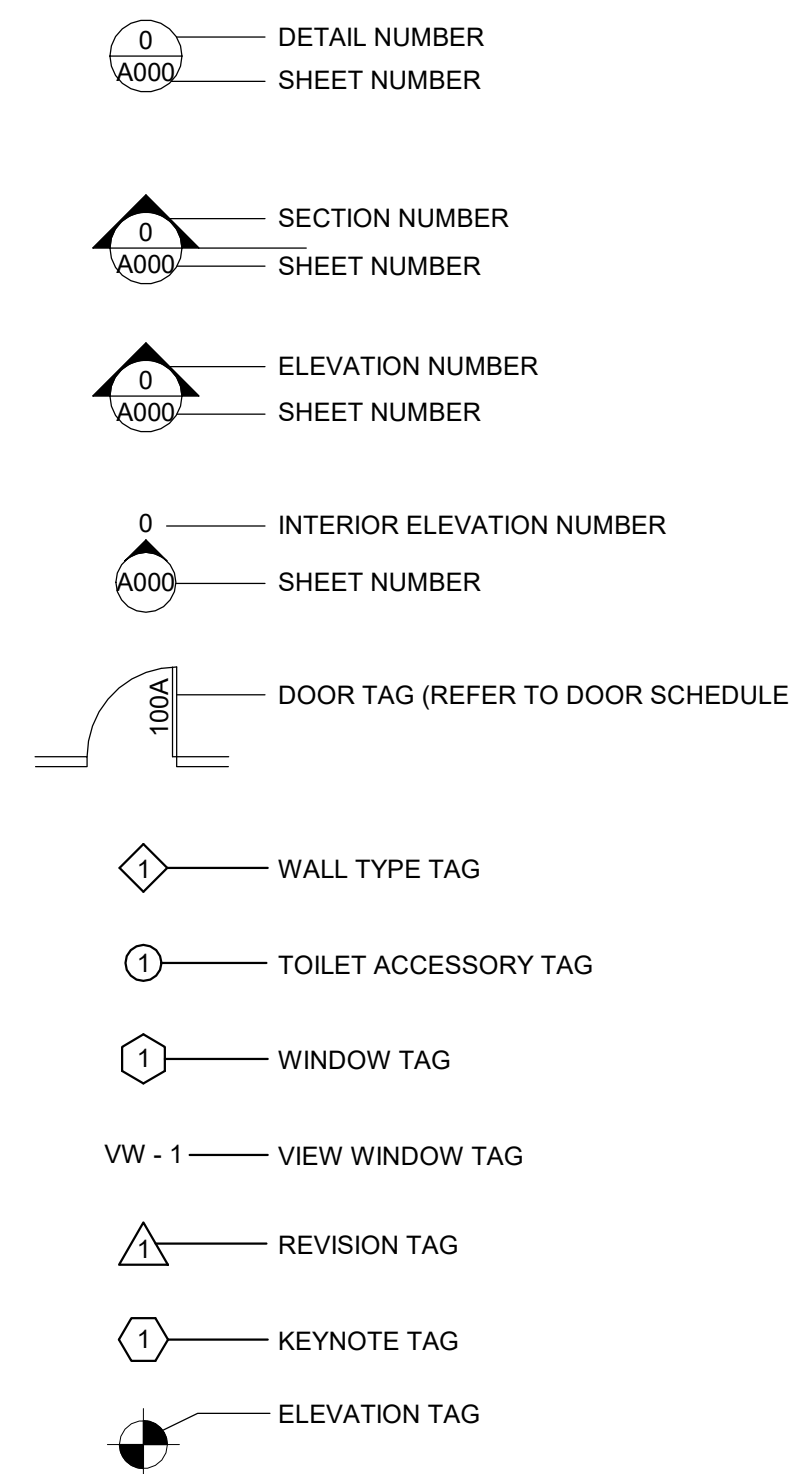
STATE OF TENNESSEE, Army National Guard
Department of Military
3401 Sidco Dr
Nashville, TN 37204



Johnson + Associates
Architects, Inc Architecture . Interior Design . Planning

JAA PROJECT # A93-102017

GRAPHIC SYMBOLS



GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR MUST FIELD MEASURE AND VERIFY BUILDING CONDITIONS BEFORE STARTING CONSTRUCTION.
- VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DIMENSIONS ON THE SHOP DRAWINGS.
- NOTIFY THE DESIGNER OF ANY VARIATION IN THE DIMENSIONS NOTED FOR VERIFICATION FOR THE INSTALLATION OF EQUIPMENT OR OTHERWISE BEFORE CONTINUING WITH THE WORK.
- CLEARANCE DIMENSIONS SHALL BE MAINTAINED. ALIGN NEW CONSTRUCTION WITH EXISTING CONSTRUCTION.
- FLOOR PLAN DIMENSIONS ARE FROM FACE OF EXISTING MASONRY CONSTRUCTION AND ARE TO CENTERLINE OF STUD PARTITIONS UNLESS OTHERWISE INDICATED.
- IN THE EVENT DISCREPANCIES ARE FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE CONTINUING WORK IN QUESTION.
- PATCH, REPAIR AND REPLACE EXISTING FINISHES AS REQUIRED TO INTEGRATE NEW CONSTRUCTION TO EXISTING ADJACENT SURFACES.
- ALL ABANDONED FLOOR OR WALL PENETRATIONS SHALL BE PATCHED AND REPAIRED TO MAINTAIN FLOOR OR WALL INTEGRITY AND FIRE RATINGS.
- CONCEAL ALL CONDUIT IN WALLS AND ABOVE CEILING. FURR OUT WALLS AS NECESSARY.
- MAINTAIN INTEGRITY OF EXISTING WALL RATINGS.
- ALL RATED WALLS ARE CONTINUOUS ABOVE AND BELOW DOORS AND WINDOWS.
- ALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED. ALL WOOD USED IN AREAS WHERE EXPOSURE TO MOISTURE IS POSSIBLE AND AT EXTERIOR WALLS SHALL BE TREATED TO RESIST ROT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING CONSTRUCTION SEQUENCES WITH THE OWNER IN ORDER TO FACILITATE THE OWNER'S CONTINUING USE OF THE BUILDING. THIS SHALL INCLUDE PROVIDING FOR APPROVED TEMPORARY ENTRANCES AND EXITS FROM THE BUILDING, AND TEMPORARY PROTECTIVE WALLS AND DUST PARTITIONS.
- THE AREA OF WORK MUST BE SECURE AT THE END OF EACH WORKING DAY. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS AND ERECT TEMPORARY BARRIERS AS NECESSARY.
- REFER TO DEMOLITION NOTES AND PLANS FOR ADDITIONAL INFORMATION AND COORDINATION.
- REFER TO CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS AND ALL OTHER CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION AND COORDINATION.
- BEFORE BEGINNING WORK, THE CONTRACTOR MUST REVIEW THE EXISTING CONSTRUCTION AND REPORT ANY EXISTING MOLD CONDITIONS. DURING CONSTRUCTION THE CONTRACTOR MUST PREVENT ANY MOLD CONDITIONS FROM FORMING AS A RESULT OF THE CONSTRUCTION EFFORT.
- REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS. SOME OF WHICH MAY NOT BE VERIFIABLE WITHOUT DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING. THE DESIGNER AND THE DESIGNER'S CONSULTANTS ARE NOT RESPONSIBLE FOR CONDITIONS DISCOVERED DURING CONSTRUCTION THAT DIFFER FROM THOSE INDICATED. THE CONTRACTOR, UPON MAKING SUCH A DISCOVERY, SHALL IMMEDIATELY NOTIFY THE DESIGNER AND OBTAIN A CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- "NON-DISCRIMINATION STATEMENT" ALL DESIGN AND CONSTRUCTION SHALL BE IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE JUSTICE DEPARTMENT'S STANDARD FOR ACCESSIBLE DESIGN (JDSAD), INITIALLY SET FORTH IN 28CFR36, APP A EFFECTIVE AT THE DATE OF IMPLEMENTATION.
- THE CONTRACTOR SHALL OBTAIN A "HOT WORK" PERMIT PRIOR TO BEGINNING ANY WELDING, CUTTING, BRAZING, GRINDING, OR OTHER ACTIVITY THAT GENERATES SPARKS CAPABLE OF CAUSING COMBUSTION PER NFPA 518 AND NFPA 661.

PLAN REVIEW DATA

- I. PRIMARY APPLICABLE CODES**
- STATE OF TN**
- 2012 INTERNATIONAL BUILDING CODE EXCEPT FOR CH 11, SECTION 941 ACCESSIBILITY FOR EXG BUILDINGS
 - 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2012 INTERNATIONAL EXISTING BUILDING CODE
 - 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
 - 2010 ADA STANDARDS FOR ACCESSIBILITY DESIGN
 - 2012 INTERNATIONAL PLUMBING CODE
 - 2012 INTERNATIONAL MECHANICAL CODE
 - 2012 INTERNATIONAL FUEL GAS CODE
 - 2008 NATIONAL ELECTRICAL CODE
 - 2012 INTERNATIONAL FIRE CODE
 - 2012 LIFE SAFETY CODE (NFPA 101)
 - 2011 TENNESSEE ELEVATOR CODE AND ITS SUPPLEMENTS
 - 2007 EDITION OF BOILER AND UNFIRE PRESSURE VESSEL INSPECTION LAW, RULES AND REGULATIONS
 - 2007 ASHRAE STD 90.1
 - 2007 ASHRAE STD 90.2
 - 2007 ASHRAE STD 62
- RULES OF TN DEPT OF COMMERCE AND INSURANCE**
- CH 0780-2-1 ELECTRICAL INSTALLATIONS
 - CH 0780-2-2 CODES AND STANDARDS
 - CH 0780-2-3 PLANS AND SPECS REVIEW
 - CH 0780-2-18 EQUITABLE RESTROOMS
- RULES OF TN DEPT OF ENVIRONMENT AND CONSERVATION**
- CH 0400-40-02 WATER RESOURCES REGULATIONS
 - CH 1200-01-18 LEAD BASED PAINT ABATEMENT
 - CH 1200-01-20 ASBESTOS ACCREDITATION REQUIREMENTS
 - CH 1200-03-09 GENERAL REQUIREMENTS FOR CONSTRUCTION PERMITS
 - CH 1200-03-11 HAZARDOUS AIR CONTAINMENT REGULATION
- ANY LOCAL CODES AND AMENDMENTS**
- SEE SECTION 01 41 15 OF PROJECT MANUAL FOR FURTHER INFORMATION

DRAWING INDEX

GENERAL	DRAWING INDEX/PLAN REVIEW DATA/GENERAL INFORMATION
G100	
CIVIL	GRADING AND DRAINAGE PLAN
C100	
DEMOLITION	FIRST FLOOR DEMOLITION PLAN
D101	
D300	ROOF DEMOLITION PLAN
ARCHITECTURAL	FIRST FLOOR PLAN
A100	
A200	FIRST FLOOR REFLECTED CEILING PLAN
A300	OVERALL ROOF PLAN AND DETAILS
A350	ROOF DETAILS
A400	EXTERIOR ELEVATIONS
A475	WALL SECTIONS AND DETAILS
MECHANICAL	DEMOLITION - FLOOR PLAN
M101	
M201	NEW CONSTRUCTION - FLOOR PLAN

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ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	MAX	MAXIMUM
ADA	AMERICANS W/ DISABILITIES ACT	MFR	MANUFACTURER
AFF	ABOVE FINISHED FLOOR	MIN	MINIMUM
AHU	AIR HANDLING UNIT	MO	MASONRY OPENING
ALUM	ALUMINUM	MTL	METAL
BLDG	BUILDING	OC	ON CENTER
BO	BOTTOM OF	OD	OVERFLOW DRAIN (COORD W/ PLUMBING)
CFS	CLEAR FLOOR SPACE	OH	OPPOSITE HAND
CJ	CONTROL JOINT	OS	OVERFLOW SCUPPER
CLG	CEILING	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	RD	ROOF DRAIN
COL	COLUMN	RWL	RAIN WATER LEADER (COORD W/ PLUMBING)
CONC	CONCRETE	RWL	RAIN WATER LEADER (COORD W/ PLUMBING)
CONT	CONTINUOUS	SIM	SIMILAR
DET	DETAIL	TD	TRENCH DRAIN (COORD W/ PLUMBING)
DIA	DIAMETER	TME	TO MATCH EXISTING
EF	EXHAUST FAN (COORD W/ MECHANICAL)	TOS	TOP OF STEEL (COORD W/ STRUCTURAL)
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	TYP	TYPICAL
EJ	EXPANSION JOINT	UNO	UNLESS NOTED OTHERWISE
EL	ELEVATION	VIF	VERIFY IN FIELD
EQ	EQUAL		
EWC	ELECTRIC WATER COOLER (COORD W/ PLUMBING)		
EXG	EXISTING		
EXT	EXTERIOR		
FD	FLOOR DRAIN (COORD W/ PLUMBING)		
FE	FIRE EXTINGUISHER		
FEC	FIRE EXTINGUISHER CABINET		
FFE	FINISHED FLOOR ELEVATION		
FHC	FIRE HOSE CABINET (COORD W/ PLUMBING)		
FLR	FLOOR		
FRT	FIRE RETARDANT TREATED		
FV	FIELD VERIFY		
GALV	GALVANIZED		
HM	HOLLOW METAL		

DEMOLITION NOTES

- DO NOT SCALE DRAWINGS.
- REFER TO CIVIL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR EXISTING UTILITIES TO REMAIN. FIXTURES TO BE RELOCATED OR REMOVED AND FOR ADDITIONAL DEMOLITION INFORMATION.
- ANY DEMOLITION IMPLIED OR INFERRED ON THE CONTRACT DOCUMENTS REQUIRED TO IMPLEMENT THE DESIGN INTENT SHALL BE ANTICIPATED BY THE CONTRACTOR, WHETHER SHOWN ON THE DEMOLITION PLAN OR NOT. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- COORDINATE DEMOLITION PLAN WITH PLAN FOR NEW CONSTRUCTION FOR EXTENT OF REMOVAL.
- CONTRACTOR SHALL ASSUME THAT ALL EXISTING SERVICES SHALL REMAIN IN OPERATION DURING DEMOLITION AND CONSTRUCTION. NO OUTAGES OF SERVICE WILL BE ALLOWABLE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC AND BUILDING OCCUPANTS DURING DEMOLITION AND CONSTRUCTION. A PHASED REMOVAL AND CONSTRUCTION PROCESS WILL BE REQUIRED.
- CONTRACTOR SHALL USE SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY DEMOLITION WORK.
- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL EXISTING BUILDING COMPONENTS TO REMAIN.
- WHEN PERFORMING DEMOLITION WORK, PROCEED WITH CAUTION, SHORE UP WHEN REQUIRED. REMOVE NO STRUCTURAL ELEMENT UNLESS THE ARCHITECT HAS BEEN CONSULTED AND THE STRUCTURAL ENGINEER HAS GRANTED APPROVAL.
- ALL DEMOLISHED MATERIAL NOT OTHERWISE DESIGNATED BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
- THE DEMOLITION INFORMATION SHOWN HAS BEEN TAKEN FROM EXISTING RECORD DOCUMENTS FROM THE ORIGINAL CONSTRUCTION. SHOULD THERE BE ANY DISCREPANCIES IN THE WORK SHOWN, NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- THE DESIGNER AND THE DESIGNER'S CONSULTANTS ARE NOT RESPONSIBLE FOR CONDITIONS DISCOVERED DURING CONSTRUCTION THAT DIFFER FROM THOSE INDICATED. THE CONTRACTOR, UPON MAKING SUCH A DISCOVERY, SHALL IMMEDIATELY NOTIFY THE DESIGNER AND OBTAIN A CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- DURING THE DEMOLITION PHASE AND SUBSEQUENT NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE EMERGENCY EGRESS FROM THE BUILDING AT ALL TIMES. CONTRACTOR MUST IMPLEMENT INTERIM LIFE SAFETY MEASURES, PROVIDE REVISED EGRESS MAPS, TRAIN STAFF ON PROCEDURES THAT ARE AFFECTED, AND MAINTAIN FIRE WATCH WHEN REQUIRED DUE TO SYSTEM OUTAGE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DEMOLITION SCOPE, NEW CONSTRUCTION SCOPE, IDENTIFICATION OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND DESIGNER PRIOR TO PROCEEDING WITH WORK.

II. BUILDING OCCUPANCY CLASSIFICATION

IBC: BUSINESS

III. CONSTRUCTION TYPE

IBC: 2B

IV. FIRE SUPPRESSION SYSTEM

NON-SPRINKLERED

V. BUILDING HEIGHT AND AREA

	ALLOWABLE (NOTE 1)	PROPOSED DESIGN
CONSTRUCTION TYPE:	2B	2B (EXISTING)
HEIGHT - STORIES (NOTE 3):	3	1 (EXISTING)
HEIGHT - FEET (NOTE 2):	55'-0"	11'-0" (EXISTING)
AREA PER FLOOR - SF (NOTE 2):	23,000	14,182 (EXISTING)

UL=UNLIMITED N/A=NOT APPLICABLE

NOTES:

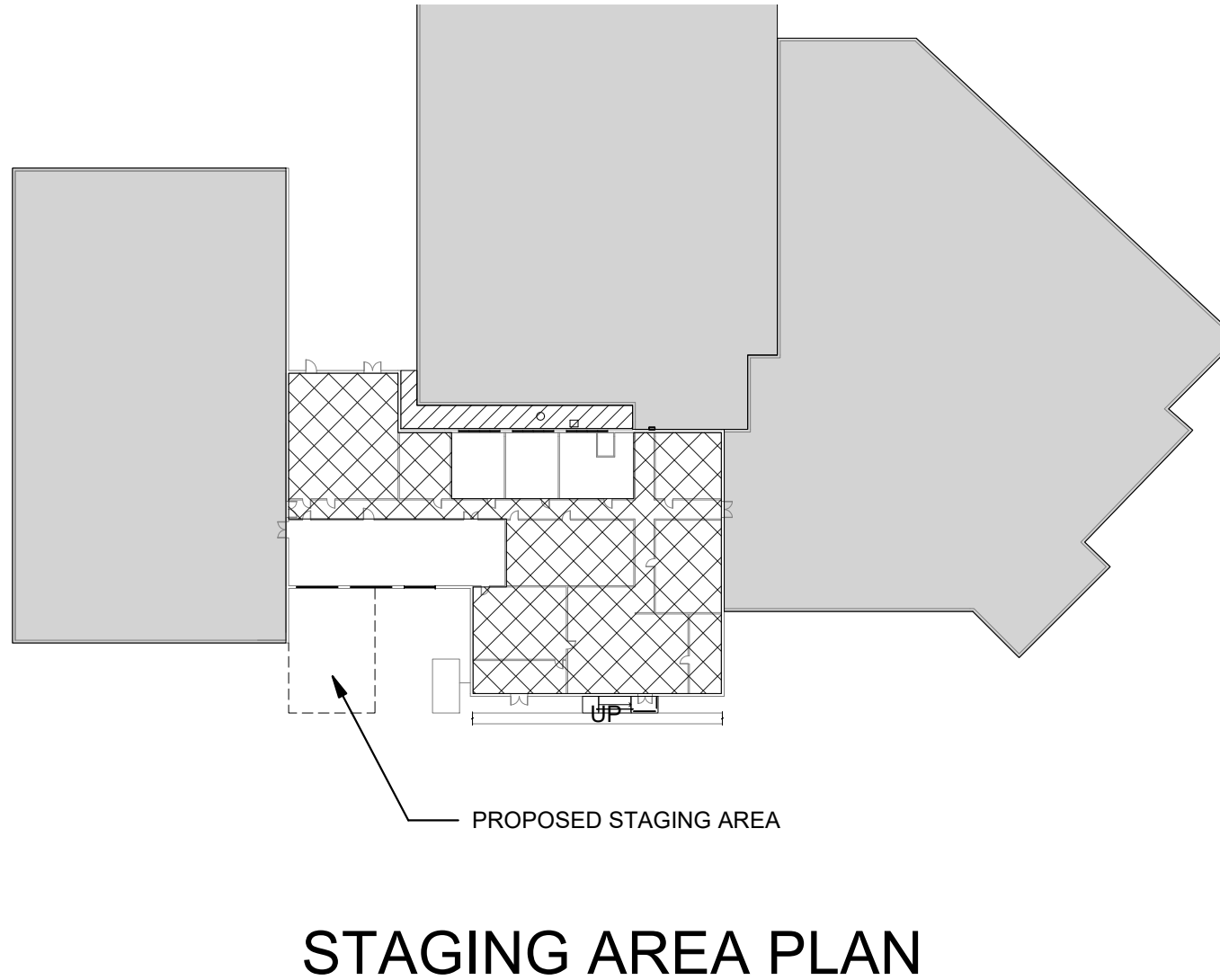
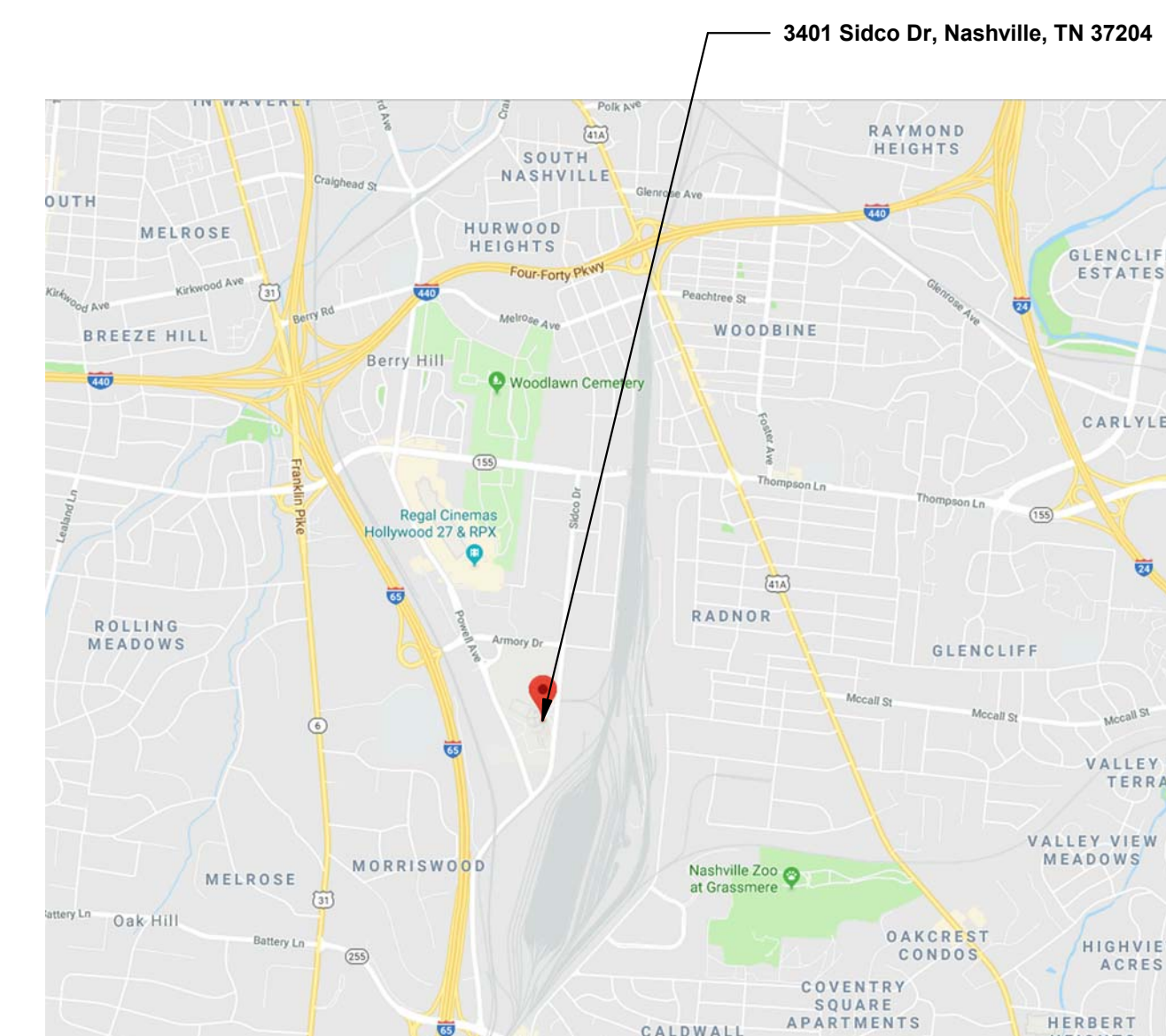
- ALLOWABLE HEIGHT AND AREA BASED ON IBC TABLE 503.
- MAXIMUM ALLOWABLE/DESIGN HEIGHT INCLUDING MODIFICATIONS.
- SPRINKLERED BUILDINGS MAY INCREASE HEIGHT IN TABLE 503 BY 1 STORY AND 20 FEET.

- VI. MEANS OF EGRESS**
- A. CORRIDOR WIDTH (IBC 1017.2):
MINIMUM CORRIDOR WIDTH: 44" MINIMUM
- B. DEAD ENDS (IBC 1017.3): 20'-0" MAXIMUM
- C. EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1016.1): 200'-0" MAXIMUM
- D. DOOR WIDTH (IBC 1008.1.1): 32" CLEAR WIDTH
- E. CORRIDOR FIRE-RESISTANCE RATING (IBC TABLE 1017.1): 0-HR
- F. STAIR WIDTH (IBC 1009.1): 44" MINIMUM
- G. RAMP WIDTH (IBC 1010.5.1): 36" MINIMUM

MATERIALS LEGEND

	EARTH		FINISH WOOD
	POROUS FILL/GRAVEL		ROUGH WOOD
	LIGHTWEIGHT INSULATING CONCRETE		GYPSUM BOARD
	CONCRETE		RIGID INSULATION
	MASONRY - BRICK		STEEL
	CONCRETE MASONRY UNIT (CMU)		GYPSUM SHEATHING
	BATT INSULATION		PLYWOOD

VICINITY MAP



JOINT FORCE HEADQUARTERS
REROOF AND FACILITY UPDATE
NASHVILLE, DAVIDSON COUNTY, TN
SBC PROJ. No. 3651067-01-2017

REVISIONS

No.	Description	Date

Project Number: A93-102017
Date: 2018-03-30
Drawn by: RW
Checked by: WJ

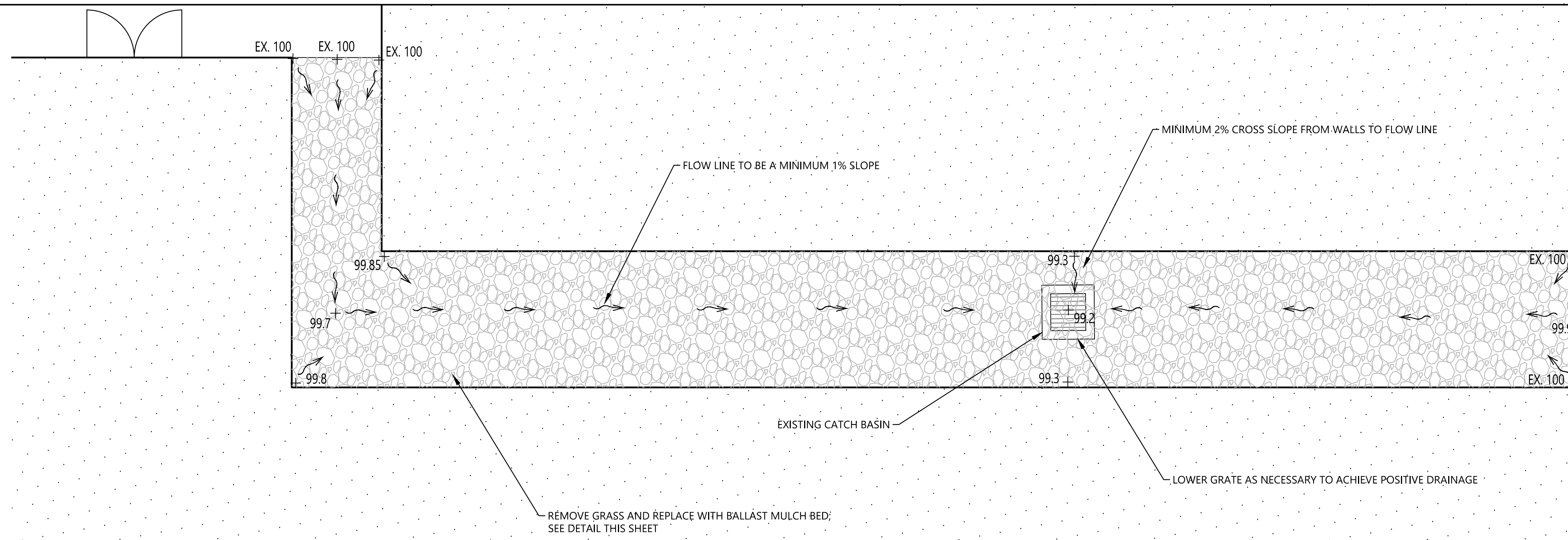
G100
DRAWING
INDEX/PLAN
REVIEW
DATA/GENERAL
INFORMATION

GENERAL NOTES

1. NO SURVEY WAS PROVIDED FOR THIS PROJECT. SAME AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
2. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE DESIGNER.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE-CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
4. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
5. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
6. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.

SITE GRADING & EROSION CONTROL NOTES

1. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
2. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
3. THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
4. THE CONTRACTOR SHALL ADJUST THE CASTINGS OF ALL NEW AND EXISTING STRUCTURES TO MATCH PROPOSED FINISH GRADES.
5. PROPOSED CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERED GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
6. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. IN NO CASE SHALL SLOPE, HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL STATE AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CFR PART 1926) SHALL BE FOLLOWED.
8. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
9. ALL DRAINAGE CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY.
10. POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION.
11. PVC PIPE SHALL BE SDR 35 WITH SOIL TIGHT JOINTS.
12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO WASTE EXCESS EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FIRST OFFER THE EXCESS MATERIAL TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUITABLE MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) FOR EARTHWORK OPERATIONS IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE.



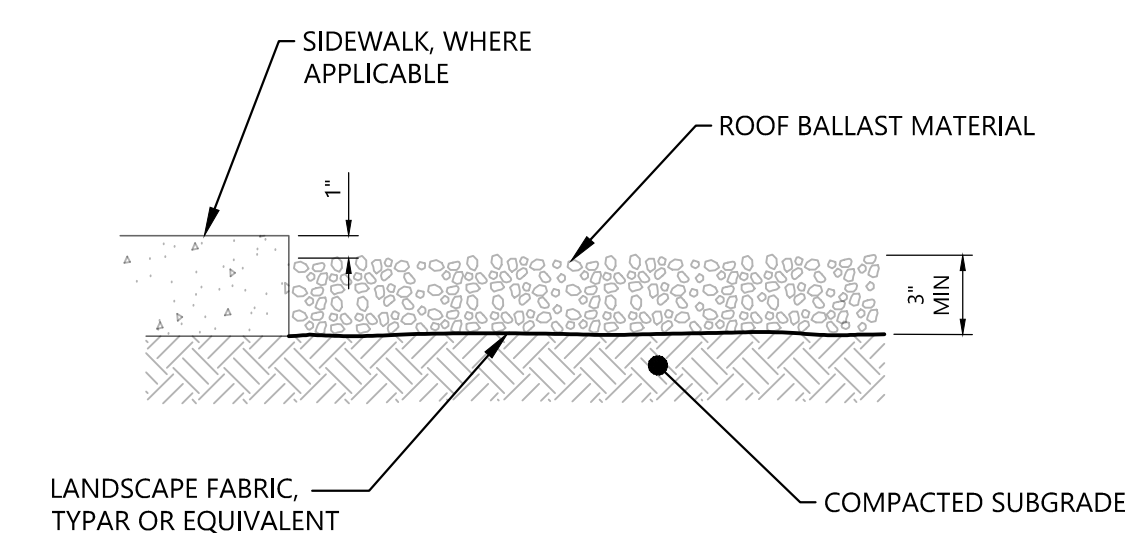
NOTE

1. EXISTING SPOT ELEVATIONS ARE ASSUMED AND PROPOSED ELEVATIONS ARE BASED OFF OF ASSUMED EXISTING ELEVATIONS.

ALTERNATE NO. 2 - EXTERIOR CONCRETE FLATWORK, GRADING AND DRAINAGE

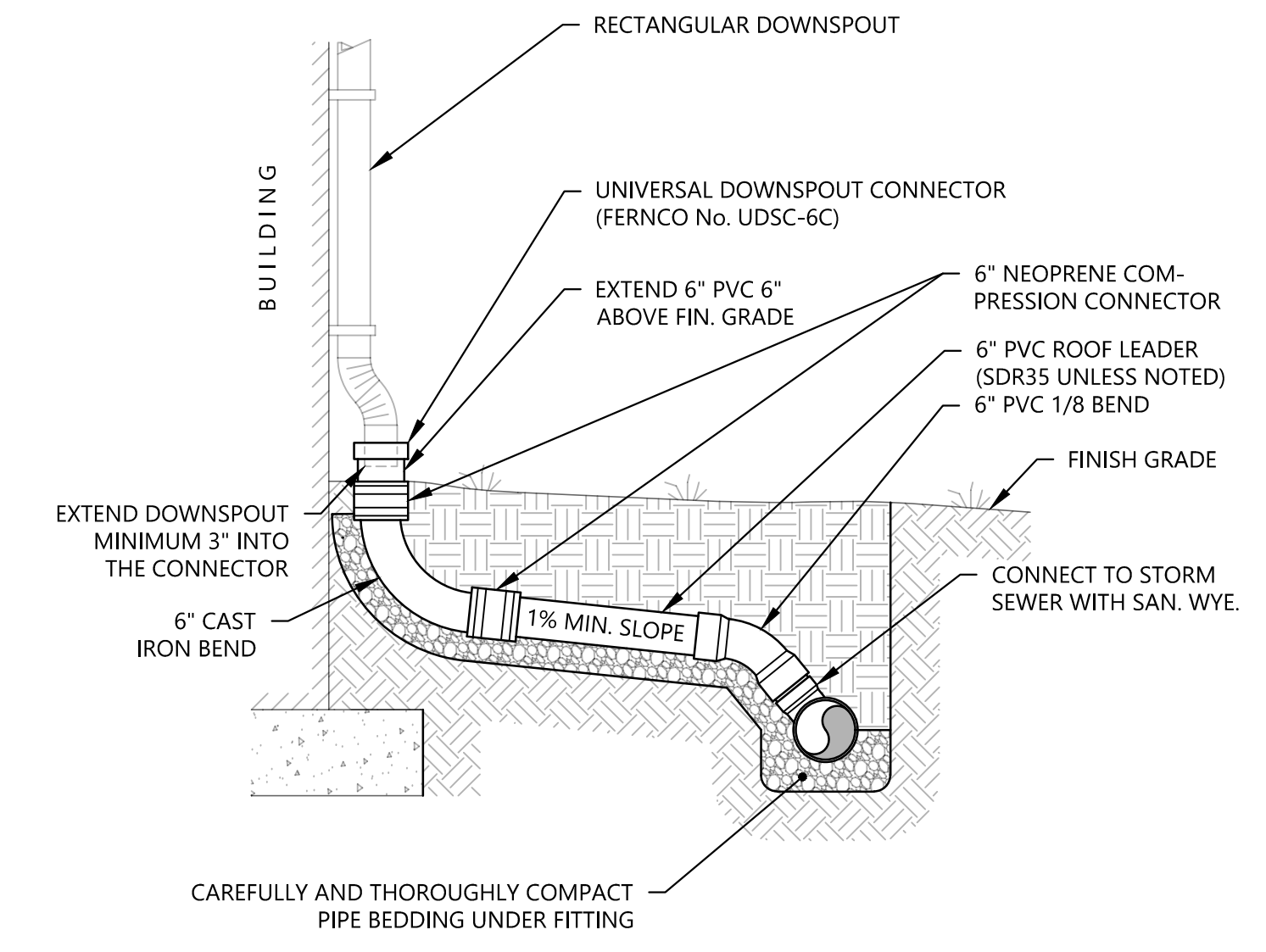
NOTE

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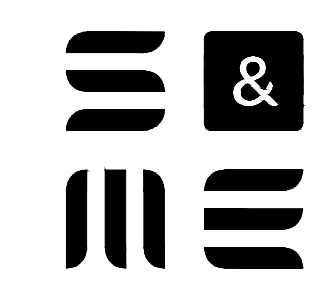
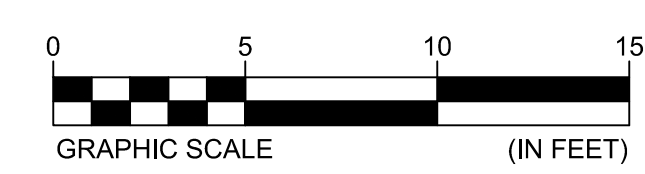
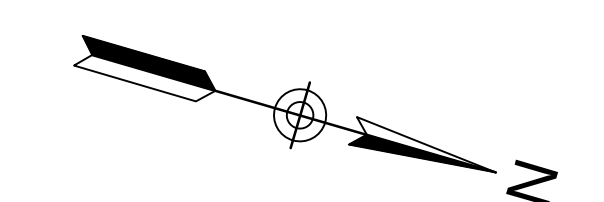
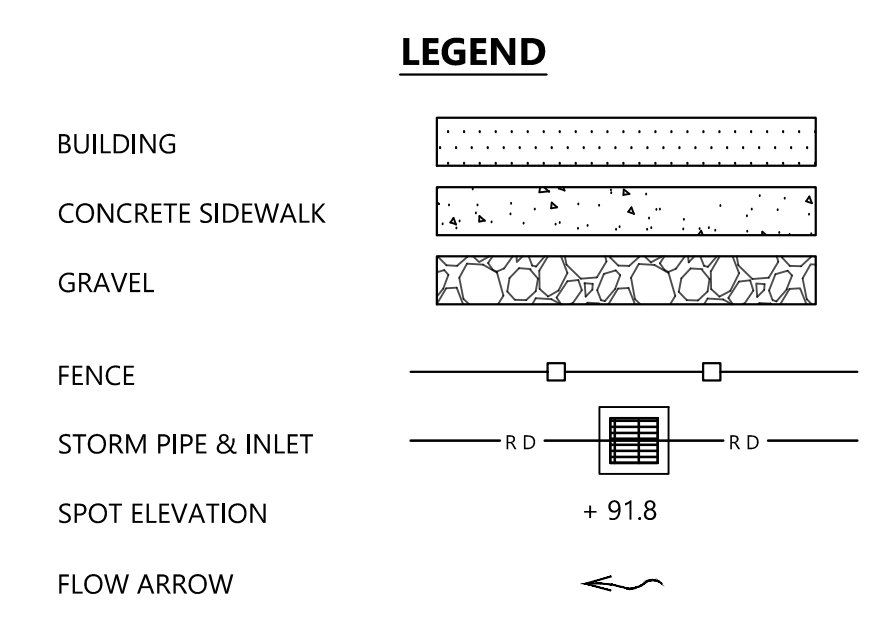


- NOTE:**
1. CONTRACTOR SHALL REMOVE AND ERADICATE ALL EXISTING GRASSES AND WEEDS IN D.S. AREAS AS REQUIRED WITH ROUND-UP OR OTHER APPROVED HERBICIDE.
 2. SUB-GRADES SHALL BE THOROUGHLY COMPACTED BEFORE GRAVEL IS INSTALLED.
 3. CONTRACTOR SHALL SUBMIT A SAMPLE OF THE SPECIFIED AGGREGATE TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 4. GRAVEL SHALL BE SPREAD TO A MINIMUM DEPTH OF 3"; RAKED, DAMPENED, ROLLED AND BROOMED TO AN EVEN FINISH.
 5. AGGREGATE SHALL BE RINSED THOROUGHLY TO REMOVE DEBRIS.
 6. CONTRACTOR SHALL APPLY PRE-EMERGENT HERBICIDE TO WEED-FREE GRAVEL AREAS.

BALLAST MULCH BED
NO SCALE



DOWNSPOUT COLLECTOR
NO SCALE



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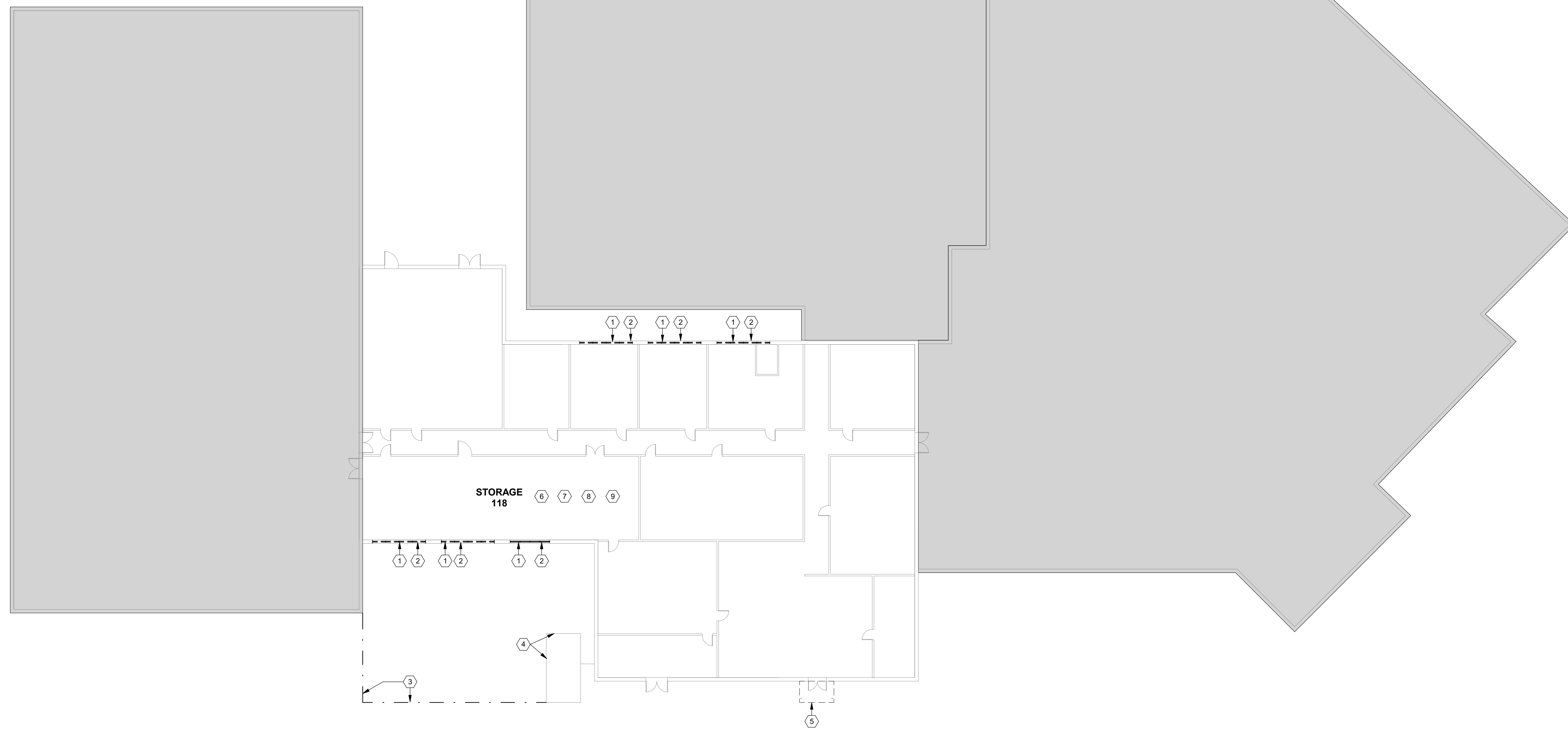
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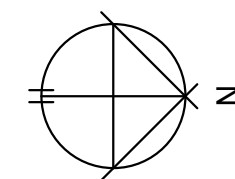
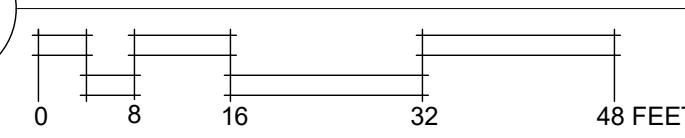
No.	Description	Date

Project Number: A93-102017
Date: 2018-03-30
Drawn by: JC
Checked by: TD

**C100
GRADING AND DRAINAGE
PLAN**

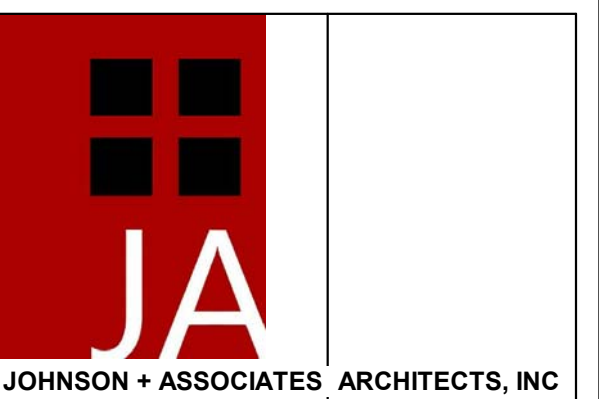


1 FIRST FLOOR DEMOLITION PLAN



DEMOLITION KEY NOTES

- 1 EXG WINDOW SYSTEM TO BE REMOVED
- 2 EXG CONC SILLS TO BE REMOVED FOR INSTALLATION OF WINDOW FLASHING, CLEANED AND REINSTALLED
- 3 EXG FENCE TO BE REMOVED
- 4 EXG CONC PAD TO REMAIN
- 5 EXG CONC PAD TO BE REMOVED
- 6 EXG LARGE STORAGE UNITS TO BE REMOVED BY OWNER; STORAGE ROOM ONLY
- 7 EXG VCT FLOORING TO BE REMOVED AND CONC SURFACE PREPARED TO RECEIVE NEW FINISH; STORAGE ROOM ONLY
- 8 EXG 2X4 ACT CEILING TILE AND GRID TO BE REMOVED; STORAGE ROOM ONLY
- 9 PREPARE EXG WALLS TO RECEIVE NEW PAINT; STORAGE ROOM ONLY



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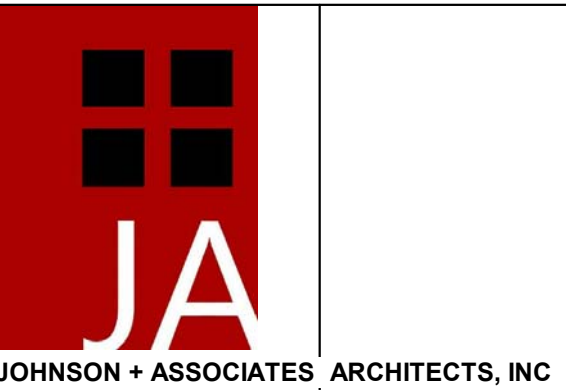
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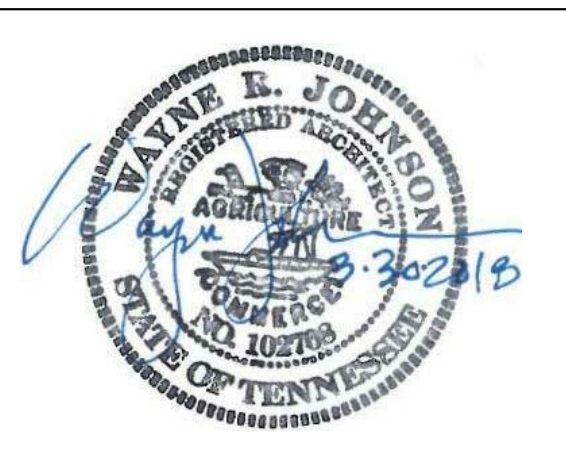
D101
FIRST FLOOR
DEMOLITION PLAN

ALTERNATE NO.1 - EXTERIOR ALUMINUM WINDOWS AND ASSOCIATED FLASHING
ALTERNATE NO.2 - EXTERIOR CONCRETE FLATWORK, GRADING AND DRAINAGE
ALTERNATE NO.3 - STORAGE ROOM INTERIOR FINISHES
ALTERNATE NO.4 - 90MIL EPDM IN LIEU OF 60MIL



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NASHVILLE, DAVIDSON COUNTY, TN
SBC PROJ. No. 361/067-01-2017

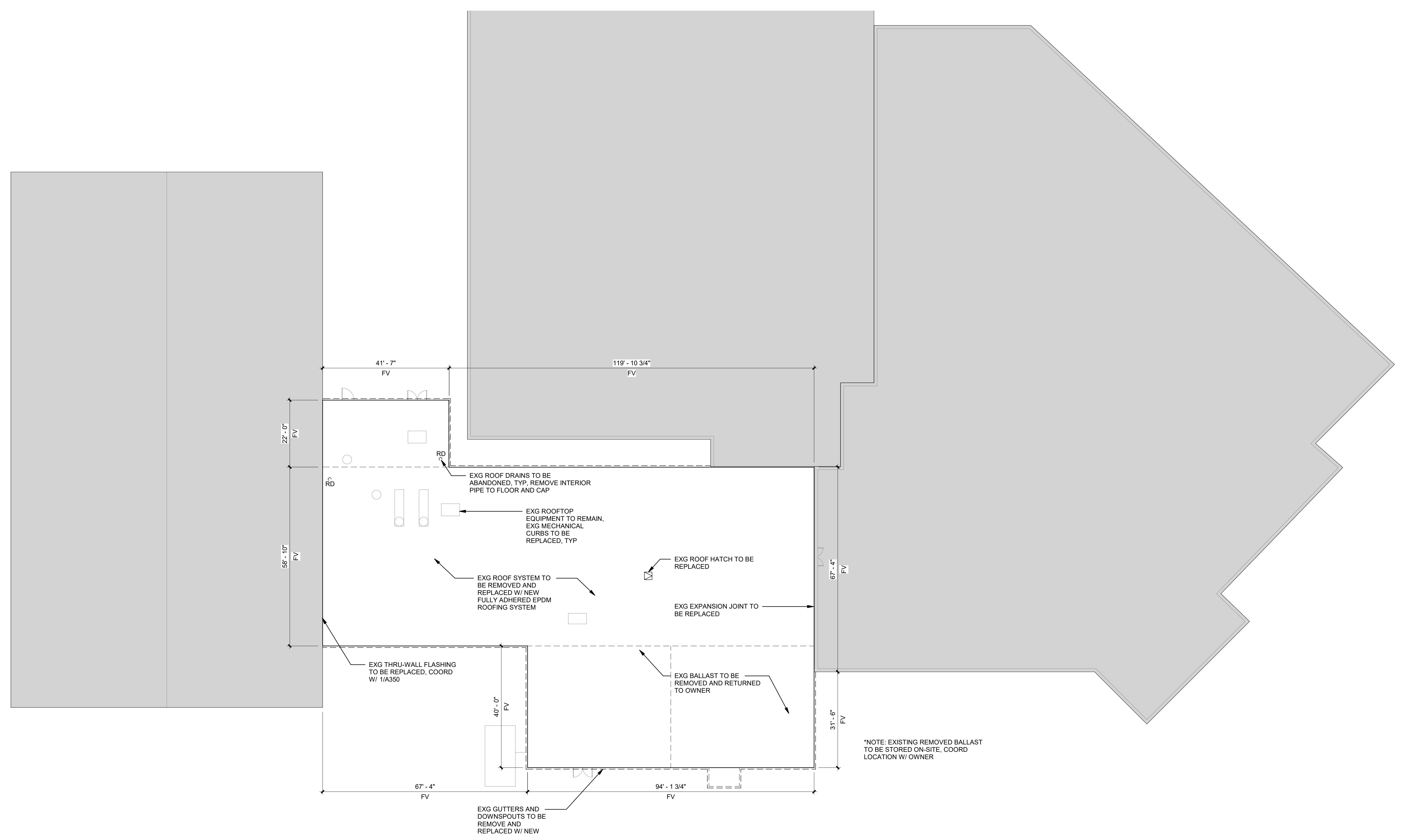
REVISIONS

No.	Description	Date

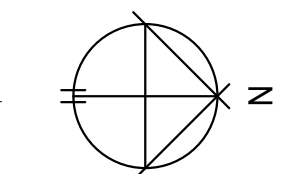
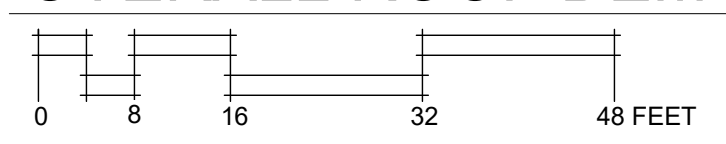
Project Number: A93-102017
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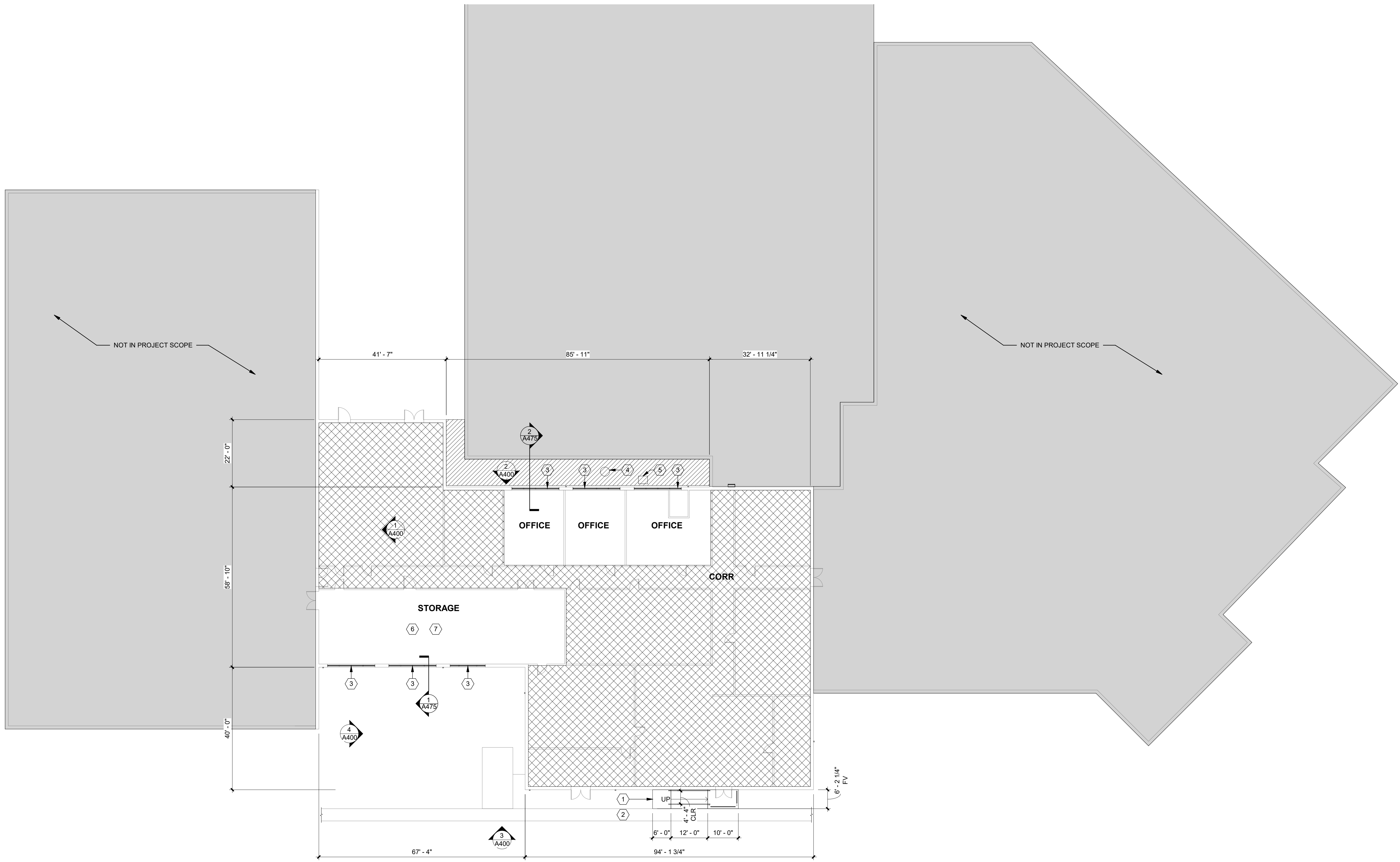
**D300
ROOF DEMOLITION
PLAN**

ALTERNATE NO.1 - EXTERIOR ALUMINUM WINDOWS AND ASSOCIATED FLASHING
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OVERALL ROOF DEMOLITION PLAN

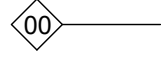





1 FIRST FLOOR NOTED PLAN

WALL LEGEND

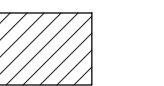
EXISTING CONSTRUCTION
 REFER TO THE G150 SERIES SHEETS FOR PARTITION TYPES AND DETAILS

 PARTITION TYPE
 EXISTING WALL PARTITION TO REMAIN

NOTED PLAN GENERAL NOTES

1 REFER TO SHEET G100 FOR CODE REVIEW DATA.

LEGEND

 RE-GRADE AREA TO SLOPE GRADE TO EXISTING DRAINAGE BASIN, COORD W/ CIVIL DRAWINGS

- FLOOR PLAN KEY NOTES**
- 1 NEW CONC SIDEWALK AND RAMP
 - 2 EXG CONC SIDEWALK TO REMAIN
 - 3 NEW ALUM WINDOW SYSTEM W/ 1" INSULATED GLASS
 - 4 EXG DRAINAGE IN AREA-WAY TO BE MODIFIED; GRADE SHALL SLOPE TO EXG DRAINAGE BASIN
 - 5 EXG MECH UNIT TO REMAIN; CONDENSER LINES TO BE REPLACED W/ NEW RELOCATED LINES THRU MASONRY
 - 6 SEAL CONC FLOOR; STORAGE ROOM ONLY
 - 7 WALLS TO RECEIVE NEW PAINT; STORAGE ROOM ONLY



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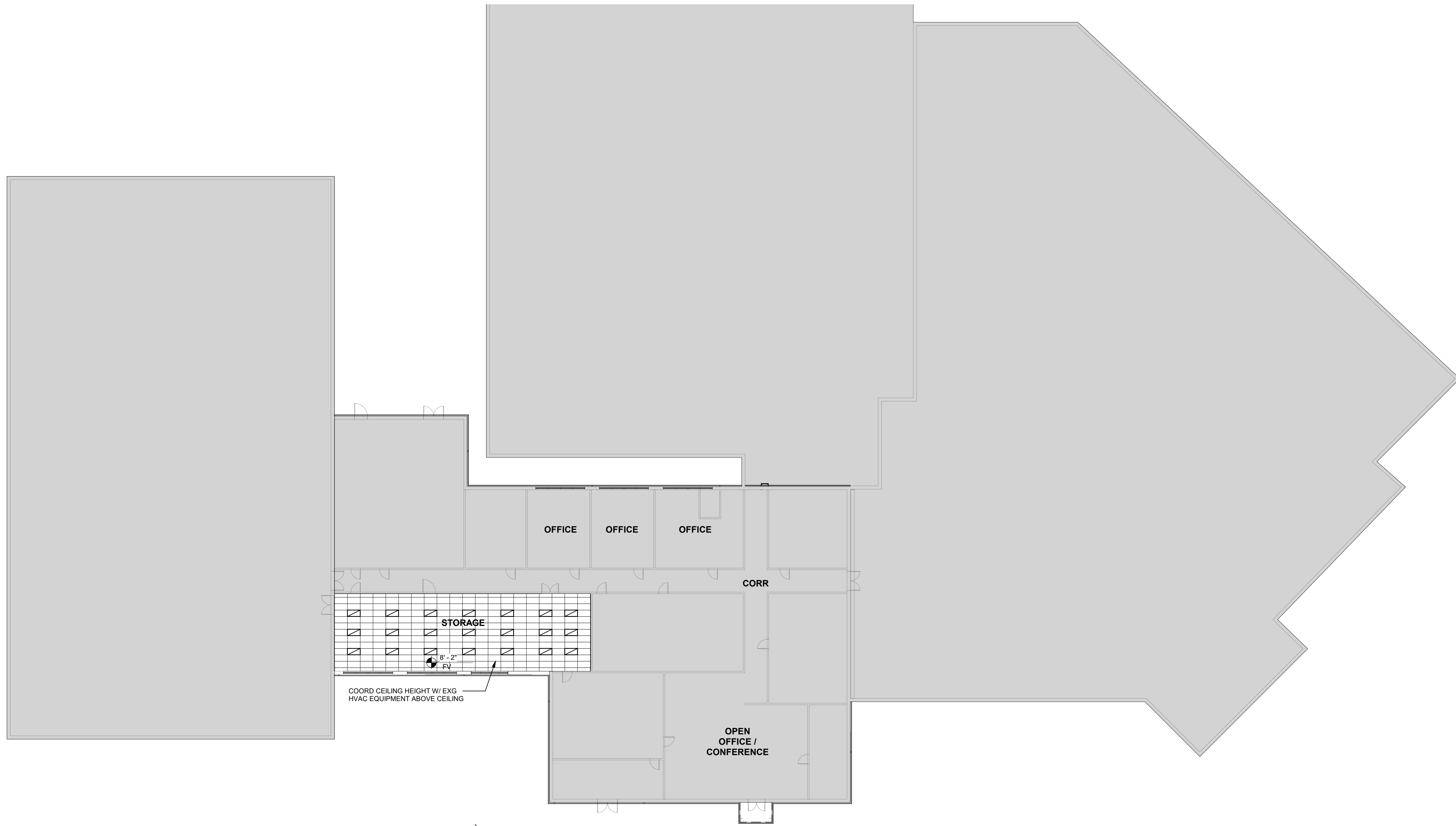
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**A100
 FIRST FLOOR PLAN**

- ALTERNATE NO.1 - EXTERIOR ALUMINUM WINDOWS AND ASSOCIATED FLASHING
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- ALTERNATE NO.4 - 90MIL EPDM IN LIEU OF 60MIL



1 FIRST FLOOR REFLECTED CEILING PLAN

WALL LEGEND
 EXISTING CONSTRUCTION
 REFER TO THE G150 SERIES SHEETS FOR PARTITION TYPES AND DETAILS
 PARTITION TYPE
 EXISTING WALL PARTITION TO REMAIN

CEILING LEGEND

- EXIT LIGHT (COORDINATE WITH ELECTRICAL LIGHTING PLAN)
- 2' x 4' RECESSED FLUORESCENT LIGHT FIXTURE
- 2' x 2' RECESSED FLUORESCENT LIGHT FIXTURE
- RETURN REGISTER (SIZE VARIES) COORDINATE WITH MECHANICAL
- SUPPLY DIFFUSER (SIZE VARIES) COORDINATE WITH MECHANICAL
- EXTERIOR WALL MOUNTED LIGHT, COORDINATE WITH ELECTRICAL
- EXTG EXISTING CEILING TO REMAIN
- EXP EXPOSED CEILING
- 2' x 4' ACOUSTICAL CEILING TILE
- DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.

REFLECTED CEILING PLAN GENERAL NOTES

- 1 CONTRACTOR TO COORDINATE ALL ABOVE CEILING DUCTWORK, PIPES, ETC. TO MEET CEILING HEIGHTS AS SHOWN ON DRAWINGS.
- 2 PROVIDE ONE SUPPORT HANGER AT EACH CORNER OF SUSPENSION CEILING SYSTEM AT PERIMETER OF CEILING MOUNTED LIGHT FIXTURES, CEILING LIGHT FIXTURES, DIFFUSERS AND GRILLES ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE.
- 3 COORD NEW CEILING HEIGHT WITH EXISTING MECHANICAL UNITS IN STORAGE ROOM.
- 4 CENTER CEILING GRIDS IN BOTH DIRECTIONS OF SPACE UNLESS NOTED OTHERWISE.
- 5 CENTER ALL LIGHT FIXTURES, DEVICES, AND SPRINKLER HEADS IN CEILING TILES.

ALTERNATE NO.1 - EXTERIOR ALUMINUM WINDOWS AND ASSOCIATED FLASHING
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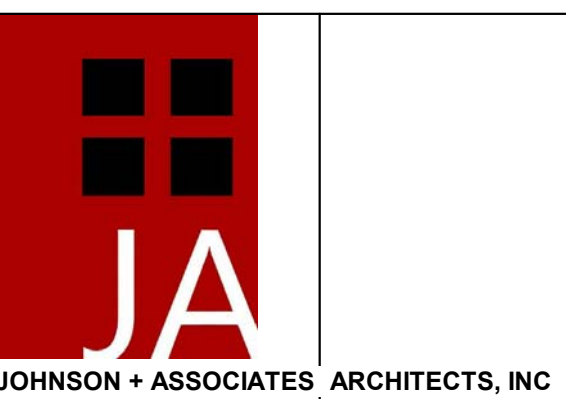
No.	Description	Date

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 Checked by: WJ

A200
 FIRST FLOOR
 REFLECTED
 CEILING PLAN

ROOF PLAN GENERAL NOTES

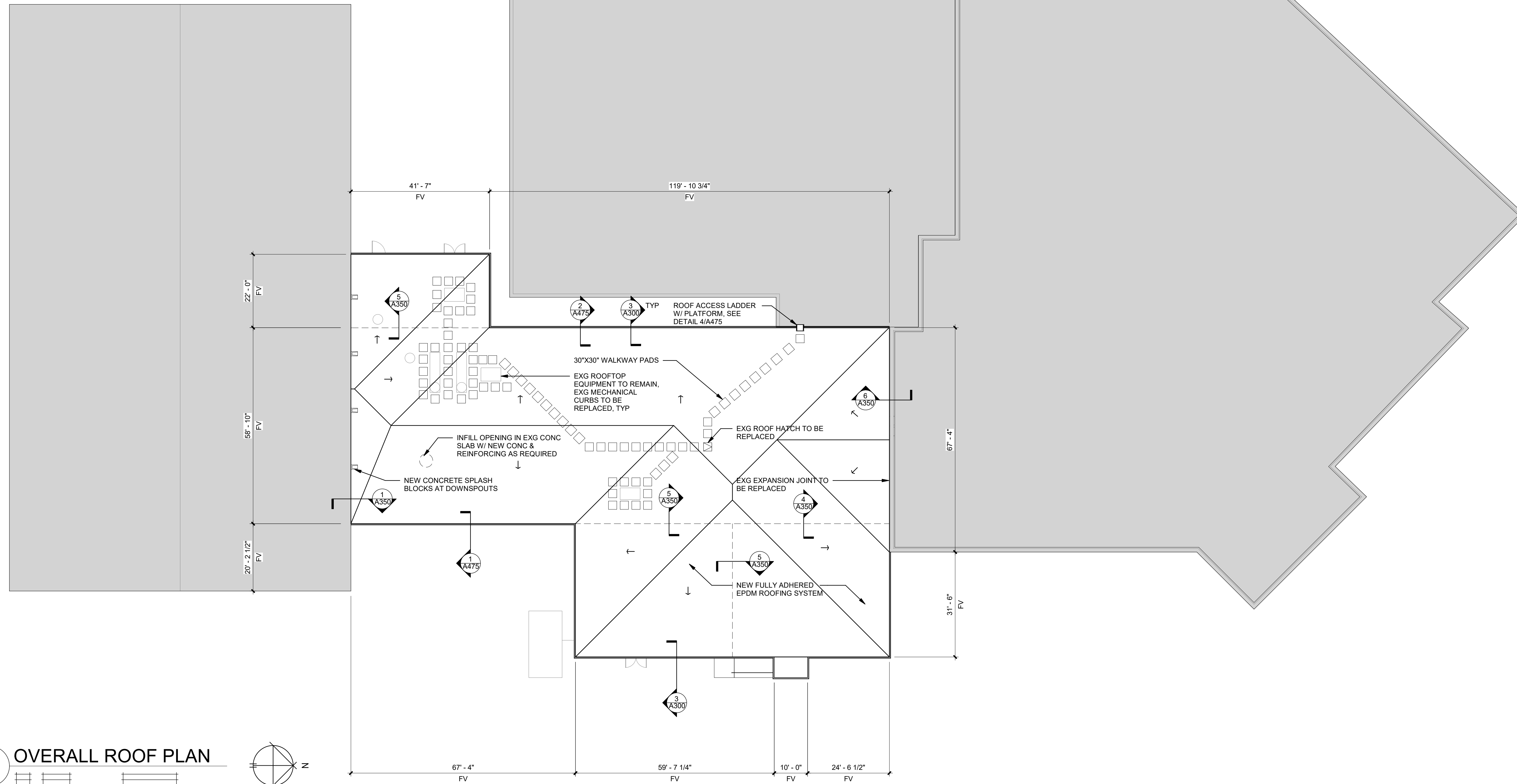
- 1 MINIMUM ROOF SLOPE SHALL BE 1/4" PER FOOT
- 2 PROVIDE CRICKETS WHERE REQUIRED FOR PROPER DRAINAGE
- 3 ALL INSIDE AND OUTSIDE CORNERS OF COPINGS AND FASCIAS SHALL BE PRE-FABRICATED.



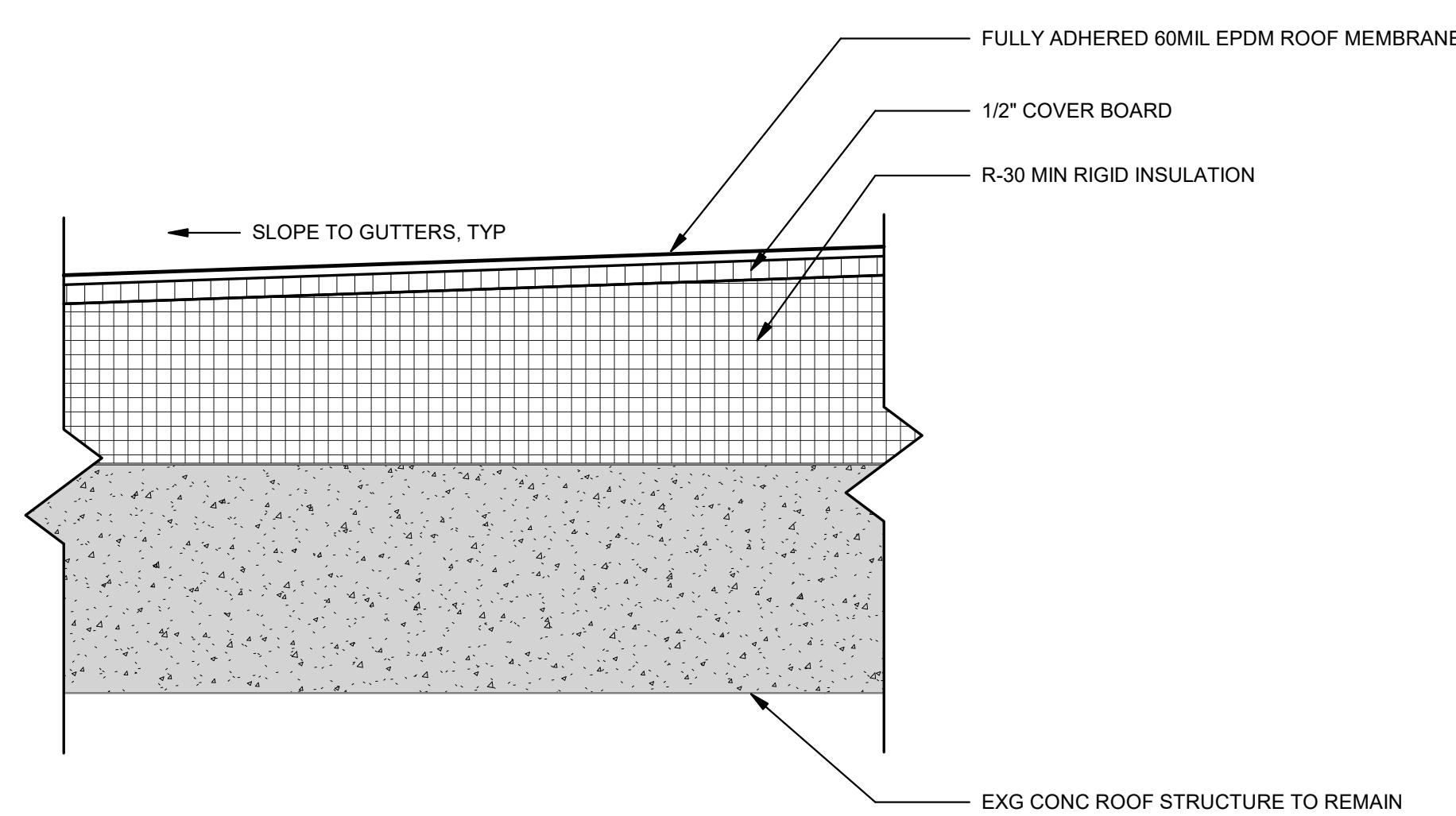
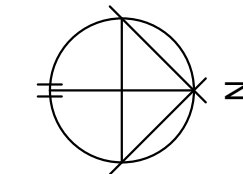
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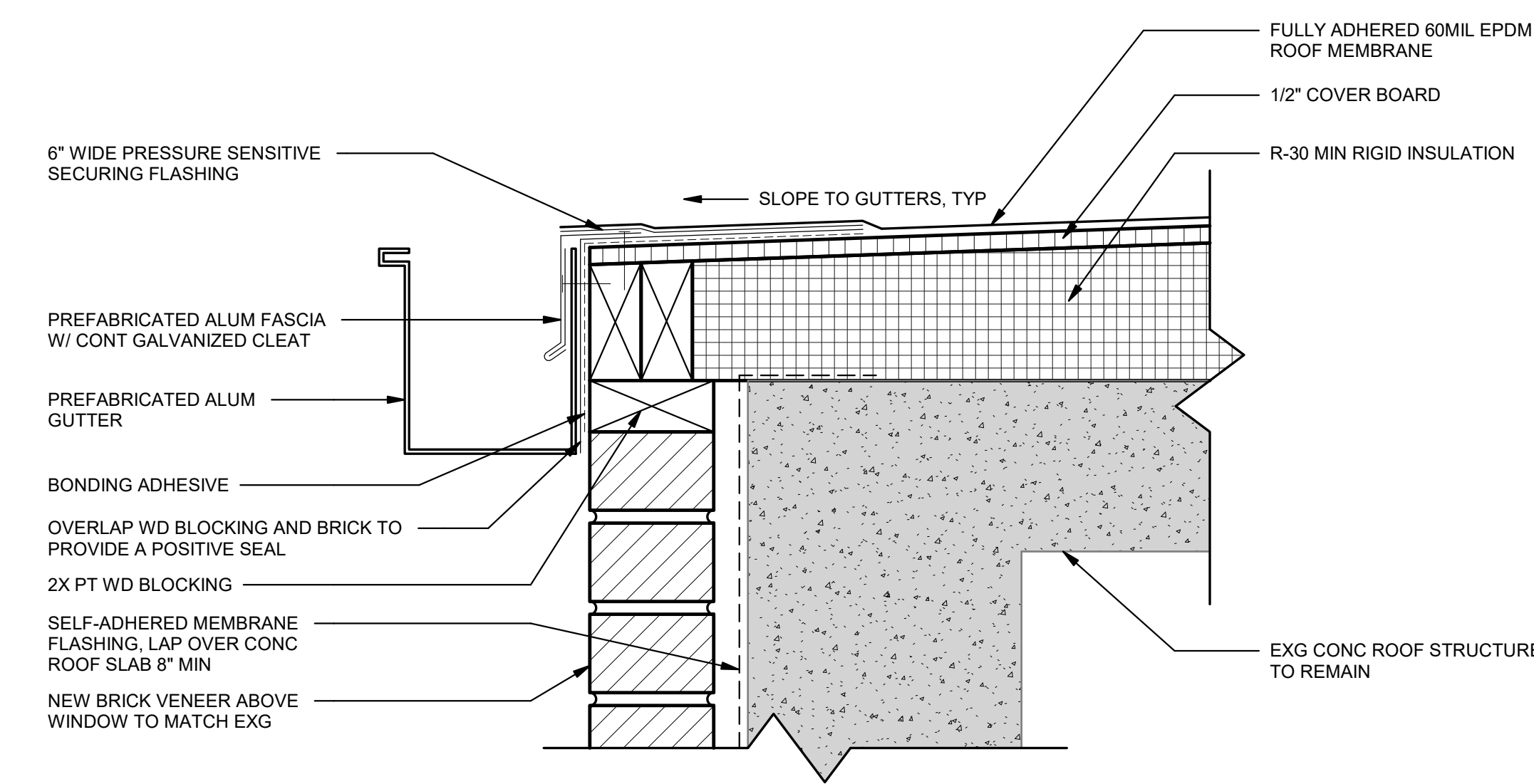
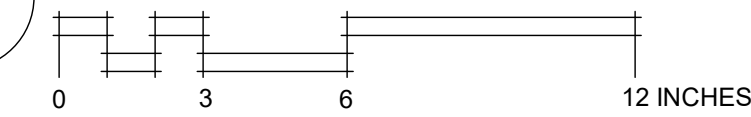
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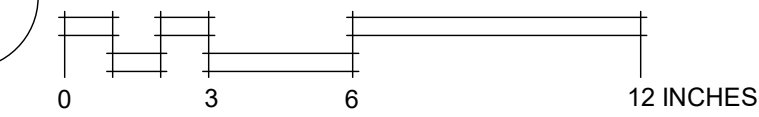
1 OVERALL ROOF PLAN



2 TYP ROOF ASSEMBLY



3 DETAIL - GUTTER - TYP



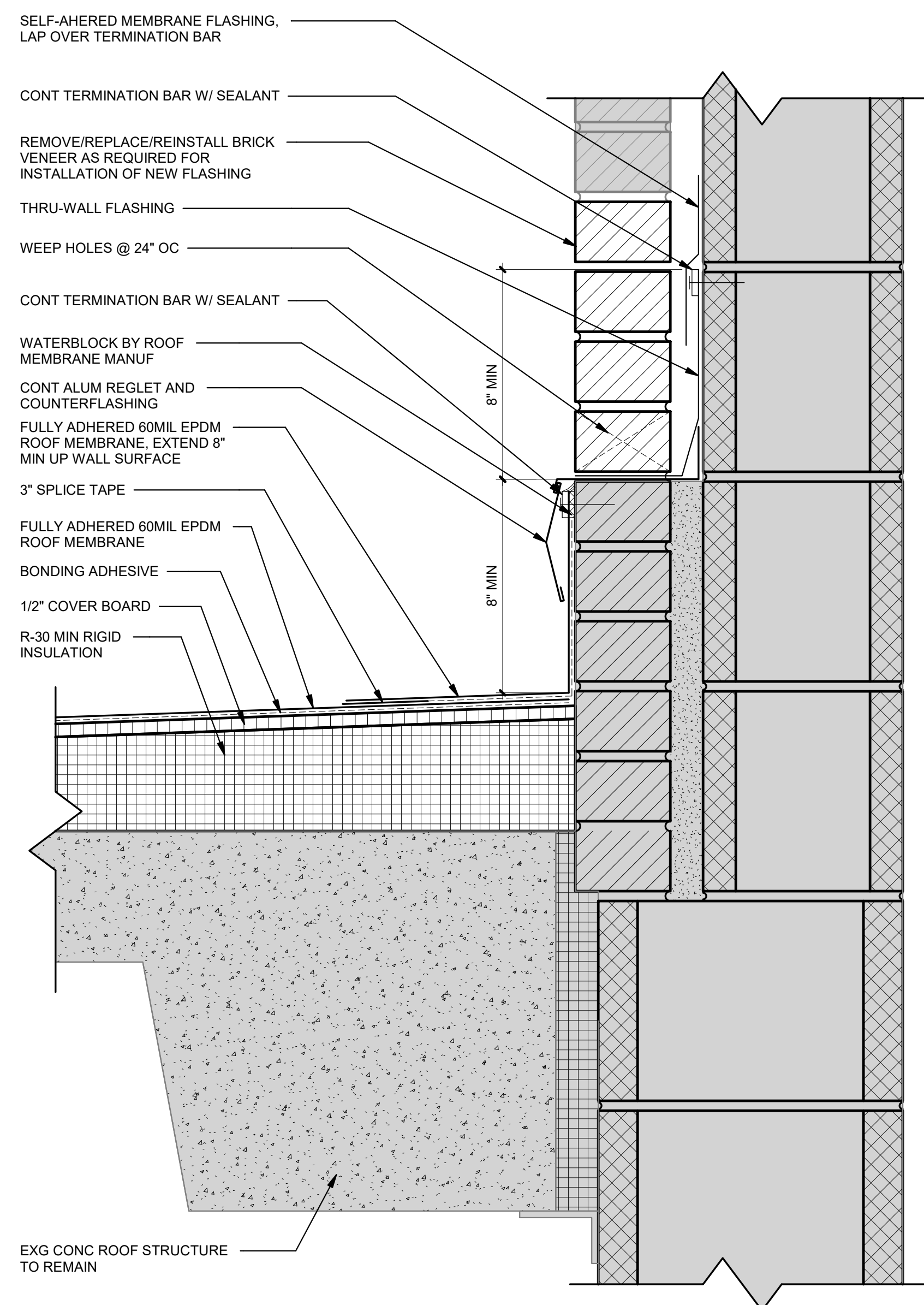
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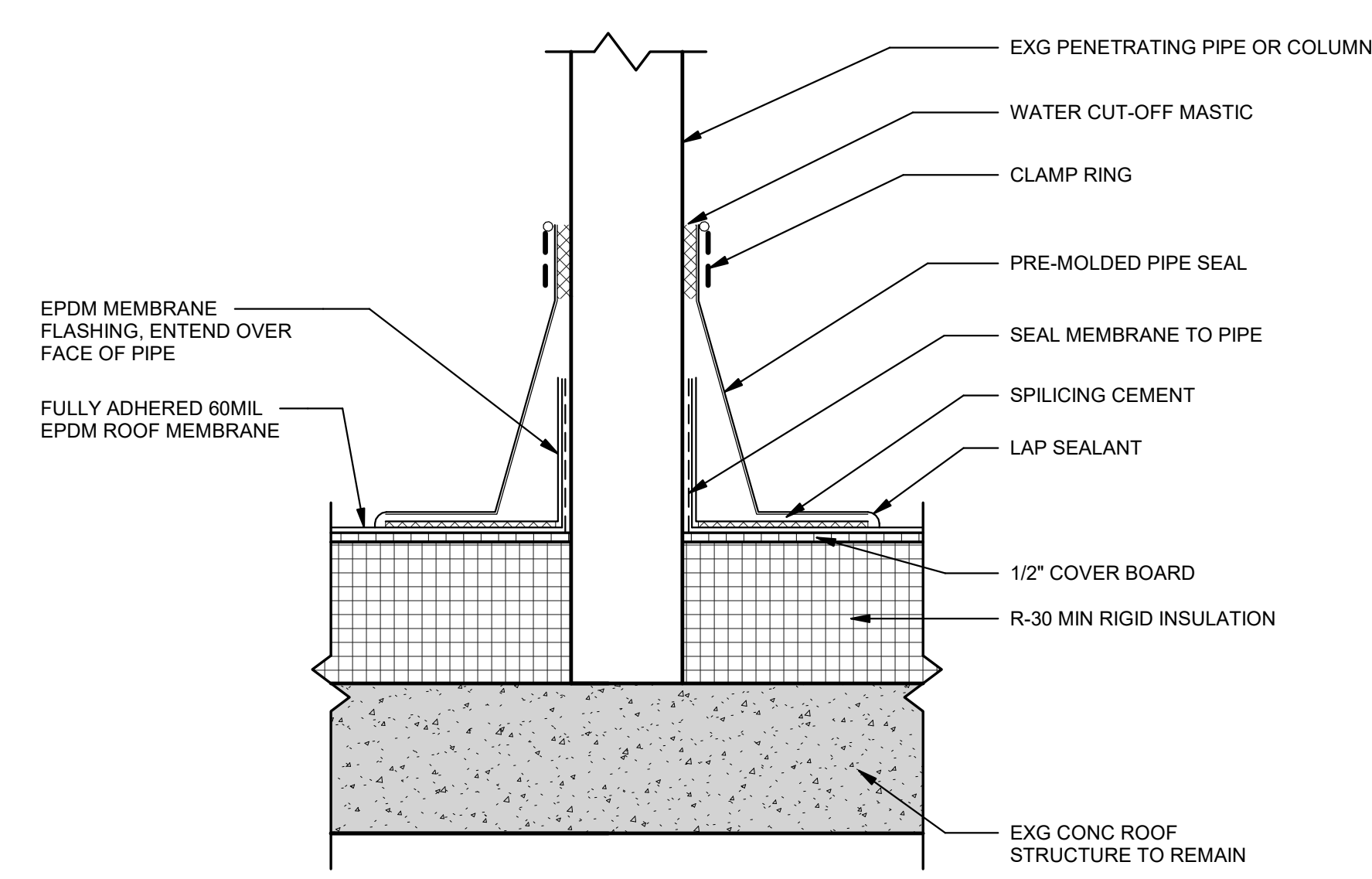
Project Number: A93-102017
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A300
 OVERALL ROOF
 PLAN AND DETAILS

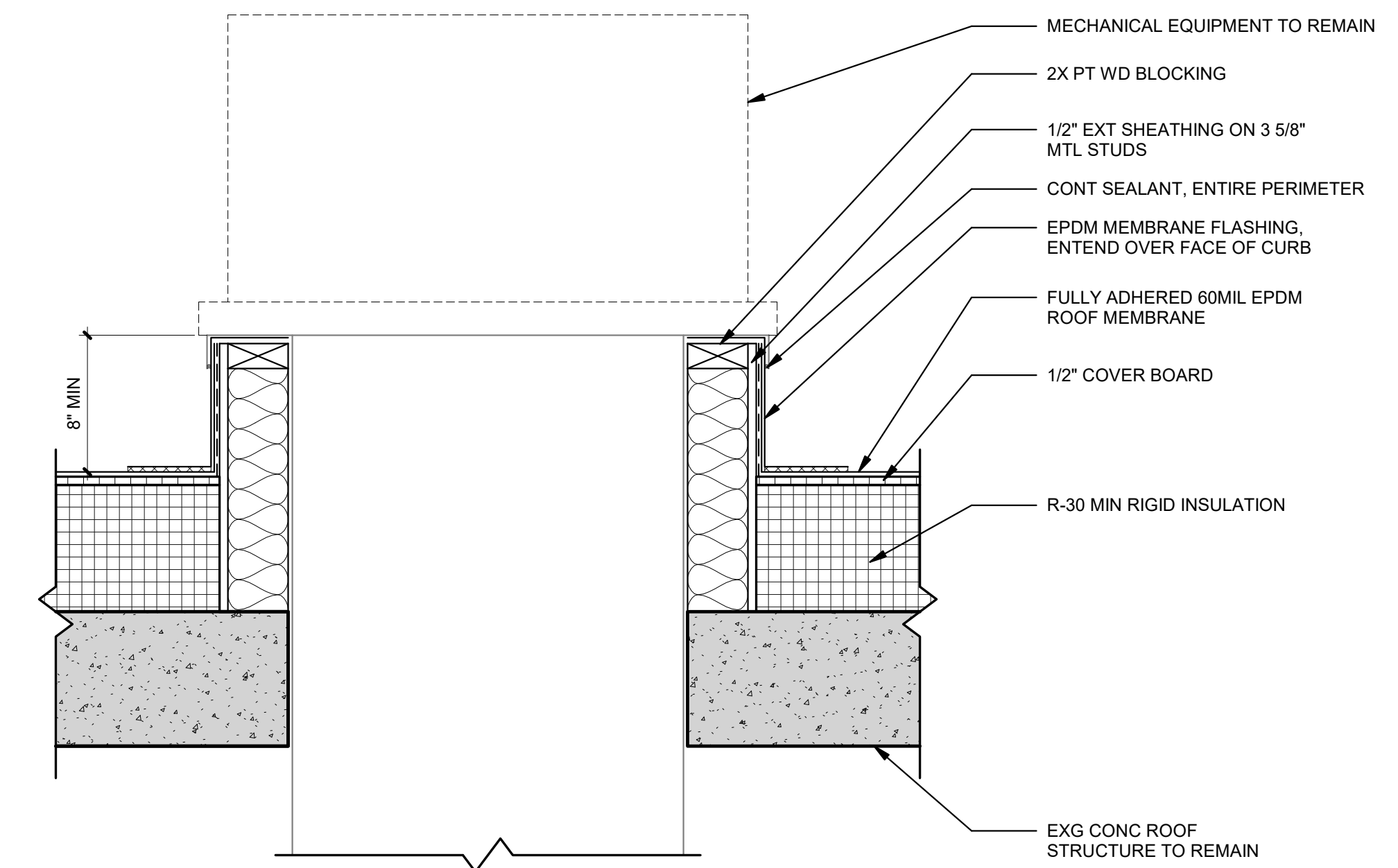
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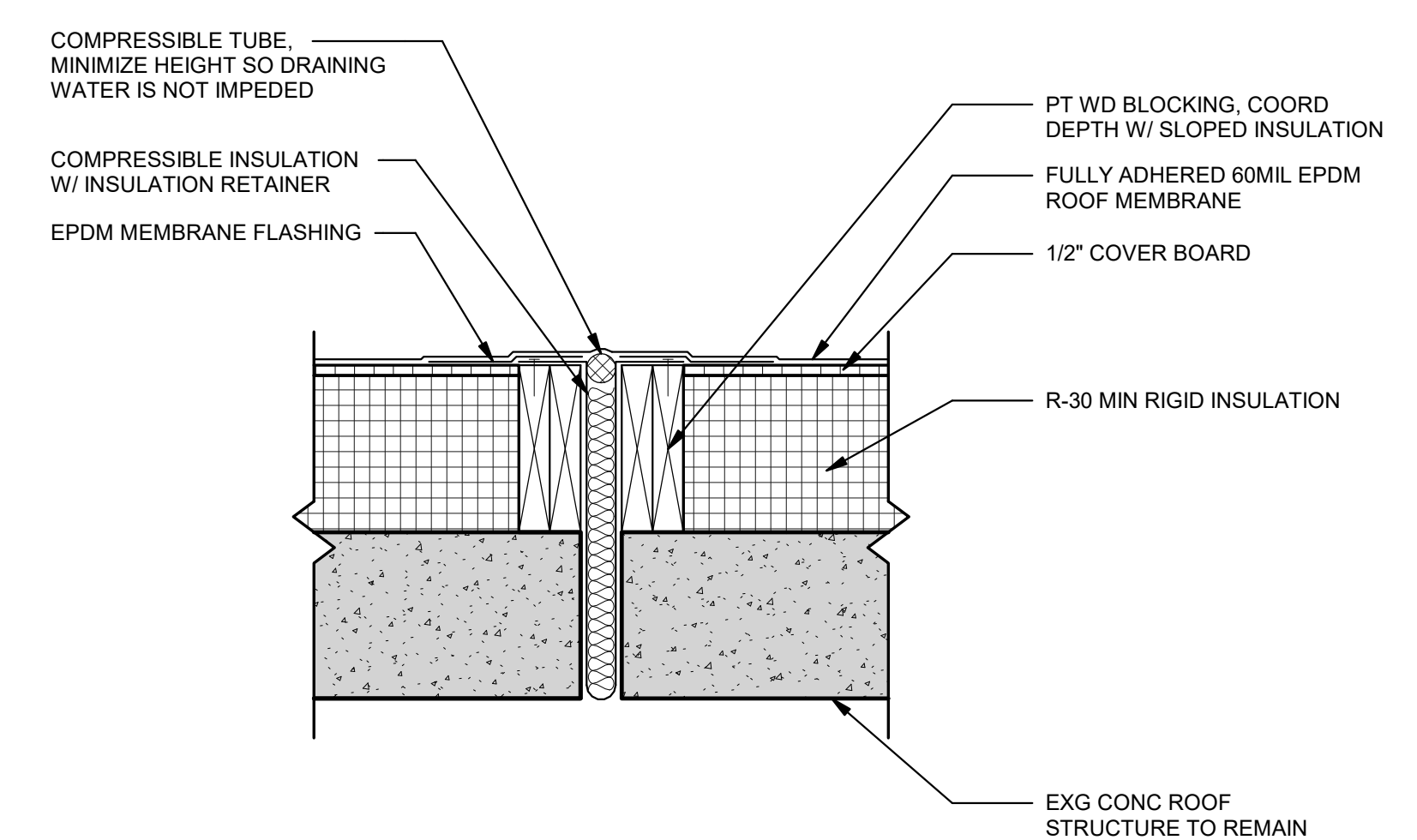
1 DETAIL - ROOF AT BRICK VENEER



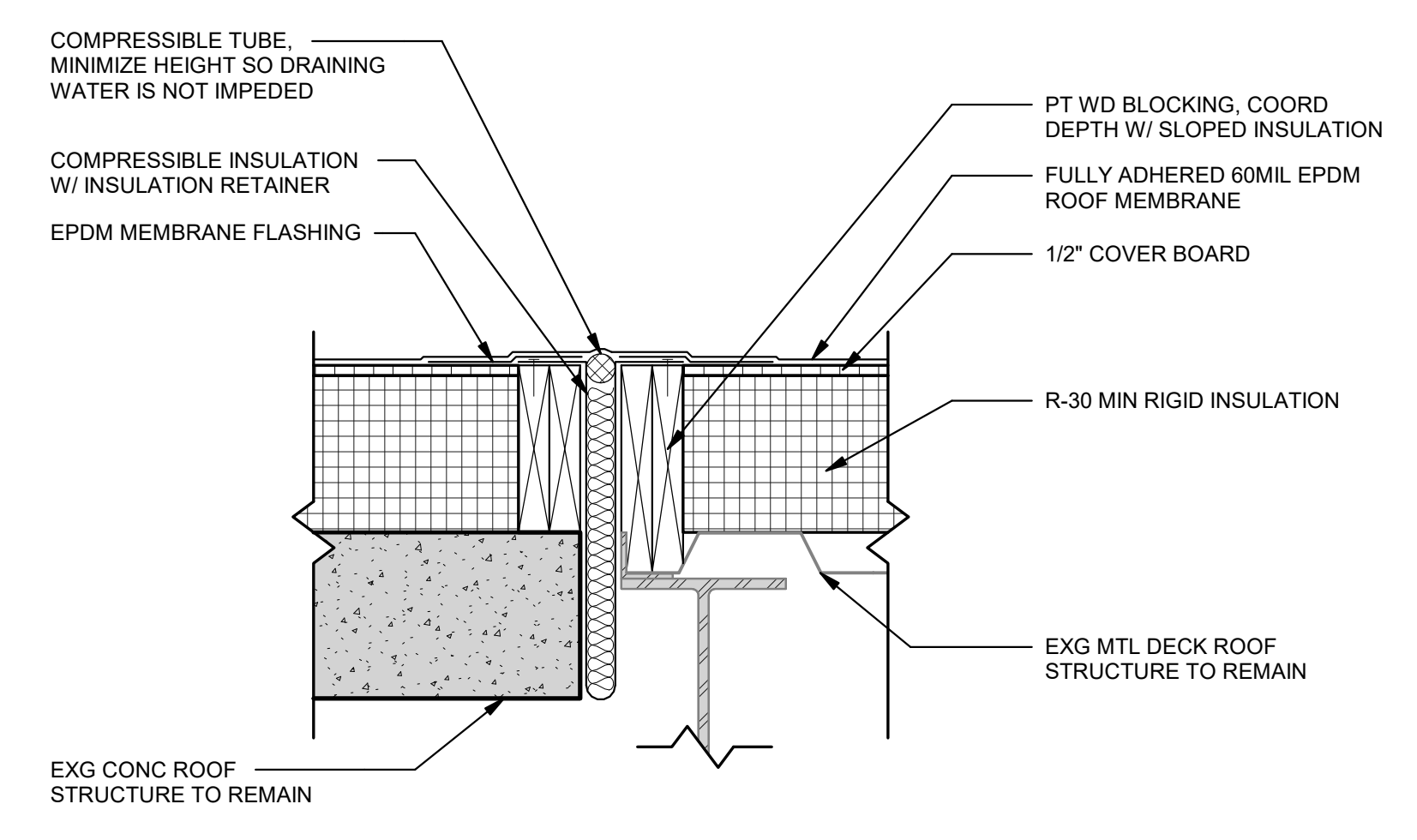
2 DETAIL - EXG VENT PIPE



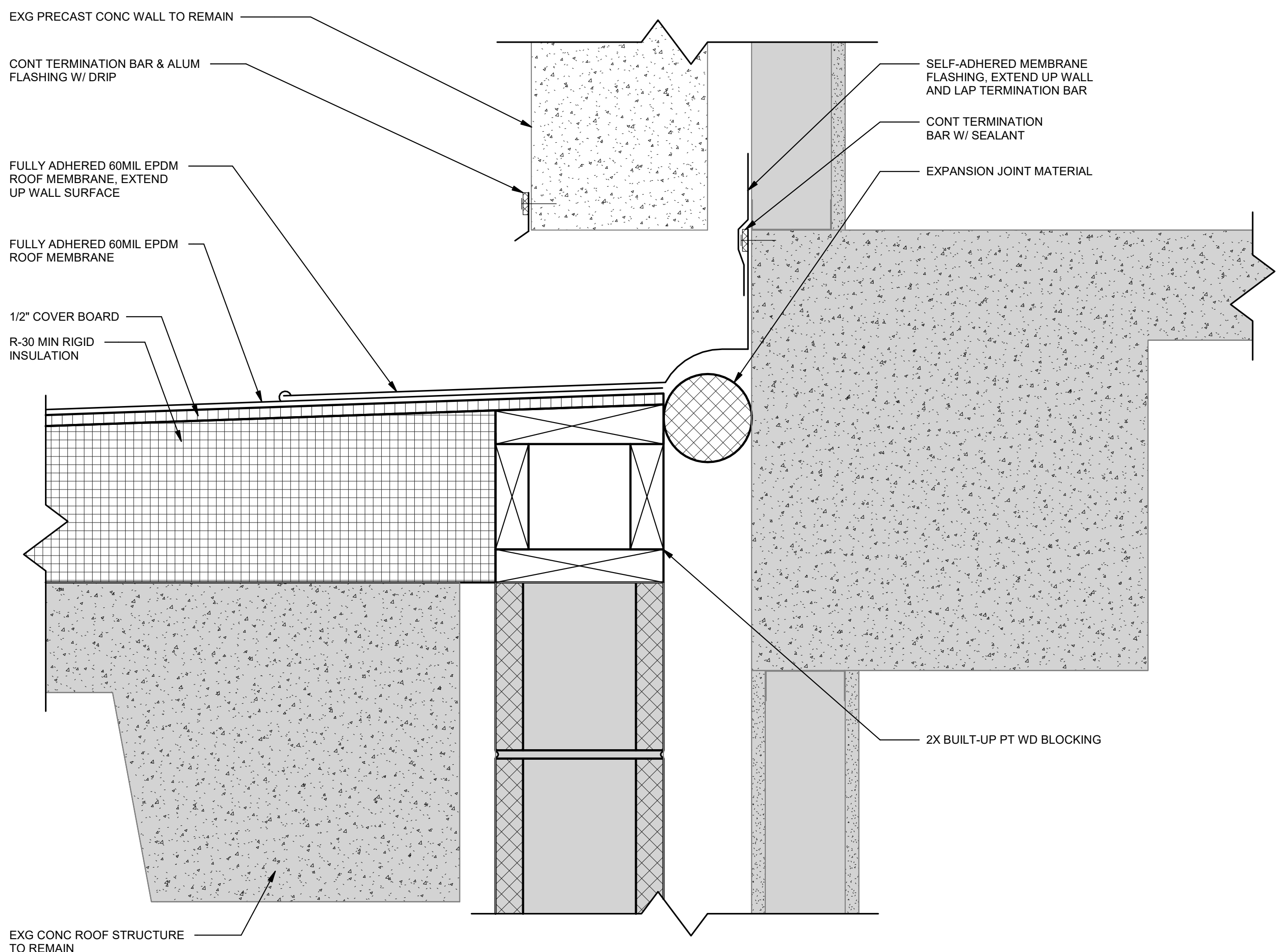
3 DETAIL - AT EXG ROOFTOP EQUIPMENT



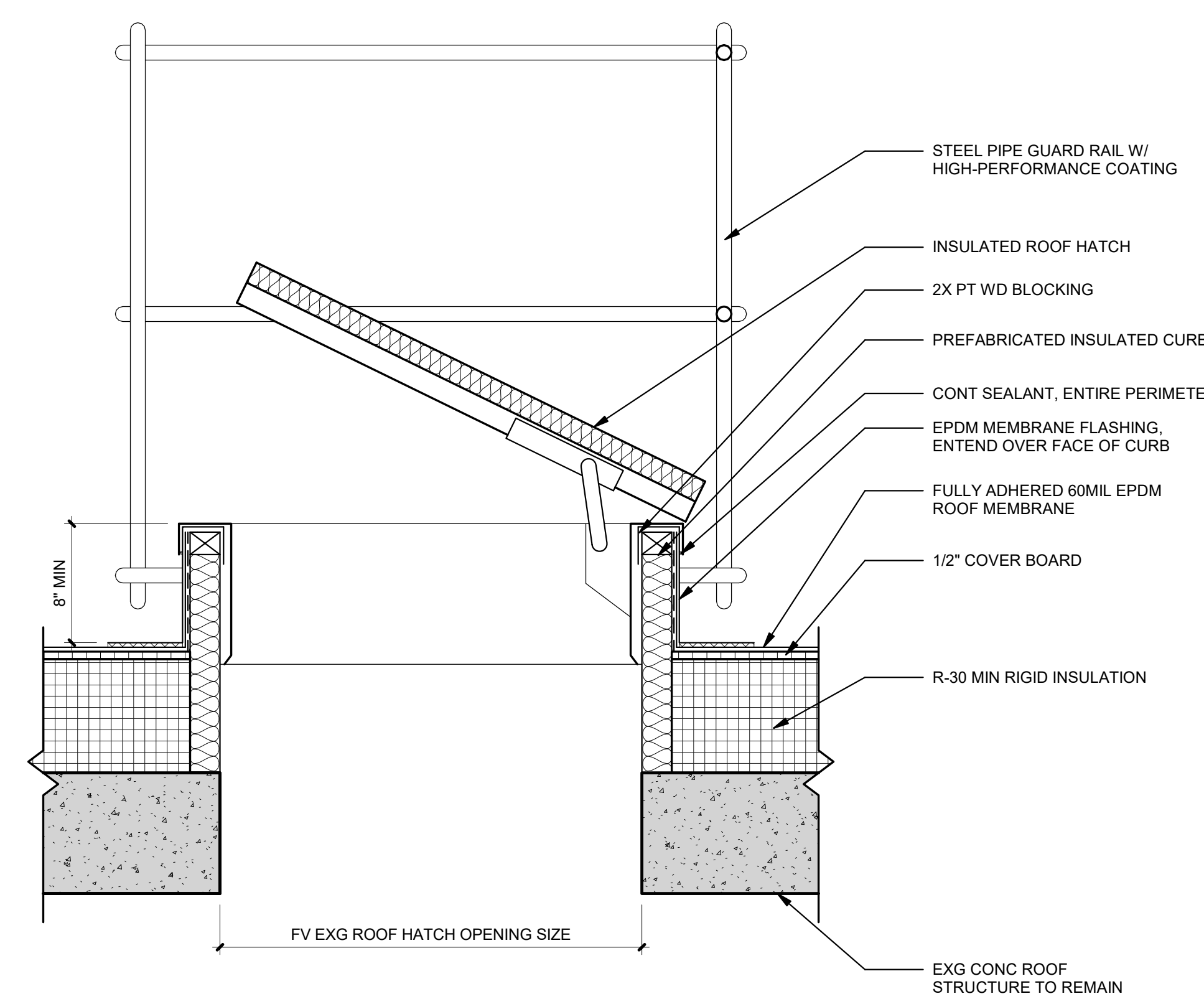
4 DETAIL - EXPANSION JOINT AT CONC DECK



5 DETAIL - EXPANSION JOINT AT MTL DECK



6 DETAIL - ROOF AT PRECAST WALL



7 DETAIL - ROOF HATCH

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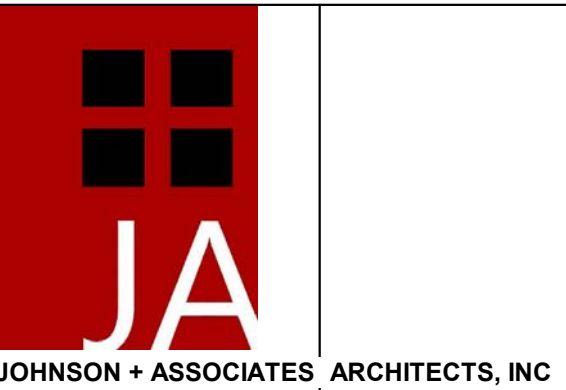
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**A350
 ROOF DETAILS**

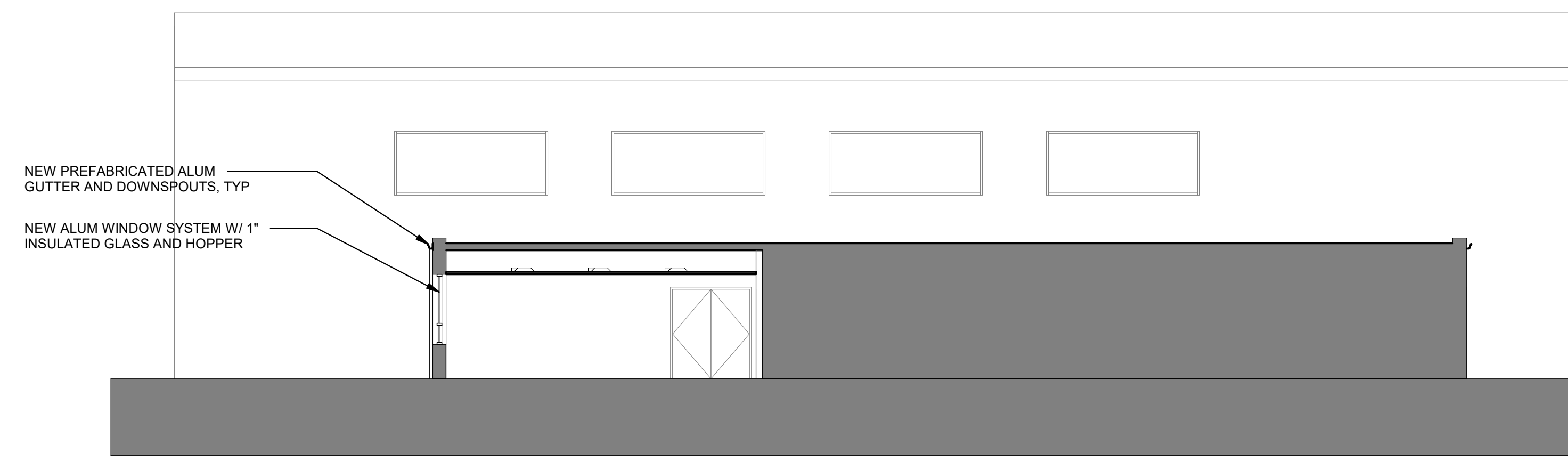
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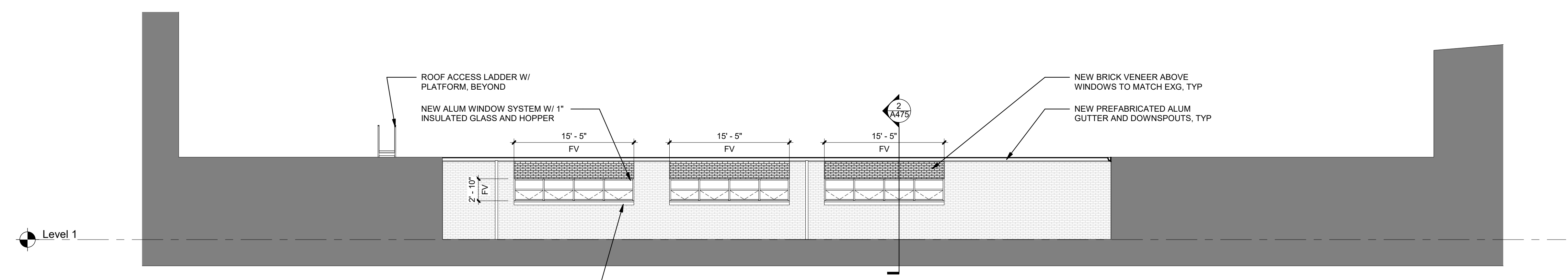
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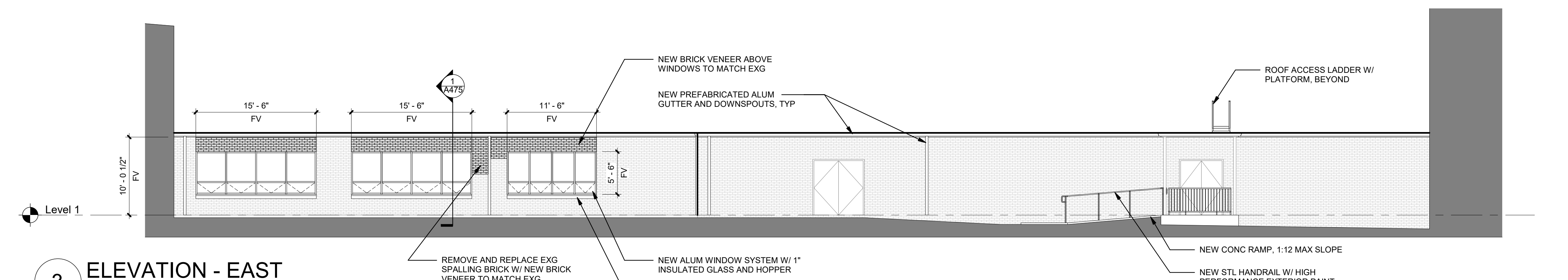
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1 ELEVATION - SOUTH
 0 8 16 24 FEET



2 ELEVATION - WEST
 0 8 16 24 FEET



3 ELEVATION - EAST
 0 8 16 24 FEET



4 ELEVATION - NORTH
 0 8 16 24 FEET

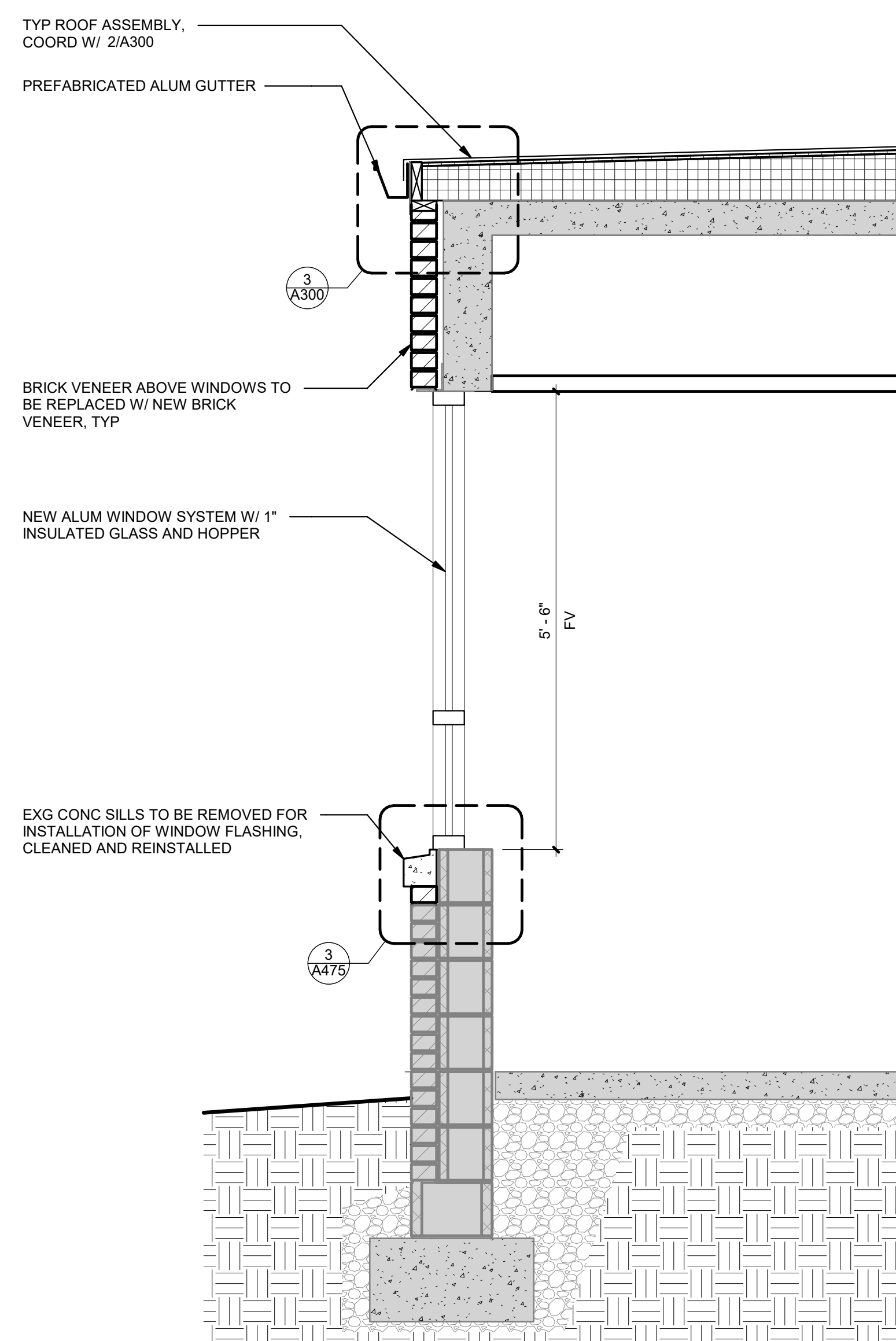
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REVISIONS

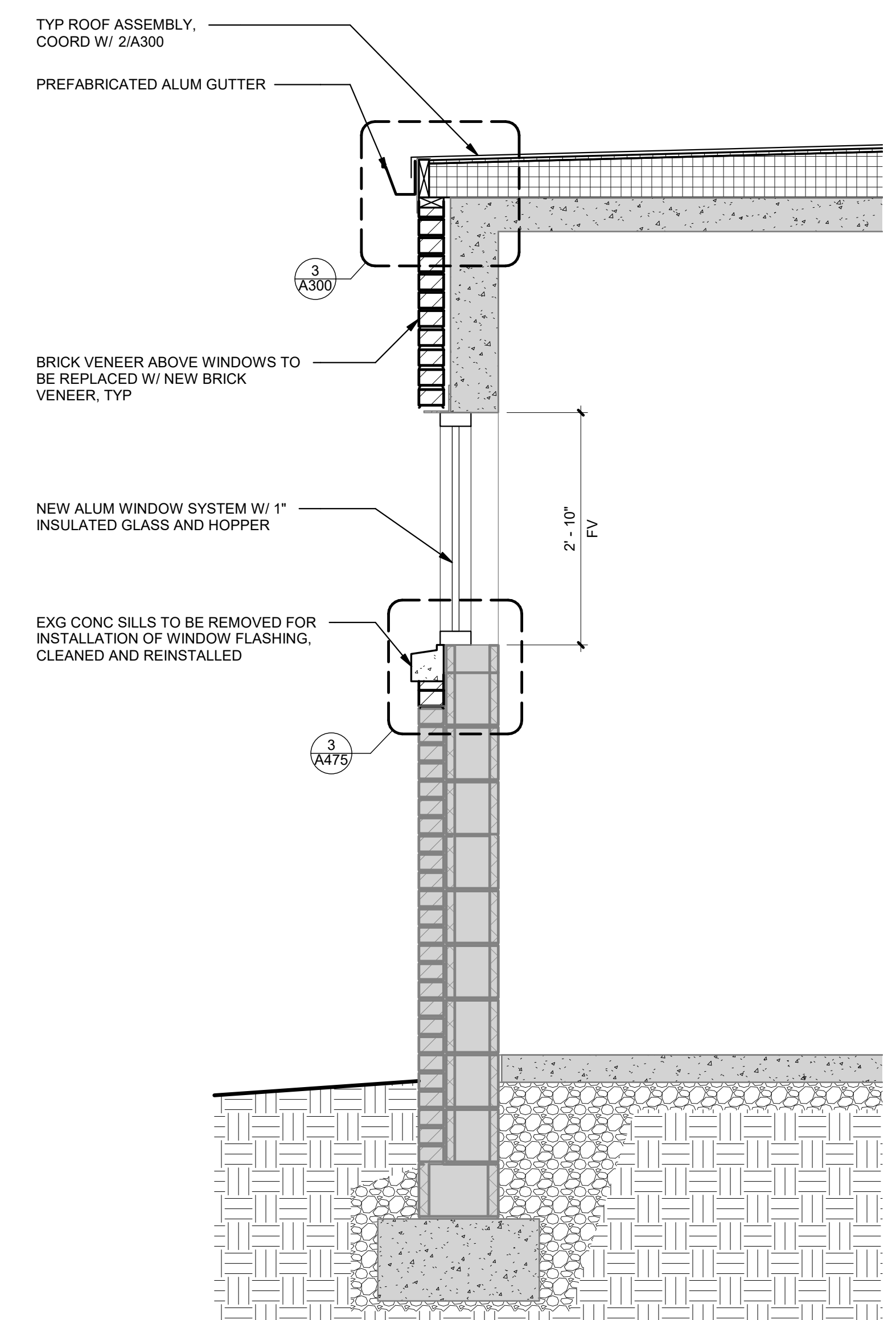
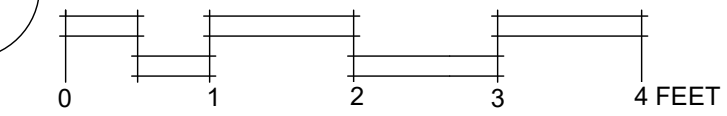
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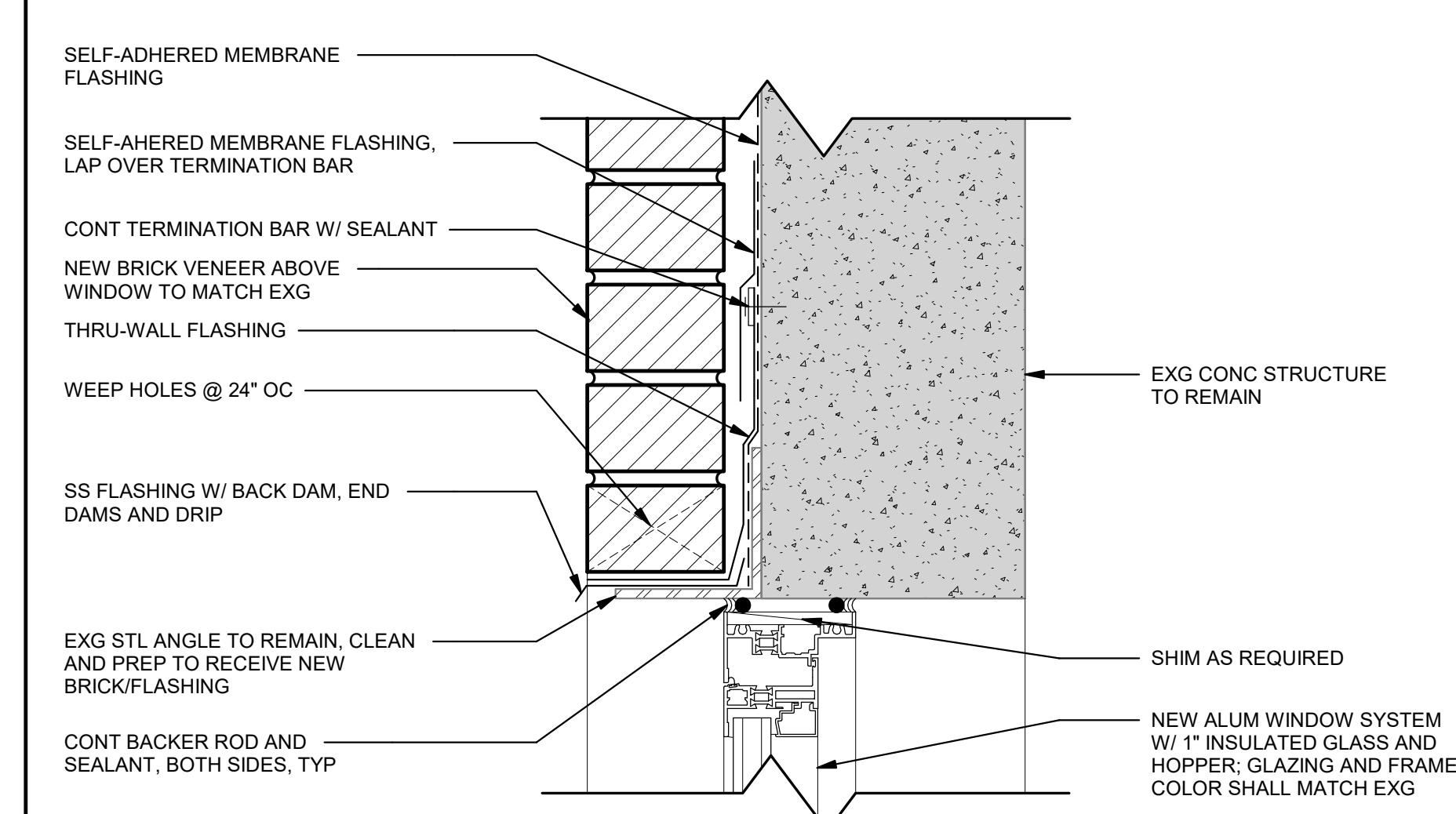
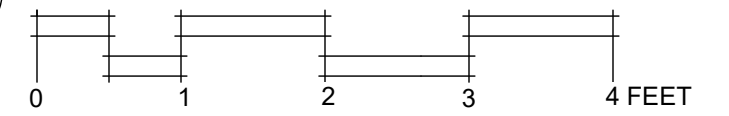
**A400
 EXTERIOR
 ELEVATIONS**



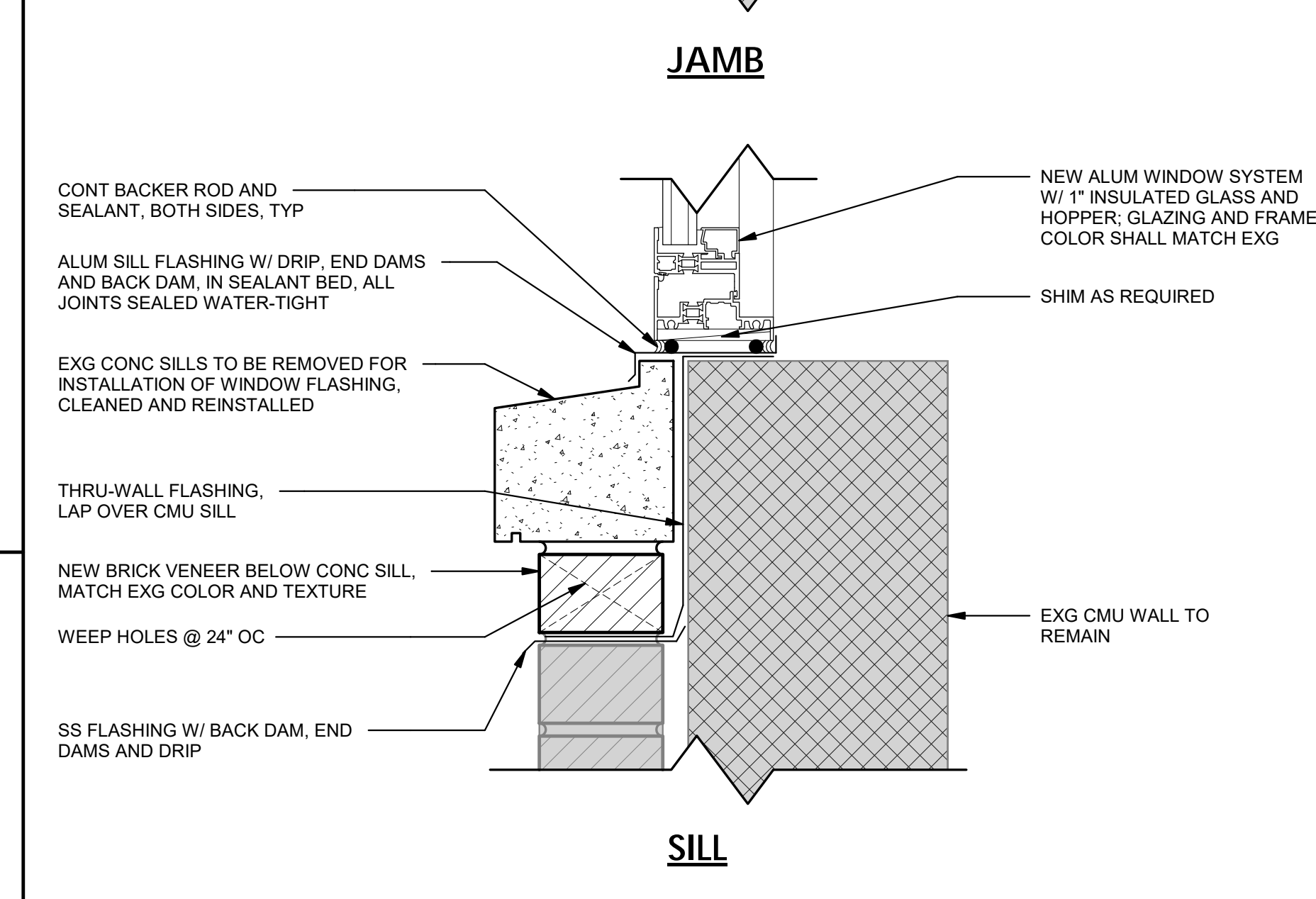
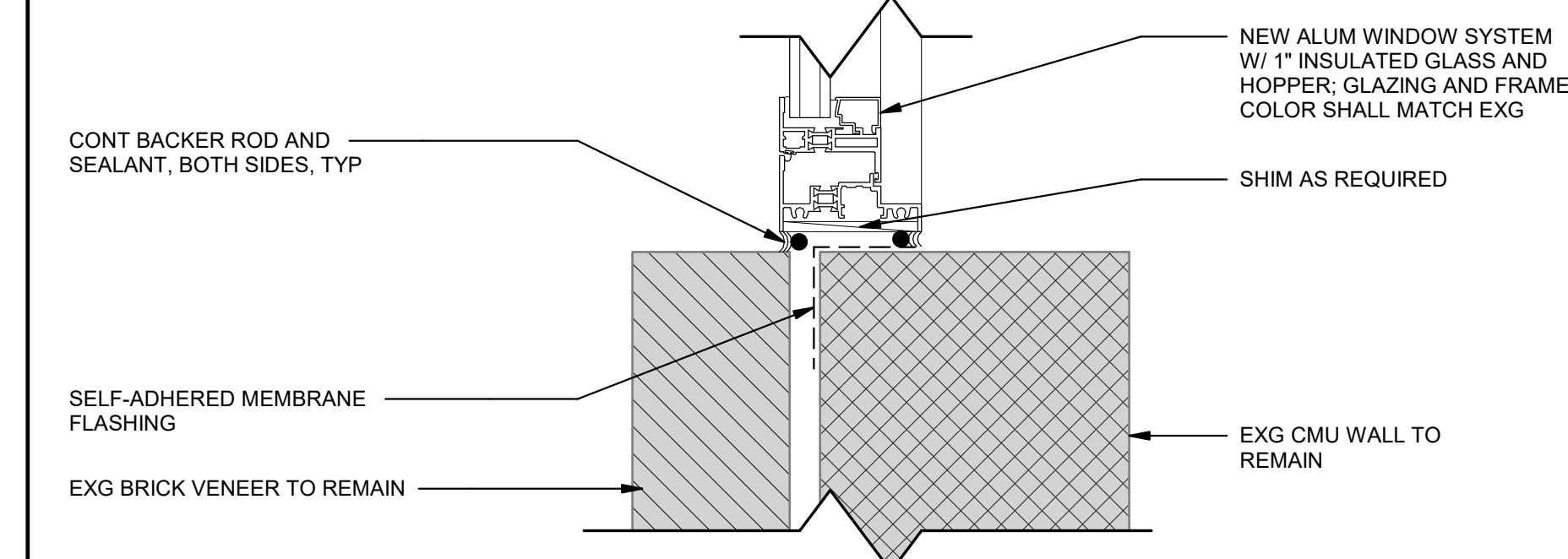
1 SECTION - EAST WALL AT STORAGE



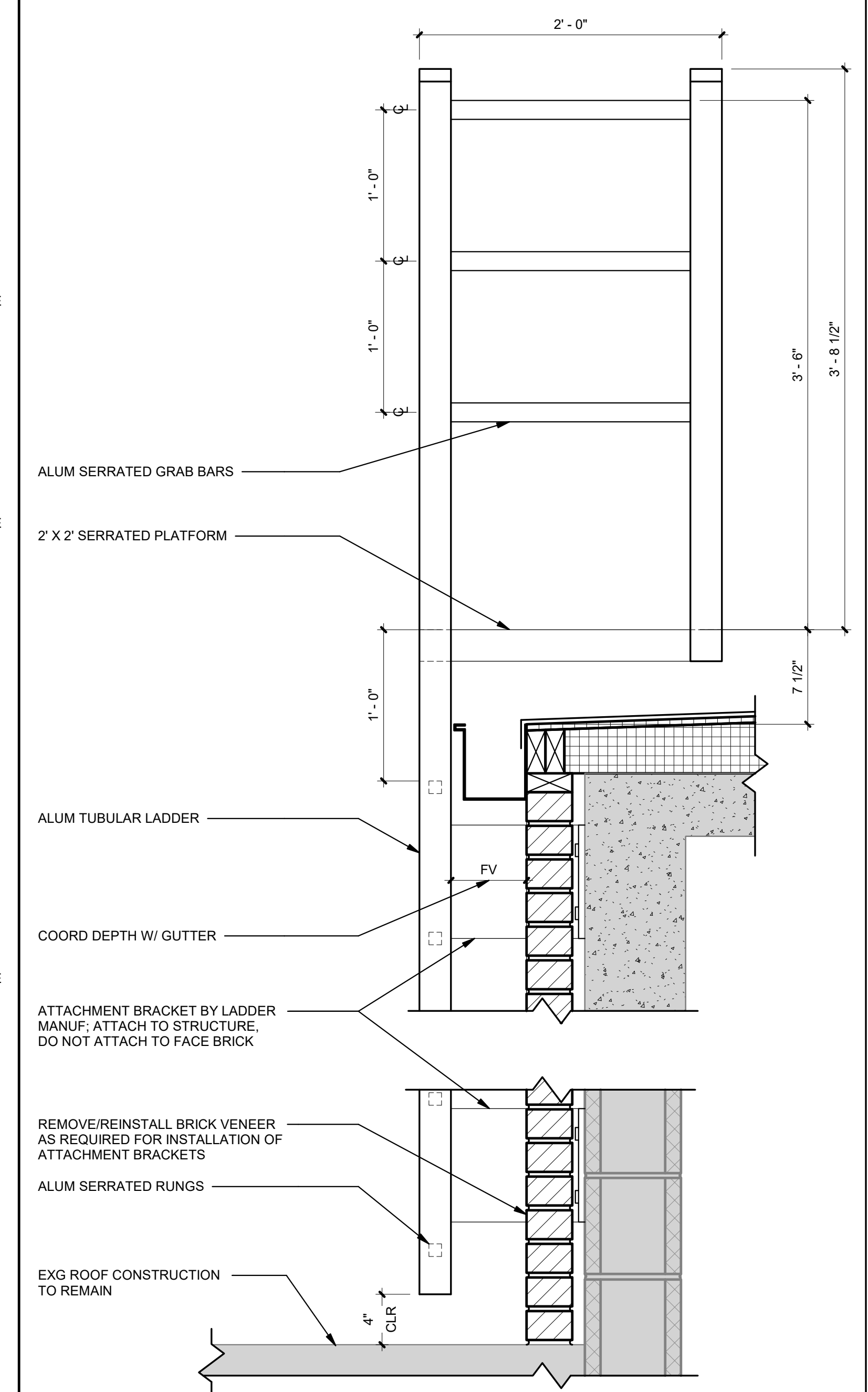
2 SECTION - WEST WALL AT AREA WAY



3 DETAIL - WINDOW, TYP



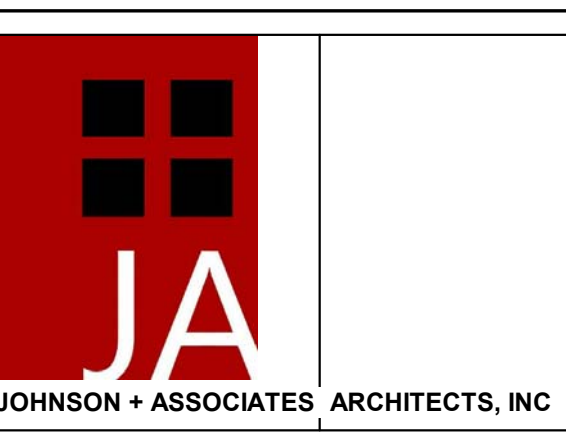
3 DETAIL - WINDOW, TYP



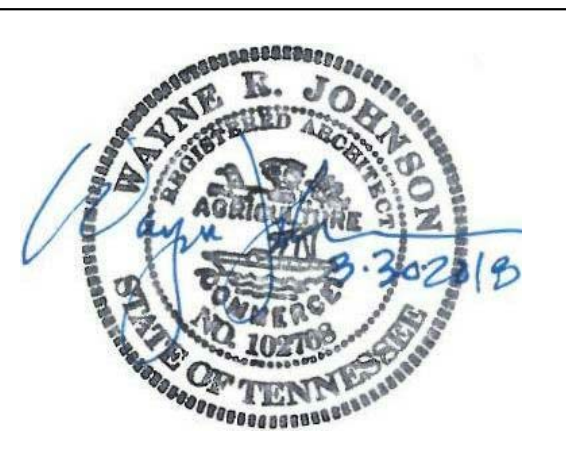
4 DETAIL - ROOF LADDER



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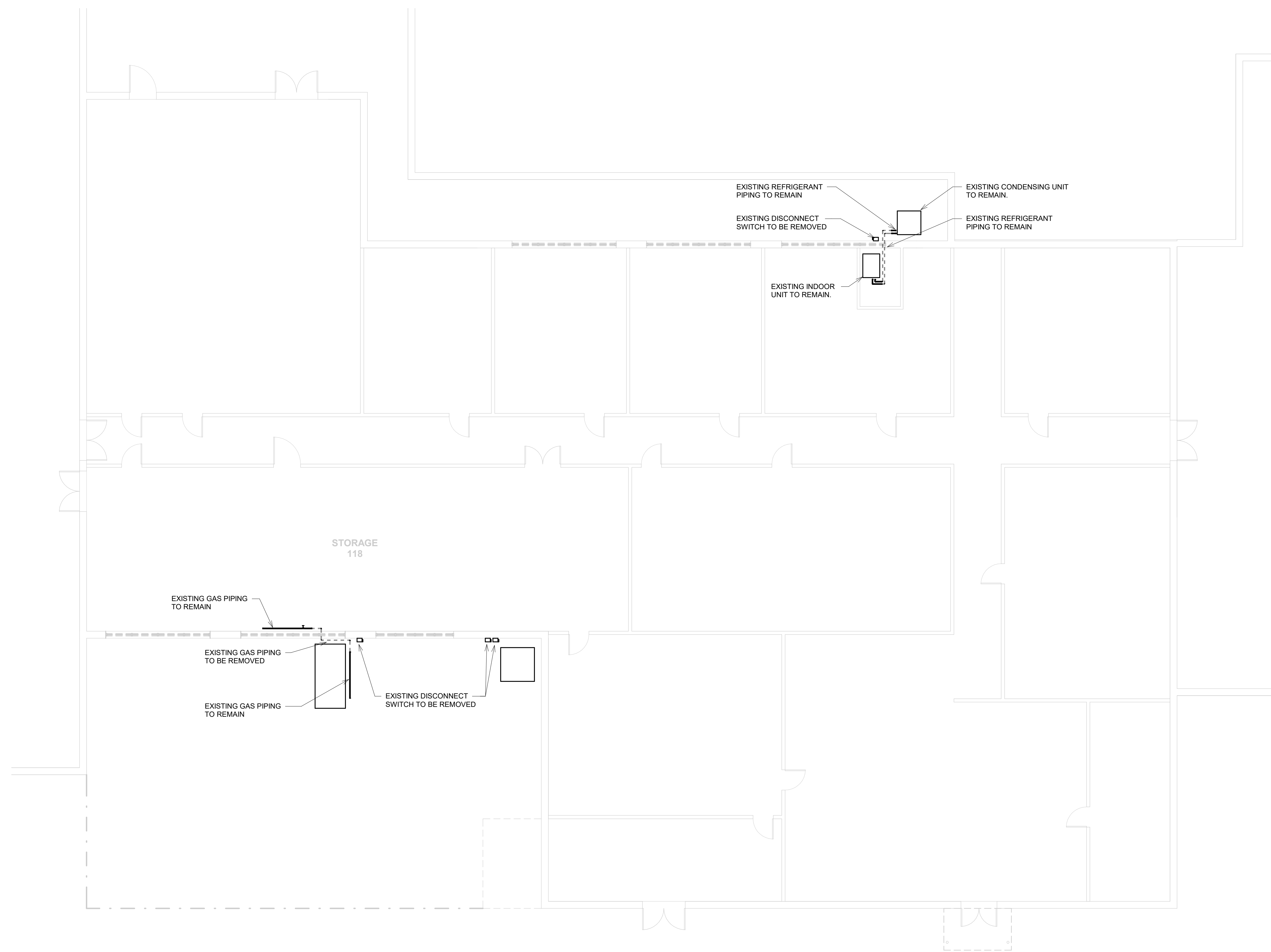
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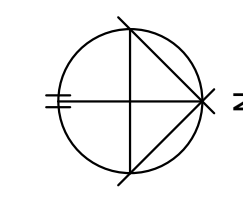
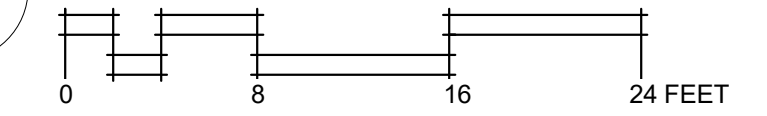
A475
 WALL SECTIONS
 AND DETAILS

DEMOLITION LEGEND	
WALL TYPE	DESCRIPTION
—	EXISTING WORK TO REMAIN
- - - - -	EXISTING WORK TO BE DEMOLISHED

2 Demolition Legend



1 DEMOLITION - FIRST FLOOR PLAN



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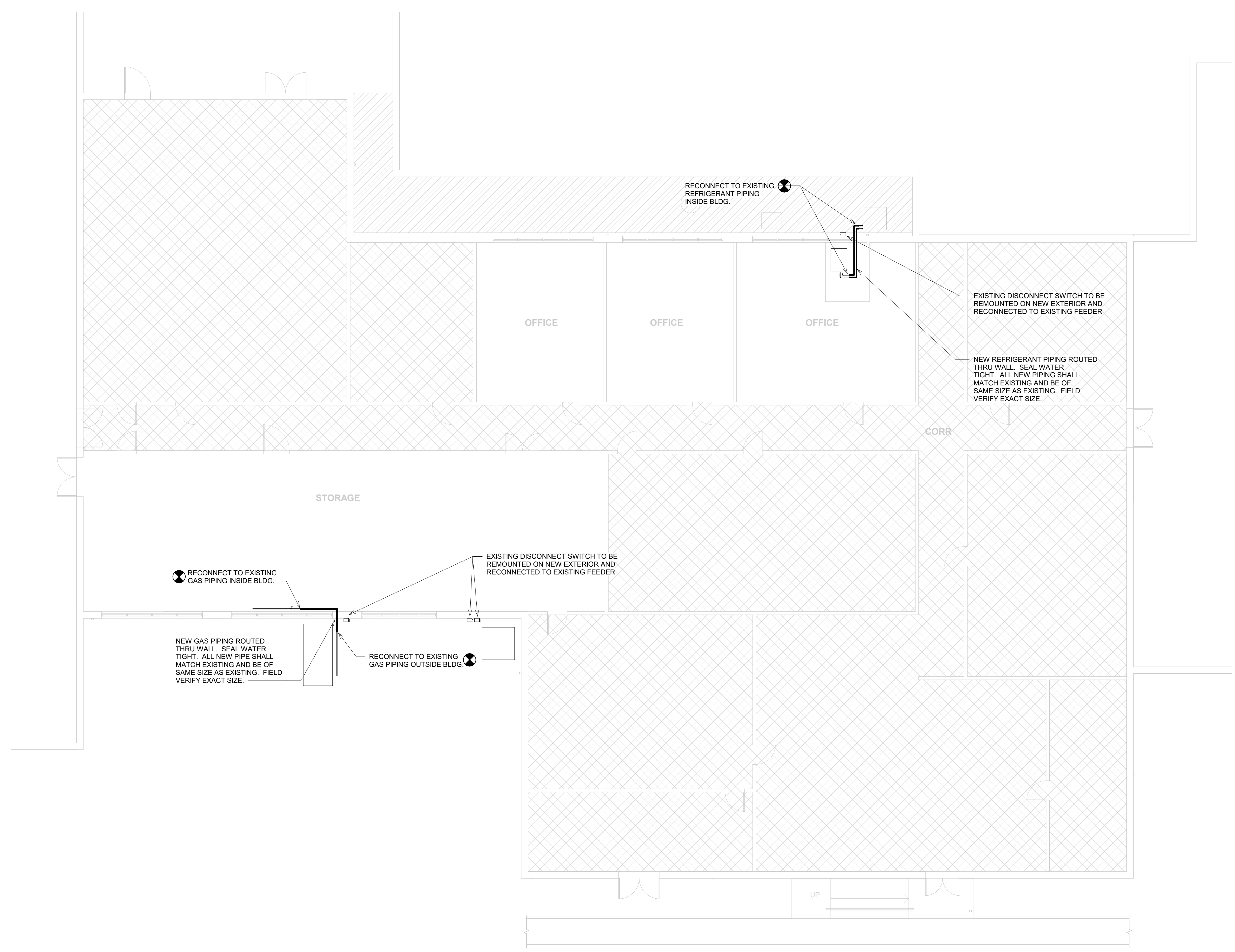
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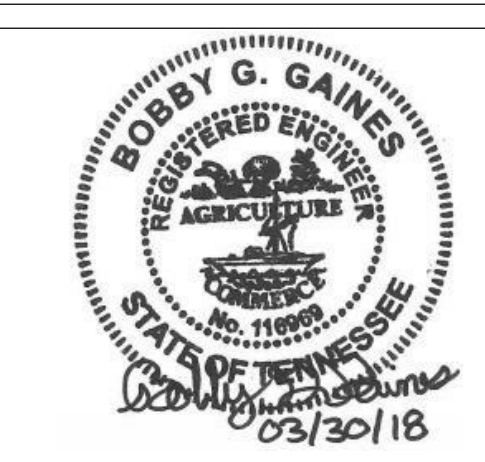
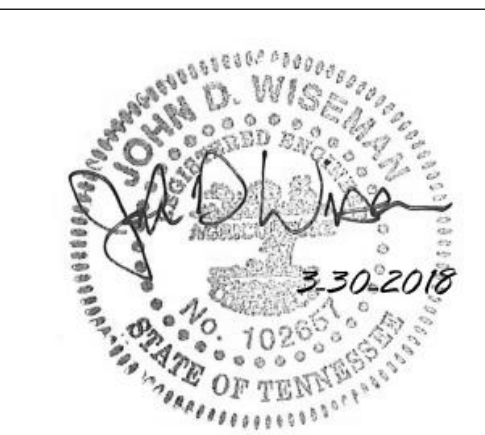
ME101
DEMOLITION -
FLOOR PLAN

NEW WORK LEGEND	
WALL TYPE	DESCRIPTION
	EXISTING WORK TO REMAIN
	NEW WORK
	CONNECTION TO EXISTING

2 New Work Legend



1 NEW CONSTRUCTION - FIRST FLOOR PLAN



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ME201
NEW
CONSTRUCTION -
FLOOR PLAN